

MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION AGENDA

Edna DeVries, Mayor

PLANNING COMMISSION
Doug Glenn, District 1
Richard Allen, District 2
C. J. Koan, District 3 – Chair
Andrew Shane, District 4 – Vice-Chair
Linn McCabe, District 5
Wilfred Fernandez, District 6
Curt Scoggin, District 7



Michael Brown, Borough Manager

PLANNING & LAND USE
DEPARTMENT
Alex Strawn, Planning & Land Use
Director
Vacant, Planning Services Manager
Jason Ortiz, Development Services Manager
Fred Wagner, Platting Officer
Vacant, Planning Clerk
Corinne Lindfors, Planning Clerk Assistant

*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

June 17, 2024
REGULAR MEETING
6:00 p.m.

Ways to participate in the meeting:

IN PERSON: You will have 3 minutes to state your oral comment.

IN WRITING: You can submit written comments to the Planning Commission Clerk at msb.planning.commission@matsugov.us.

Written comments are due at **noon on the Friday prior to the meeting.**

TELEPHONIC TESTIMONY:

- Dial 1-855-290-3803; you will hear “joining conference” when you are admitted to the meeting.
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, “Your hand has been raised.”
- When it is your turn to testify, you will hear, “Your line has been unmuted.”
- State your name for the record, spell your last name, and provide your testimony.

OBSERVE: observe the meeting via the live stream video at:

- <https://www.facebook.com/MatSuBorough>
- Matanuska-Susitna Borough - YouTube

- I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM
- II. APPROVAL OF AGENDA
- III. PLEDGE OF ALLEGIANCE
- IV. CONSENT AGENDA

- A. MINUTES
Special Meeting Minutes: June 3, 2024
Regular Meeting Minutes: June 3, 2024
- B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS
- C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

Resolution 24-14 A Resolution of the Matanuska-Susitna Borough Planning Commission recommending that the Assembly reactivate the South Lakes Community Council. Public Hearing: July 15, 2024; (Staff: Julie Spackman, Long Range Planner)

- V. COMMITTEE REPORTS
- VI. AGENCY/STAFF REPORTS
- VII. PUBLIC HEARING: LAND USE CLASSIFICATIONS
- VIII. AUDIENCE PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)
- IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS
(*Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.*)

Resolution 24-08 A Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive Tax ID# 5274B03L007A. Public. (Applicant: Justin Benson, on behalf of Shoreline Cannabis; Staff: Rick Benedict, Current Planner)

Resolution 24-09 A Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 10600 E. Max Drive Tax ID# 2209B02L001A. (Applicant: Anthony Wells, on behalf of Smoke Out Point; Staff: Rick Benedict, Current Planner)

Resolution 24-11 A Conditional Use Permit in accordance with MSB 17.60 - Conditional Uses, for the operation of a Marijuana Retail Facility. The facility is moving from 1204 North Hyer Road to 6199 East Mountain Heather Way. The new location is on Tax ID # 6932000L002. (Applicant: Teresa Zell; on behalf of Higher By Bad Gramm3r; Staff: Peggy Horton, Current Planner)

X. PUBLIC HEARING: LEGISLATIVE MATTERS

Resolution 24-13 A Resolution of the Matanuska-Susitna Borough Planning Commission recommending repeal of MSB 17.48 Mobile Home Park Ordinance in its entirety; (Staff: Alex Strawn, Planning and Land Use Director)

XI. CORRESPONDENCE & INFORMATION

XII. UNFINISHED BUSINESS

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

A. Upcoming Planning Commission Agenda Items

XV. DIRECTOR AND COMMISSIONER COMMENTS

XVI. ADJOURNMENT (*Mandatory Midnight*)

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The special meeting of the Matanuska-Susitna Borough Planning Commission was held on June 3, 2024, at the Matanuska-Susitna Borough Assembly Chambers, 350 E. Dahlia Avenue, Palmer, Alaska. The meeting was called to order at 4:30 p.m. by Chair Koan.

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

Planning Commission members present and establishing a quorum:

Mr. Doug Glenn, Assembly District #1
Mr. Richard Allen, Assembly District #2
Ms. C. J. Koan, Assembly District #3
Ms. Linn McCabe, Assembly District #5
Mr. Wilfred Fernandez, Assembly District #6

Planning Commission members absent and excused were:

Mr. Andrew Shane, Assembly District #4
Mr. Curt Scoggin, Assembly District #7

Staff in attendance:

Mr. Rick Benedict, Current Planner
Mr. Jason Ortiz, Development Services Manager
Mr. Alex Strawn, Planning and Land Use Director
Ms. Shannon Bodolay, Assistant Attorney
Ms. Denise Michalsky, Assistant Attorney
Ms. Corinne Lindfors, Development Services Division Administrative Specialist

II. APPROVAL OF AGENDA

Chair Koan inquired if there were any changes to the agenda.

GENERAL CONSENT: The agenda was approved without objection.

III. PLEDGE OF ALLEGIANCE

The pledge of allegiance was led by Commissioner McCabe.

A moment of silence was held for Karol Riese, Planning Department Administrative Specialist

IV. AUDIENCE PARTICIPATION (Three minutes per person.)

(There were no persons to be heard.)

(Commission Business was presented, and no comments were noted.)

V. ITEMS OF BUSINESS

A. CONDITIONAL USE PERMITS PRESENTATION

Staff: Jason Ortiz, Development Services Manager

VI. DIRECTOR AND COMMISSIONER COMMENTS

- Time: 5:20 5:24 p.m.

Commissioner: Glenn - Thanks everyone

Commissioner: McCabe - Condolences to family, friends, and coworkers of Karol Riese.

Commissioner: Allen - Condolences to family, friends, and coworkers of Karol Riese.

Commissioner: Fernandez - Condolences to family, friends, and coworkers of Karol Riese.

Commissioner: Koan - Condolences to family, friends, and coworkers of Karol Riese.

Director: Alex Strawn – Spoke in honor of Karol Riese and the great loss to family, friends, and coworkers.

VII. ADJOURNMENT

The regular meeting adjourned at 5:24 p.m.

C J KOAN
Planning Commission Chair

ATTEST:

Corinne Lindfors, Assistant Planning
Commission Clerk

Minutes approved: _____

The regular meeting of the Matanuska-Susitna Borough Planning Commission was held on June 3, 2024, at the Matanuska-Susitna Borough Assembly Chambers, 350 E. Dahlia Avenue, Palmer, Alaska. The meeting was called to order at 6:00 p.m. by Chair C.J. Koan

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

Planning Commission members present and establishing a quorum:

Mr. Doug Glenn, Assembly District #1
Mr. Richard Allen, Assembly District #2
Ms. C. J. Koan, Assembly District #3
Mr. Andrew Shane, Assembly District #4
Ms. Linn McCabe, Assembly District #5
Mr. Wilfred Fernandez, Assembly District #6
Mr. Curt Scoggin, Assembly District #7

Staff in attendance:

Mr. Alex Strawn, Planning and Land Use Director
Ms. Shannon Bodolay, Assistant Attorney
Ms. Corinne Lindfors, Development Services Division Administrative Specialist

II. APPROVAL OF AGENDA

Chair Koan inquired if there were any changes to the agenda.

GENERAL CONSENT: The agenda was approved without objection.

III. PLEDGE OF ALLEGIANCE

The pledge of allegiance was led by Commissioner Fernandez.

A moment of silence for Planning Department Administrative Specialist Karol Riese.

IV. CONSENT AGENDA

A. Minutes Regular Meeting Minutes: May 20, 2024

INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS

Resolution 24-08 A Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive Tax ID# 5274B03L007A. Public Hearing: June 17, 2024 (Applicant: Justin Benson, on behalf of Shoreline Cannabis; Staff: Rick Benedict, Current Planner)

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Out Point; Staff: Rick Benedict, Current Planner)

Resolution 24-11 A Conditional Use Permit in accordance with MSB 17.60 - Conditional Uses, for the operation of a Marijuana Retail Facility. The facility is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The new location is on Tax ID # 6932000L002. Public Hearing: June 17, 2024 (Applicant: Teresa Zell, on behalf of Higher By Bad Gramm3r; Staff: Peggy Horton, Current Planner)

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

Resolution 24-13 A Resolution of the Matanuska-Susitna Borough Planning Commission recommending repeal of MSB 17.48 Mobile Home Park Ordinance in its entirety; Public Hearing: June 17, 2024; (Staff: Alex Strawn, Planning and Land Use Director)

GENERAL CONSENT: The consent agenda was approved without objection.

V. **COMMITTEE REPORTS** - *(There were no committee reports.)*

VI. **AGENCY/STAFF REPORTS** - *(There were no Agency/Staff Reports.)*

VII. **LAND USE CLASSIFICATIONS** - *(There were no land use classifications.)*

VIII. **AUDIENCE PARTICIPATION (Three minutes per person.)**

The following persons spoke regarding:

IX. **PUBLIC HEARING: QUASI-JUDICIAL MATTERS**

X. **PUBLIC HEARING LEGISLATIVE MATTERS**

XI. **CORRESPONDENCE AND INFORMATION**

XII. **UNFINISHED BUSINESS** - *(There was no unfinished business.)*

XIII. **NEW BUSINESS**

XIV. **COMMISSION BUSINESS**

A. Upcoming Planning Commission Agenda Items *(Staff: Alex Strawn)*
(Commission Business was presented, and no comments were noted.)

XV. **DIRECTOR AND COMMISSIONER COMMENTS**

Commissioner: Shane - Condolences to family, friends, and coworkers of Karol Riese.

Commissioner: Allen – Karol will be missed; she was a real light. Condolences to her family, friends, and colleagues.

Commissioner: Fernandez – Sincere condolences to family, friends, coworkers, MSB on the loss of Karol Riese.

Commissioner: Glenn – Reflects on first meeting Karol Riese and sorrow upon hearing of her loss. Condolences to her family, friends, and colleagues.

Commissioner: McCabe – Echoes feelings and expresses condolences to family, friends, and coworkers of Karol Riese.

Commissioner: Scoggins- Echoes feelings and expresses condolences to family, friends, and coworkers of Karol Riese.

Commissioner: Koan - Echoes feelings and Condolences to family, friends, and coworkers of Karol Riese.

Director: Alex Strawn – Spoke in honor of Karol Riese and the great loss to family, friends, and coworkers.

XVI. ADJOURNMENT

The regular meeting adjourned at 6:12 p.m.

C.J. Koan
Planning Commission Chair

ATTEST:

Corinne Lindfors, Assistant Planning
Commission Clerk

Minutes approved: _____

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**INTRODUCTION FOR PUBLIC
HEARING
LEGISLATIVE MATTERS:**

**Resolution 24-14
South Lakes Community Council**

INTRODUCTION

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MATANUSKA-SUSITNA BOROUGH INFORMATION MEMORANDUM IM No. 24-125

SUBJECT: A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH ASSEMBLY REACTIVATING THE SOUTH LAKES COMMUNITY COUNCIL.

AGENDA OF: July 16, 2024

Assembly Action:

AGENDA ACTION REQUESTED: Present to the Assembly for consideration.

Route To	Signatures
Originator - J. Spackman	X
Department Director - A. Strawn	X
Finance Director	X
Borough Attorney	X
Borough Manager	X
Borough Clerk	X

ATTACHMENT (S) : South Lakes Community Council request for reactivation (1 pp)
Supporting documentation from the South Lakes Community Council (27 pp)
South Lakes Community Council boundaries (3 pp)
MSB 2.76 - Community Councils (3 pp)
Planning Commission Resolution No. 24-14 (2 pp)
Resolution Serial No. 24-067 (2 pp)

SUMMARY STATEMENT:

MSB 2.76 Community Councils outlines the requirements and responsibilities for establishing community councils. MSB 2.76.030 (D) says in part, that "Active status can be reinstated by assembly resolution upon request by representatives of the community council."

In May 2024, the Planning Department received a request from South Lakes residents to reactivate the South Lakes Community Council. All supporting documentation necessary to meet the requirements for reactivation has been provided. The newly adopted bylaws indicate that they will use the same boundaries as the boundary revision adopted in 2019 by the Assembly. Maps showing these boundaries are attached.

RECOMMENDATION OF ADMINISTRATION:

Staff respectfully requests adoption of the resolution reinstating the South Lakes Community Council and affirming the boundaries adopted in 2019.

DRAFT

Action:

**MATANUSKA-SUSITNA BOROUGH
RESOLUTION SERIAL NO. 24-067**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH ASSEMBLY
REACTIVATING THE SOUTH LAKES COMMUNITY COUNCIL.

WHEREAS, Section 2.76.020 of borough code provides for the establishment of community councils to afford citizens an opportunity for maximum community involvement and self-determination; and

WHEREAS, the South Lakes Community Council last submitted minutes to the Clerk's office in January 2003; and

WHEREAS, the South Lakes Community Council boundary was updated on April 16, 2019; and

WHEREAS, South Lakes residents have submitted all the necessary documentation to demonstrate compliance with the requirements set forth in MSB 2.76 for recognition; and

WHEREAS, the Planning Commission held a public hearing on July 15, 2024 and adopted Resolution No. 24-14 recommending Assembly approval of reactivation.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Assembly hereby reactivates the South Lakes Community Council and affirms the boundaries adopted in 2019 by RS 19-037.

ADOPTED by the Matanuska-Susitna Borough Assembly this - day of -, 2024.

EDNA DeVRIES, Borough Mayor

ATTEST:

LONNIE R. McKECHNIE, CMC, Borough Clerk

(SEAL)

From:
South Lakes Community Council
Palmer, AK 99645
05/15/2024

To:
Matsu Borough Board
[Matanuska-Susitna Borough
350 E Dahlia Ave,
Palmer, AK 99645

Honorable MSBB,

Subject: Request for Official Recognition of the South Lakes Community Council


As the presiding Chair of the South Lakes Community Council, I am writing to formally request official recognition by the Matanuska-Susitna Borough, as outlined under the Borough Code 2.76

The South Lakes Community Council has been established to serve as "a public forum for community residents to discuss and resolve area-wide issues and to advise the assembly, mayor, and borough administration on matters affecting the public interest." Our mission aligns with the Borough's purpose to encourage civic involvement and enhance local governance through community-based efforts.

We believe that official recognition by the Borough will significantly empower us to better serve our community members and ensure that their voices are effectively represented in borough-wide decisions.

Thank you for considering our request. We look forward to your positive response and to a collaborative relationship with the borough.

Sincerely,



Johnny M Furlong
Chair, South Lakes Community Council
johnny.furlong.ak@hotmail.com

907-232-0114

BYLAWS OF THE SOUTH LAKES COMMUNITY COUNCIL, INC. (SLCC)

ARTICLE I: NAME

- 1) The organization shall be known as the South Lakes Community Council, Inc. (hereinafter "SLCC").

ARTICLE II: BOUNDARIES

- 1) The SLCC shall cover the area as designated by the Matanuska-Susitna Borough (MSB) Assembly, with specific details available on the MSB's official website.

ARTICLE III: MEMBERSHIP

- 1) **Eligibility:** Members must be able to provide proof of residency, such as a physical address within the SLCC boundaries, a utility or bank statement, a State of Alaska voter registration card, or other official documentation verifying residency.
- 2) **Membership:** Residents can become Members and obtain rights through a simple registration process and pay annual dues of ten (\$10.00) dollars.

ARTICLE IV: PURPOSE

- 1) **Objectives:**
 - a) The SLCC was established to preserve, protect, improve, and advocate for the civic interests of its Members and residents and to enhance community life.
 - b) It seeks to provide a platform for community collaboration, expression, and participation in local governance as authorized by the MSB Code MSB 2.76 and to aid in decision-making for improving community and personal welfare.

ARTICLE V: FUNCTIONS AND LIMITATIONS

- 1) **Authority and Boundaries:**
 - a) The SLCC operates as an incorporated nonprofit under AS 10.20, aligned with Section 501(c)(4) of the Internal Revenue Code, possessing powers as outlined in the current or future amendments.
 - b) Activities comply with MSB Code 2.76.050, adopting Robert's Rules of Order for procedural guidance without restricting the right to petition or engage with borough governance.
- 2) **Role in Governance:** The SLCC engages with local government through responses to proposals, communication of actions and concerns, and initiating community-affecting proposals, asserting its non-governmental, non-partisan stance.

- 3) **Credibility and Transparency:** Commitment to representing the community's diverse views and maintaining open communication channels is paramount. This includes focusing on transparency, avoiding conflicts of interest, respecting all opinions, fostering public participation, and adhering to borough government participation practices.

ARTICLE VI: MEMBERS & RESIDENTS RESPONSIBILITIES

- 1) **Member Rights and Duties:** Members shall have the privilege to submit motions and vote on SLCC issues, including position statements, resolutions, and Board member elections.
 - a) All Members are expected to attend all meetings punctually, participate in decision-making, and undertake leadership and committee roles as needed, ensuring diligent task completion.
- 2) **Member and Area Resident Participation:** Members and residents are strongly encouraged to attend and participate in SLCC meetings. However, they cannot vote unless they have a membership.
 - a) At the SLCC Board's discretion, Members and residents may be asked to provide input through polls or queries to help reflect the community's views on critical issues.
- 3) **Conduct and Impartiality:** All Members and residents shall maintain harmonious, fair, and respectful conduct in meetings, embracing majority decisions and avoiding disruptive behavior.
- 4) **Membership Rights and Compliance:** Membership is an individual privilege contingent upon adherence to SLCC's Bylaws and Articles of Incorporation.
- 5) **Removal for Cause:** As guided by Robert's Rules of Order, any person may be removed from meetings for unethical conduct or actions that undermine SLCC's aims.

ARTICLE VII: MEETINGS AND WORK SESSIONS

- 1) **Powers and Meeting Requirements:** SLCC meetings are governed by the Alaska Open Meetings Act, which requires public openness and notice. Robert's Rules of Order shall guide meeting conduct, with a quorum defined for Committee meetings. All meetings are open to the public and are to be posted at least fourteen (14) days before the **meeting** date on the official Matsu Borough website but are not restricted only to this site.
<https://matsugov.us/boards/south-lakes-community-council>
- 2) **South Lakes Community Council Board Live Stream and Recording:** This policy outlines the guidelines for live streaming, recording, and remote attendance of South Lakes Community Council (SLCC) board and committee meetings to ensure transparency, accessibility, and compliance with Alaska law.
 - a) **Remote Attendance:**
 - i) Board and committee members may attend meetings remotely using an approved live meeting/streaming service.
 - ii) Remote attendance counts towards quorum requirements.

- iii) Board and committee members will have cameras on at roll call, speaking, voting, and as often as technology and internet quality allow.
 - b) Meeting Access and Venue:**
 - i) The SLCC Board will use a live meeting/streaming service that can accommodate civic and code requirements.
 - ii) Meeting access details will be posted on the SLCC website and other channels at least 24 hours in advance for members and the public.
 - c) Live Streaming:**
 - i) All board and committee meetings will be live streamed as technology and service allow.
 - ii) The public can access the live stream link on the SLCC website.
 - d) Recording of Meetings:**
 - i) All meetings will be recorded.
 - ii) Recordings will be available on the SLCC website within three business days after the meeting.
 - e) Public Participation:**
 - i) The live-streaming platform will allow for public participation.
 - ii) Remote attendees can provide comments and participate in discussions as if present in person.
 - f) Technical Support:**
 - i) The SLCC Board will provide technical support for live streaming and recording services on the SLCC-managed website.
 - ii) Efforts will be made to resolve technical issues promptly.
 - g) Compliance and Review:**
 - i) This policy will be reviewed annually for compliance with Alaska law and will be updated based on feedback.
 - ii) The SLCC Board may amend this policy as needed.
- 3) **Quorums:** Quorums shall consist of the following:
- a) A majority of the seated members of the board or committee.
 - b) Once a quorum has been established, business may be conducted for the remainder of the meeting.
 - c) All meetings shall be recorded and reported at the next Meeting, and minutes will be available on the SLCC website or upon request by any Members.

- 4) **Membership Meetings:** A minimum of four meetings shall be held yearly, with specific provisions for the annual election, meeting scheduling, duration, and minutes presentation.
 - a) The board members' annual election shall occur during the 4th quarter (Oct-Dec) Membership meeting.
 - b) Membership meetings will be conducted on the first Monday of each month at the designated time unless otherwise noted due to holidays.
 - c) Membership meetings will run for one (1) hour. If necessary, two (2) thirty (30) minute extensions will be allowed if voted on and passed by a simple majority of the board or Members present.
 - d) Minutes shall be taken and presented to the membership at the next scheduled Membership meeting.
- 5) **Special Membership Meetings:** Special meetings can be convened by member petition or board majority, focusing only on the petitioned business, with subsequent reporting.
 - a) A special membership meeting may be called by written petition from ten percent (10%) of SLCC Members or by a majority of the SLCC Board.
- 6) **Board Meetings:** The Board meets annually, with provisions for additional meetings.
 - a) A quorum consisting of a majority of Board members may pass initial bylaws without conducting other business, with minutes taken and reported at the next meeting.
 - b) A quorum consisting of a majority of Board members may call a civil emergency decision-making and reporting meeting by any member of the Board. Minutes must be taken and reported at the next Member meeting.
 - c) Board meetings can be called by the Chair or a majority of the board.
 - d) No SLCC official actions or passing of agenda items shall be taken by any board or committee members without a quorum and minutes taken.
- 7) **Work Sessions:** Work sessions for specific discussions may be convened without conducting other business, with no motion, minutes taken, and reported at the next meeting.
- 8) **Committee Meetings:** Committees meet to address assigned matters, requiring a quorum, and report their findings to the Membership.

ARTICLE VIII: VOTING

- 1) **Voting Eligibility:** Members in good standing are entitled to vote, with eligibility challenges and verification procedures in place.
 - a) Any Member's eligibility may be challenged. The challenge must be made before the chair announces the vote's result. Eligibility will be verified by consulting the current Membership Roster.

- 2) **Voting Proxy:** Proxies are permitted with restrictions on the number each member may hold and requirements for written signed proxies.
 - a) Each Member or Member's proxy may cast a vote.
 - b) Each Member may only carry one proxy.
 - c) Members wishing to use a proxy to vote for their position must provide the SLCC Chair with a written and signed proxy, which will be valid for ninety (90) days from the date of signature. A sample proxy form is available on the SLCC website.
- 3) **Voting Methods:** Methods can occur in various formats, including in-person, tele-video, and absentee, with a majority rule principle unless otherwise specified, including provisions for tie-breaking and recording of results.
 - a) The SLCC Board may, from time to time, allow absenteeism by written and signed ballot. In such cases, Members will be notified of the opportunity at least 60 days in advance and will be provided clear instructions, ballots, and deadlines for absenteeism.
 - b) A simple majority will rule unless otherwise stated in the bylaws or Robert's Rules of Order.
 - c) The majority's vote will constitute the Membership's binding decision.
 - d) Any vote result may be challenged as per Robert's Rules of Order.
 - e) In the case of a tie, the Chair will cast the deciding vote.
 - f) All results will be recorded in the meeting minutes.

ARTICLE IX: BOARD MEMBERS

- 1) **Board Composition and Authority:** The SLCC shall be governed by a Board consisting of at least four (4) officers and an additional three (3) members-at-large. The Board shall propose rules and regulations for SLCC management, adhering to applicable laws, the Articles of Incorporation, and these Bylaws. A majority of the present Members' vote is required to pass proposals.
- 2) **Qualifications:** Board members must be current Members in good standing and meet the criteria as stated in ARTICLE VI: MEMBERS & RESIDENTS RESPONSIBILITIES
- 3) **Selection of Board Members:** The election of Board members shall take place at a general membership meeting in the fourth quarter, between October and December.
 - a) Newly elected Board members shall be selected by the majority of the Members.
 - b) The new term shall begin January 1st.
 - c) Positions elected are Chair, Vice Chair, Secretary, Treasurer, and (3) Member-At-Large.
 - d) No Board member may hold more than one position simultaneously.

- 4) **Nominations:** The Board shall appoint a Nominating committee by the September Membership meeting and present nominees for vote in the fourth quarter Membership meeting between October and December. Floor nominations are permitted with the nominee's consent.
- 5) **Elections:**
 - a) Board member elections occur bi-annually on even years for Chair, Vice Chair, Secretary, and Treasurer.
 - b) Elections will occur annually on odd years for (3) Member-At-Large positions.
 - c) Outgoing officers provide ninety (90) days of advisory support to successors. Unfilled positions may extend terms by thirty (30) days through a majority vote.
- 6) **Terms and Compensation:** Board members may serve consecutively for two terms. Compensation is not provided, but reimbursements for SLCC expenses are allowed within set limits.
- 7) **Attendance:** Board members must notify of absences in advance. Consecutive unexcused absences may lead to censure or removal.
- 8) **Vacancies:** Vacancies due to relocation or loss of membership status are filled by Membership approval after interim appointments by the Chair. Chair vacancies prompt an immediate Board restructuring. Within ninety (90) days, a new Board member shall be elected for the remainder of the vacated member's term.
- 9) **Conflict of Interest:** To ensure that all decisions made by the Community Council (the "Council") are free from undue influence resulting from individual members' personal or financial interests, the Council establishes guidelines for handling conflicts of interest to protect the integrity of its operations.
 - a) **Definition of Conflict of Interest:** A conflict of interest arises when a Council member's personal, familial, or financial interests could interfere with their ability to act impartially in the Council's best interest. Examples include:
 - i) Having a direct or indirect financial interest in any transaction or arrangement the Council considers.
 - ii) Holding a position with another organization that competes or contracts with the Council.
 - iii) Involvement in an activity that impairs the member's objectivity or independence.
 - b) **Duty to Disclose:** Council members must promptly disclose any actual, potential, or perceived conflicts of interest and file an SLCC Conflict-of-interest Disclaimer form with the Chair or designated compliance officer before participating in related discussions or decisions.

- c) **Review and Recusal:**
 - i) **Initial Review:** The Chair or designated compliance officer will evaluate the disclosed information to determine whether a conflict exists.
 - ii) **Board Determination:** If a conflict is determined, the Council members involved will recuse themselves from discussions or votes related to the issue and will leave the meeting room during deliberation.
 - iii) **Recordkeeping:** Meeting minutes will reflect the nature of the conflict, the members' recusal, and the decision made.
 - d) **Annual Disclosure:** Each Council member will sign a Conflict-of-Interest Disclaimer Statement annually. This statement must:
 - i) Confirm the member has read and understands the Conflict-of-Interest Policy.
 - ii) Disclose any potential conflicts of interest or affirm that none exist.
 - e) **Violations:** If a Council member is found to have knowingly failed to disclose a conflict or participated in a prohibited activity, the Council may take corrective action, including removal from the Council, following a fair process.
 - f) **Amendments:** A majority vote of the Council may amend this policy.
- 10) **Complaints and Disciplinary Actions:** The Board will take complaints seriously, and no retaliation against any person or group will be tolerated or allowed.
- a) A complaint must be in the form of a letter with the original signature and given to the current board Secretary. If the Secretary is the subject of the concern, it will be given to the Chair.
 - b) The concerned member must hand-deliver this letter to a membership meeting. If the complainant will not attend the next meeting or the matter must be addressed immediately, a complaint may be delivered via the US Postal Service before the next Membership meeting. All complaints must begin with an attempt at reconciliation.
 - c) The Board shall review the complaint for at least (21) days to review and address the members' concerns unless it requires immediate action. If the concern is valid, the Board can call an executive session at that meeting, or the matter will be investigated, and the Board shall bring its findings to the Membership at the next regular or special meeting.
 - i) The accused Board member shall have the same amount of time as the Board to prepare a rebuttal. Provisions shall be made on that meeting's agenda for the findings and any rebuttal.
 - d) The Board shall appoint an ad hoc investigating committee for these deliberations.

- e) Removal shall be by a two-thirds (2/3) vote of eligible Members present at a regular or special meeting.
 - f) If removed, the Board member shall return all legal documents, passwords, and property belonging to the community council, including any keys.
 - g) Censuring Provisions shall be made on the regular meeting's agenda addressing the complaint and possible censuring of the Board member.
 - h) The complaint is brought before the Membership, which votes on whether to censure the Board member.
 - i) Censure shall be by a two-thirds (2/3) vote of Members present at the regular or special Membership meeting.
 - j) Any Board member may be removed for improper conduct. Improper conduct includes but is not limited to, illegal activities, non-performance of duties of office, activities that put the 501(c)(4) status at risk, excessive unexcused absenteeism, performing outside the scope and/or authority of office, or disregarding the direction of the Board or membership. For a more comprehensive list of improper conduct, see Robert's Rules of Order.
 - k) Any Board member may be removed for any violation of SLCC bylaws in accordance with established procedures.
 - l) Any Board member may be removed if three (3) consecutive unexcused absences constitute a vacancy.
 - m) Any Board member who violates ARTICLE XV — REPRESENTATION of the SLCC shall be subject to censure.
- 11) **Board Role and Responsibilities:** The Board shall have supervision of the affairs and act in the best interests of the SLCC. The Board may meet as necessary in person or electronically.
- a) In a time-sensitive matter, the Board may make decisions and take action until the assembly can be appropriately notified and approve the decision.
 - b) Board members are expected to familiarize themselves with parliamentary procedure and bylaws.
 - c) **Chair**
 - i) Call and preside over all Membership, Special, and Board meetings.
 - ii) See that all bylaws, resolutions, motions, policies, and procedures adopted by the SLCC are enforced and/or executed.

iii) Establish the meeting agenda. The Chair shall query Board members for agenda items. Membership may request agenda items through any Board member.

(a) Execute all contracts and other instruments which the Membership shall have first approved.

(b) As an ex-officio member of all committees, the Chair may attend any committee meeting except the Nominating Committee.

iv) Appoint an interim Chair until the Nominating committee meets to vote for a permanent Chair.

d) Vice Chair

i) Assist the Chair in representing the council to the community.

ii) Assume the duties of the Chair during Chair absences according to Robert's Rules of Order.

iii) Serve as parliamentarian.

e) Secretary

i) Charged with causing the minutes to be taken during membership and Board meetings. Committee chairs will appoint a committee member to take the minutes of that meeting and forward those minutes to the Board Secretary for storage.

ii) Immediately after an election, complete paperwork in a timely manner and notify all borough and state agencies regarding the change of officers as necessary.

iii) See that all notices are duly given in accordance with these bylaws and local/state requirements.

iv) Serve as correspondence Secretary as necessary.

v) Coordinate with the Chair to create monthly membership meeting agendas.

vi) Pick up and distribute SLCC mail to appropriate Board members in a timely manner.

vii) Keep a register of membership contact information voluntarily provided by all members. This information will only be used for SLCC business and will not be given out or shared with any other organization, business, or person.

viii) Have charge of all SLCC administrative, financial, and historical documentation in accordance with all local, State, and Federal records retention schedules. Documents will be stored electronically in a system with backup redundancy.

- ix) Maintain a calendar for filing deadlines and other pertinent information affecting the SLCC's business and notify appropriate Board members.
- x) Count all ballots.
- xi) Upon expiration of their term, they must turn over all documents and records and relinquish all passwords to their successor.
- f) **Treasurer**
 - i) Manage the SLCC financial records. A copy of all documents will be stored electronically in a system with backup redundancy.
 - ii) Renew non-profit 501(c)(4) status as required by law.
 - iii) Prepare a Balance Sheet for each monthly meeting and an annual Profit & Loss Report.
 - iv) File all necessary IRS and fiduciary forms as federal, state, and local governments require.
 - v) As a Finance committee member shall assist in preparing a proposed budget.
 - vi) Upon expiration of their term, they shall turn over all documents, passwords, and records to their successor. Within sixty (60) days after the expiry of their term, the current Treasurer, new Treasurer, and two (2) appointed Board members must review accounting. After the review is completed, the results will be presented to the Membership at the next meeting.
- g) **Member at Large**
 - i) Assist in various support duties.

ARTICLE X: COMMITTEES

- 1) **Powers and Committee Operations:** Establishes the formation, conduct, and reporting of Standing and Special Committees, including public participation, meeting notices, and the roles of committee chairs and members.
 - a) Standing and Special Committees shall meet to consider or investigate certain matters or subjects and report their findings to the SLCC Board and Membership.
 - b) Only business assigned to the committee by the SLCC Board shall be conducted at the committee meeting.
 - c) All committee meetings are open to the public, but there is no right to public participation. The chair will determine the active involvement of people other than committee members in the meeting.
 - d) The committee chair schedules meetings as needed, assures adequate public notice through the MatSu Borough (the Secretary can assist with this), notifies committee members, establishes meeting rules, and keeps the Board advised of committee activities.

- e) The committee chair ensures that the minutes of committee meetings are prepared and has the authority to approve them. Upon approval, the chair submits the minutes to the Secretary for record retention. The Secretary provides copies of all committee meeting minutes to the MatSu Borough.
 - f) The committee chair may recruit expert help or knowledgeable person(s) to help them better perform their duties. None of these people will have rights, as their purpose is to advise and assist the Committee.
 - g) If there is no interim committee chair, the committee shall elect the chair at the first meeting.
 - h) Ex-officio members shall not vote.
- 2) **Standing Committees:** The committee's members shall be appointed by the Board but shall be open to any Members wishing to serve on the committee, subject to position openings and Board approval.
- a) Committees may be formed subject to the needs of the SLCC.
- 3) **Bylaws Committee:**
- a) Receives and evaluates requests for changes to bylaws from SLCC members.
 - b) Updates bylaws as necessary.
 - c) Provide updated and ratified bylaws to the Secretary for presentation to the MatSu Borough.
- 4) **Finance Committee:**
- a) Prepare a proposed budget for SLCC.
 - b) Oversee grants or funding programs, such as the State of Alaska Community Assistance Program.
 - c) Any fundraising efforts shall pass through the Finance Committee.
 - d) Oversee arranging a third-party audit when necessary and make findings available to the Board and Membership.
- 5) **Nominating Committee:**
- a) Recruit potential candidate(s) for Board positions.
 - b) Ascertain eligibility of potential candidate(s) for Board positions.
 - c) Present candidate(s) for election at a Membership Meeting.
 - d) Validate voters' eligibility.
 - e) Assist as needed during the election process at the direction of the Board.

6) Special (ad hoc) Committees:

- a) The Board may create special committees to act on behalf of the community council in areas of particular interest.
- b) The Board shall appoint committee members from the Membership.
- c) Special committees shall be automatically dissolved when their assignment is complete.
- d) At the time of the Board's annual meeting, all special committees will be reviewed and continued if warranted.

ARTICLE XI: FINANCES

1) Financial Management and Reporting: This department governs fund collection, expenditure, reporting, and auditing processes to ensure transparency and accountability.

- a) Funds collected by the SLCC shall be deposited into an official SLCC-named account at an established bank or credit union.
- b) Funds shall be distributed only to further the legitimate purpose of the SLCC.
- c) Expenses over \$1000 will require two (2) signatures. The Treasurer, Chair, Vice Chair, and Secretary are authorized signatories.
- d) Funds shall be used to fund operating and administrative expenses.
- e) At each regular meeting, a financial report showing all receipts and expenditures from the last report shall be made, signed by the Treasurer, and acknowledged by the Chair.
- f) At the beginning of each calendar year, the Treasurer shall prepare an annual financial report with supporting documentation for the board's review and approval and file it in the electronic administrative file.
- g) A budget for the upcoming calendar year shall be drafted thirty (30) days prior to the fourth quarter Board Meeting to approve the budget by a majority vote of the Board.
- h) The Board shall present it to the Membership at the January meeting.
- i) SLCC may not receive voluntary contributions in excess of the amount determined by Borough regulations to meet its operating costs.

ARTICLE XII: BOOKS AND RECORDS

- 1) **Record Keeping and Public Access:** Mandates accurate and accessible record-keeping for SLCC activities and financial transactions.
 - a) SLCC shall keep correct and complete books and records, which are stored and passed on by the appropriate Board Members in charge.
 - b) SLCC shall make all financial and administrative records available for public inspection.
 - c) SLCC shall retain Federal and State records according to their retention schedules.

ARTICLE XIII: PARLIAMENTARY AUTHORITY

- 1) **Governing Meeting Conduct:** Robert's Rules of Order is adopted as the guiding framework for meeting conduct, subject to SLCC Bylaws provisions.

ARTICLE XIV: AMENDMENTS

- 1) **Bylaws Amendment Process:** This section outlines the procedure for proposing, reviewing, and on amendments to the bylaws, which require a supermajority vote.
 - a) These bylaws may be altered, amended, or repealed by the Members' supermajority (2/3) vote at a general or special Membership meeting.
 - b) The Bylaws Committee shall first review any proposed changes to these bylaws.
 - c) After review, proposed changes shall be written and distributed to the Membership at least thirty (30) days before the general or special Membership meeting where a vote will take place.

ARTICLE XV: REPRESENTATION OF THE SLCC

- 1) **Official Representation and Public Statements:** This regulation regulates the official representation of SLCC views and positions, including provisions for urgent public comments and personal viewpoints.
 - a) No Board member, Member, or Resident shall purport to represent the views or interests of the SLCC without the express authorization of the Board or of the Membership at any duly constituted meeting.
 - b) Formal resolutions and actions of the community council shall require a vote of the Membership. Once a resolution or action is authorized, the Board is authorized to carry out the necessary steps to conduct that action.
 - c) The SLCC is often requested to provide public comments on various Borough, State, or Federal projects, permit applications, initiatives, or strategies. In some cases, the comment period deadlines do not allow time for a formal meeting and subsequent vote of the

Membership. In these cases, at the discretion of the SLCC Board, the SLCC Board may provide comments aligned with their understanding of community perspectives, conduct outreach through social media to seek input from area residents and Members, and provide such comments without a vote of the Membership. In the event such action is taken, the Board will be accountable for informing residents and members no later than the next scheduled Membership meeting.

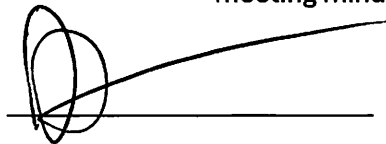
- d) When a Member speaks on behalf of the SLCC, that member shall be prepared to provide, upon request, documentation showing how the SLCC's position was obtained, including the results of votes, if any.
- e) Nothing in this section prohibits any Resident or Member from appearing on their own behalf and taking any position consistent or different from the SLCC on any matter. If there is the possibility of confusion, that individual should ensure it is clear to their audience that they represent their own views.

ARTICLE XVI: DISSOLUTION

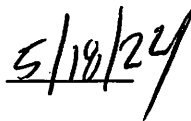
1) Dissolution Process and Asset Distribution:

- a) The SLCC may be dissolved at a general or special Membership meeting. Notice of the meeting at which a dissolution vote will be taken must be sent to each Member at least ninety (90) days prior to that meeting. The vote must be passed by a two-thirds (2/3) vote of all eligible Members present. If dissolution is favorably acted upon, all assets will be distributed to an organization of the type described in Section 501(c)(4) of the Internal Revenue Code or corresponding section of any future federal tax code and applicable borough ordinances.

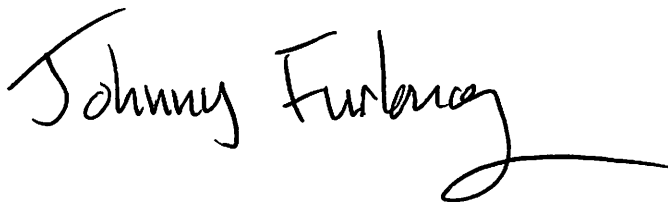
Ratification: Initial approval to proceed with this latest revision of the SOUTH LAKES COMMUNITY COUNCIL Bylaws was by a majority vote of the 2nd meeting of Membership at a Membership Meeting on May 6, 2024, and reflected in the meeting minutes.



Chair



Date





Department of Commerce, Community, and Economic Development
**CORPORATIONS, BUSINESS &
PROFESSIONAL LICENSING**

State of Alaska / Commerce /

State of Alaska
Department of Commerce, Community, and Economic Development
Division of Corporations, Business, and Professional Licensing
Confirmation

Your filing is complete. Please print and retain this page for your records.

Important entity responsibility information is available by clicking the following link: [Entity Responsibility](#).

The entity responsibility document should be printed or saved and retained for your records.

Print certificates and filed documents from the entity's detail page. [Click here](#) and scroll down to Filed Documents.

Entity Details

Entity Number: 10270560
Legal Name: South Lakes Community Council
Filing Type: Creation Filing - Domestic Nonprofit Corporation

Payment Information

Receipt Number: 100800874
Receipt Date: 5/15/2024 5:51:30 PM
Payer Name: Johnny Furlong
Payment Amount: 50.00

Alaska Entity #10270560

State of Alaska
Department of Commerce, Community, and Economic Development
Corporations, Business, and Professional Licensing

Certificate of Incorporation

The undersigned, as Commissioner of Commerce, Community, and Economic Development of the State of Alaska, hereby certifies that a duly signed and verified filing pursuant to the provisions of Alaska Statutes has been received in this office and has been found to conform to law.

ACCORDINGLY, the undersigned, as Commissioner of Commerce, Community, and Economic Development, and by virtue of the authority vested in me by law, hereby issues this certificate to

South Lakes Community Council



IN TESTIMONY WHEREOF, I execute the certificate and affix the Great Seal of the State of Alaska effective **May 15, 2024**.

A handwritten signature in black ink, appearing to read "Julie Sande".

Julie Sande
Commissioner



THE STATE
 of **ALASKA**

Department of Commerce, Community, and Economic Development
 Division of Corporations, Business, and Professional Licensing
 PO Box 110806, Juneau, AK 99811-0806
 (907) 465-2550 • Email: corporations@alaska.gov
 Website: corporations.alaska.gov

FOR DIVISION USE ONLY

Web-5/15/2024 5:50:15 PM

Articles of Incorporation
Domestic Nonprofit Corporation

1 - Entity Name

Legal Name: South Lakes Community Council

2 - Purpose

2.76.020 PURPOSE. (A) The purpose of this chapter is to provide a direct and continuing means of citizen participation in government and local affairs. Community councils are intended to give: (1) the people a method to work together for expression and discussion of their opinions, needs and desires in a manner that will have an impact on their community's development and services; (2) governmental agencies a method for receiving opinions, needs, desires and recommendations of residents and groups; (3) local governing bodies an improved basis for decision-making and assignment of priorities for all capital improvements and governmental programs affecting community development and individual well-being.

3 - NAICS Code

813410 - CIVIC AND SOCIAL ORGANIZATIONS

4 - Registered Agent

Name: Genevieve Owens

Mailing Address: 1440 N. Landmark Dr., Palmer, AK 99645

Physical Address: 1440 N. Landmark Dr., Palmer, AK 99645

5 - Entity Addresses

Mailing Address: 1440 N. Landmark Dr., Palmer, AK 99645

Physical Address: 1440 N. Landmark Dr., Palmer, AK 99645

6 - Officials

Name	Address	% Owned	Titles
Johnny Furlong	950 N Richmond Ln, Palmer, AK 99645		Director
Daniel Kennedy	4701 E. Shoreline Cir., Wasilla, AK 99654		Director
Genevieve Owens	1440 N. Landmark Dr., Palmer, AK 99645		Director
Johnny Furlong			Incorporator
Daniel Kennedy			Incorporator
Genevieve Owens			Incorporator

Name of person completing this online application

This form is for use by the named entity only. Only persons who are authorized by the above Incorporator(s) of the named entity may make changes to it. If you proceed to make changes to this form or any information on it, you will be certifying under penalty of perjury that you are authorized to make those changes, and that everything on the form is true and correct. In addition, persons who file documents with the commissioner that are known to the person to be false in material respects are guilty of a class A misdemeanor. Continuation means you have read this and understand it.

Name: Johnny Furlong



THE STATE
 of ALASKA

Department of Commerce, Community, and Economic Development
 Division of Corporations, Business, and Professional Licensing
 PO Box 110806, Juneau, AK 99811-0806
 (907) 465-2550 • Email: corporations@alaska.gov
 Website: corporations.alaska.gov

FOR DIVISION USE ONLY

Domestic Nonprofit Corporation

Initial Biennial Report

Entity Name: South Lakes Community Council
Entity Number: 10270560
Home Country: UNITED STATES
Home State/Prov.: ALASKA
Physical Address: 1440 N. LANDMARK DR., PALMER, AK 99645
Mailing Address: 1440 N. LANDMARK DR., PALMER, AK 99645

Registered Agent information cannot be changed on this form. Per Alaska Statutes, to update or change the Registered Agent information this entity must submit the Statement of Change form for this entity type along with its filing fee.
Name: Genevieve Owens
Physical Address: 1440 N. LANDMARK DR., PALMER, AK 99645
Mailing Address: 1440 N. LANDMARK DR., PALMER, AK 99645

Officials: The following is a complete list of officials who will be on record as a result of this filing.

- Provide all officials and required information. Use only the titles provided.
- Four (4) Mandatory Officers, who must be individuals: this entity must have a President, Vice-President, Secretary, and Treasurer. Two or more offices may be held by the same individual, except the offices of President and Secretary cannot be the same individual.
- Three (3) Mandatory Directors, who must be individuals. The number of directors must be at least three (3).

Full Legal Name	Complete Mailing Address	Assistant Secretary	Assistant Treasurer	Director	President	Secretary	Treasurer	Vice President
Johnny Furlong	950 N RICHMOND LN, PALMER, AK 99645			X	X			
Susanna Biederman	745 N. Bunker Hill St., Wasilla, AK 99654						X	
Daniel Kennedy	4701 E. SHORELINE CIR., WASILLA, AK 99654			X				X
Genevieve Owens	1440 N. LANDMARK DR., PALMER, AK 99645			X		X		

If necessary, attach a list of additional officers on a separate 8.5 X 11 sheet of paper.

NAICS Code: 813410 - CIVIC AND SOCIAL ORGANIZATIONS

New NAICS Code (optional):

This form is for use by the named entity only. Only persons who are authorized by the above Official(s) of the named entity may make changes to it. If you proceed to make changes to this form or any information on it, you will be certifying under penalty of perjury that you are authorized to make those changes, and that everything on the form is true and correct. In addition, persons who file documents with the commissioner that are known to the person to be false in material respects are guilty of a class A misdemeanor. Continuation means you have read this and understand it.

Name: Johnny Furlong

South Lakes Community Council
SPECIAL CALLED BOARD MEETING AGENDA

CRUMBLY BAKERY
4931 E MAYFLOWER LN
WASILLA, AK 99654

TYPE OF MEETING: SPECIAL BOARD TIME: 7:00 PM DATE: 05/15/2024

- I. CALL TO ORDER
- II. ROLL CALL
 - A. Chair – Johnny Furlong
 - B. Vice Chair – Dan Kennedy
 - C. Secretary – Genevieve Owens
 - D. Treasurer – Susanna Biederman
 - E. At-Large – Lance Nielson
 - F. At-Large – Lacey Furlong
 - G. At-Large – Terry Ann Roth
- III. APPROVAL OF AGENDA
 - A. SLCC BYLAWS
- IV. PLEDGE OF ALLEGIANCE
- V. PUBLIC COMMENT (THREE MINUTES EACH PERSON)
- VI. NEW BUSINESS
 - A. SLCC BYLAWS
- VII. ADJOURNMENT

**South Lakes Community Council
SPECIAL CALLED BOARD MEETING MINUTES
Crumbly Bakery
4931 E. Mayflower LN
Wasilla, AK 99654**

TYPE OF MEETING: Special Board **TIME:** 7:00PM **DATE:** 05/15/2024

- I. CALL TO ORDER- Johnny Furlong 7:11PM
- II. ROLL CALL
 - A. Chair- Johnny Furlong (Present)
 - B. Vice Chair- Dan Kennedy (Present)
 - C. Secretary- Genevieve Owens (Present)
 - D. Treasurer- Susanna Biederman (Present)
 - E. At-Large- Lance Nielson (Absent)
 - F. At-Large- Lacey Furlong (Present via Zoom)
 - G. At-Large- Terry Ann Roth (Present via Zoom)
- III. APPROVAL OF AGENDA
 - A. SLCC BYLAWS
Motion to approve agenda put forward by Dan Kennedy and second by Susanna Biederman. No discussion. Motion to approve agenda passed with none opposed.
- IV. PLEDGE OF ALLEGIANCE
All in attendance participated
- V. PUBLIC COMMENT (Three (3) minutes each person)
No public comment
- VI. NEW BUSINESS
 - A. SLCC BYLAWS
Proposed amendments:

ARTICLE III MEMBERSHIP

- 2) Membership: Residents can become Members and obtain rights through a simple registration process and pay annual dues of Ten dollars (\$10.00).

Motion to amend ARTICLE III MEMBERSHIP 2) Membership, put forward by Johnny Furlong and second by Dan Kennedy. No discussion. Motion to amend ARTICLE III MEMBERSHIP 2) Membership passed with none opposed.

ARTICLE VII MEETINGS AND WORK SESSIONS

- 1) Powers and Meeting Requirements: SLCC meetings are governed by the Alaska Open Meetings Act, which requires public openness and notice. Robert's Rules of Order shall guide meeting conduct, with a quorum defined for Committee meetings. All Meetings are open to the public and are to be posted at least fourteen (14) days before the meeting date on the official Matsu Borough website but are not restricted to only to this site.

<https://matsugov.us/boards/south-lakes-community-council>

Motion to amend ARTICLE VII MEETINGS AND WORK SESSIONS 1) Powers and Meeting Requirements, put forward by Genevieve Owens and second by Dan Kennedy. No discussion. Motion to amend ARTICLE VII MEETINGS AND WORK SESSIONS 1) Powers and Meeting Requirements passed with none opposed.

ARTICLE VII: MEETINGS AND WORK SESSIONS

- 2) South Lakes Community Council Board Live Stream and Recording:
 - f) Technical Support:
 - i) The SLCC Board will provide technical support for live streaming and recording services on the SLCC-managed website.

Motion to amend ARTICLE VII: MEETINGS AND WORK SESSIONS 2) South Lakes Community Council Board Live Stream and Recording, f) Technical Support, i), put forward by Johnny Furlong and second by Dan Kennedy. No discussion. Motion to amend ARTICLE VII: MEETINGS AND WORK SESSIONS 2) South Lakes Community Council Board Live Stream and Recording, f) Technical Support, i), passed with none opposed.

ARTICLE VII: MEETINGS AND WORK SESSIONS

- 6) Board Meetings:
 - 4. No SLCC official actions or passing of agenda items shall be taken by any board or committee members without a quorum and minutes taken.

Motion to amend ARTICLE VII: MEETINGS AND WORK SESSIONS, 6) Board Meetings, 4., put forward by Genevieve Owens and second by Dan Kennedy. No discussion. Motion to amend ARTICLE VII: MEETINGS AND WORK SESSIONS, 6) Board Meetings, 4., passed with none opposed.

ARTICLE IX: BOARD MEMBERS

- 3) Selection of Board Members: The election of Board members shall take place at a general membership meeting in the fourth quarter, between October and December.

Motion to amend ARTICLE IX: BOARD MEMBERS, 3), put forward by Johnny Furlong and second by Dan Kennedy. No discussion. Motion to amend ARTICLE IX: BOARD MEMBERS, 3), passed with none opposed.

ARTICLE IX: BOARD MEMBERS

- 8) Vacancies due to relocation or loss of membership status are filled by Membership approval after interim appointments by the Chair. Chair vacancies prompt an immediate Board restructuring. Within ninety (90) days, a new board member shall be elected for the remainder of the vacated member's term.

Motion to amend ARTICLE IX: BOARD MEMBERS, 8), put forward by Johnny Furlong and second by Dan Kennedy. No discussion. Motion to amend ARTICLE IX: BOARD MEMBERS, 8), passed with none opposed.


ARTICLE XI: FINANCES

g) A budget for the upcoming calendar year shall be drafted thirty (30) days prior to the fourth quarter Board meeting to approve the budget by a majority vote of the Board.

Motion to amend ARTICLE IX: FINANCES, g), put forward by Johnny Furlong and second by Susanna Biederman. No discussion. Motion to amend ARTICLE IX: FINANCES, g), passed with none opposed.

VII. ADJOURNMENT- Johnny Furlong 8:29PM

Johnny Furlong
Chairman, SLCC



Date 5.27.24

Attested by
Genevieve Owens
Secretary, SLCC



Date 5/27/24

South Lakes Community Council
SPECIAL CALLED BOARD MEETING AGENDA
5000 E Shennum Dr
Wasilla, AK 99654

TYPE OF MEETING: SPECIAL BOARD TIME: 12:00 PM DATE: 05/18/2024

- I. CALL TO ORDER
- II. ROLL CALL
 - A. Chair – Johnny Furlong
 - B. Vice Chair – Dan Kennedy
 - C. Secretary – Genevieve Owens
 - D. Treasurer – Susanna Biederman
 - E. At-Large – Lance Nielson
 - F. At-Large – Lacey Furlong
 - G. At-Large – Terry Ann Roth
- III. APPROVAL OF AGENDA
 - A. SLCC BYLAWS
- IV. PLEDGE OF ALLEGIANCE
- V. PUBLIC COMMENT (THREE MINUTES EACH PERSON)
- VI. NEW BUSINESS
 - A. SLCC BYLAWS
- VII. ADJOURNMENT

**South Lakes Community Council
SPECIAL CALLED BOARD MEETING MINUTES
5000 E. Shennum Dr.
Wasilla, AK 99645**

TYPE OF MEETING: Special Board **TIME:** 12:00PM **DATE:** 05/18/2024

- I. CALL TO ORDER- Chairman Johnny Furlong 12:09pm
- II. ROLL CALL
 - A. Chair- Johnny Furlong (Present)
 - B. Vice-Chair- Dan Kennedy (Present)
 - C. Secretary- Genevieve Owens (Present)
 - D. Treasurer- Susanna Biederman (Present)
 - E. At-Large – Lance Nielson (absent)
 - F. At-Large – Lacey Furlong (absent)
 - G. At-Large – Terry Ann Roth (Present)
- III. APPROVAL OF AGENDA
 - A. SLCC BYLAWS
Motion to approve agenda put forward by Johnny Furlong and second by Dan Kennedy. No discussion. Motion to approve agenda passed with none opposed.
- IV. PLEDGE OF ALLEGIANCE
Not performed at this meeting
- V. PUBLIC COMMENT (Three (3) minutes each person)
No public comments
- VI. NEW BUSINESS
 - A. SLCC BYLAWS
Proposed amendments:
Article III: MEMBERSHIP
 - 2) Membership: Residents can become Members and obtain rights through a simple registration process and pay annual dues of ten (\$10.00) dollars.
Article IX: BOARD MEMBERS
 - 4) Nominations: The Board shall appoint a Nominating Committee by the September Membership meeting and present nominees for vote in the fourth quarter Membership meeting between October and December. Floor nominations are permitted with the nominee's consent.
 - 10) Complaints and Disciplinary Actions
 - f) If removed, the Board member shall return all legal documents, passwords, and property belonging to the community council, including any keys.
 - 11) Board Role and Responsibilities
 - f) Treasurer
 - vi) Upon expiration of their term, they shall turn over all documents, passwords, and records to their successor. Within sixty (60) days after the expiry of their term, the current Treasurer, new Treasurer, and two (2) appointed Board members must review accounting. After the review is completed, the results will be presented to the Membership at the next meeting.

Motion put forward to approve proposed amendments of the SLCC bylaws by Johnny Furlong and seconded by Genevieve Owens. No discussion. Motion to approve proposed amendments of SLCC bylaws passed with none opposed.

VII. ADJOURNMENT- Johnny Furlong 12:21pm

Johnny Furlong
Chairman, SLCC

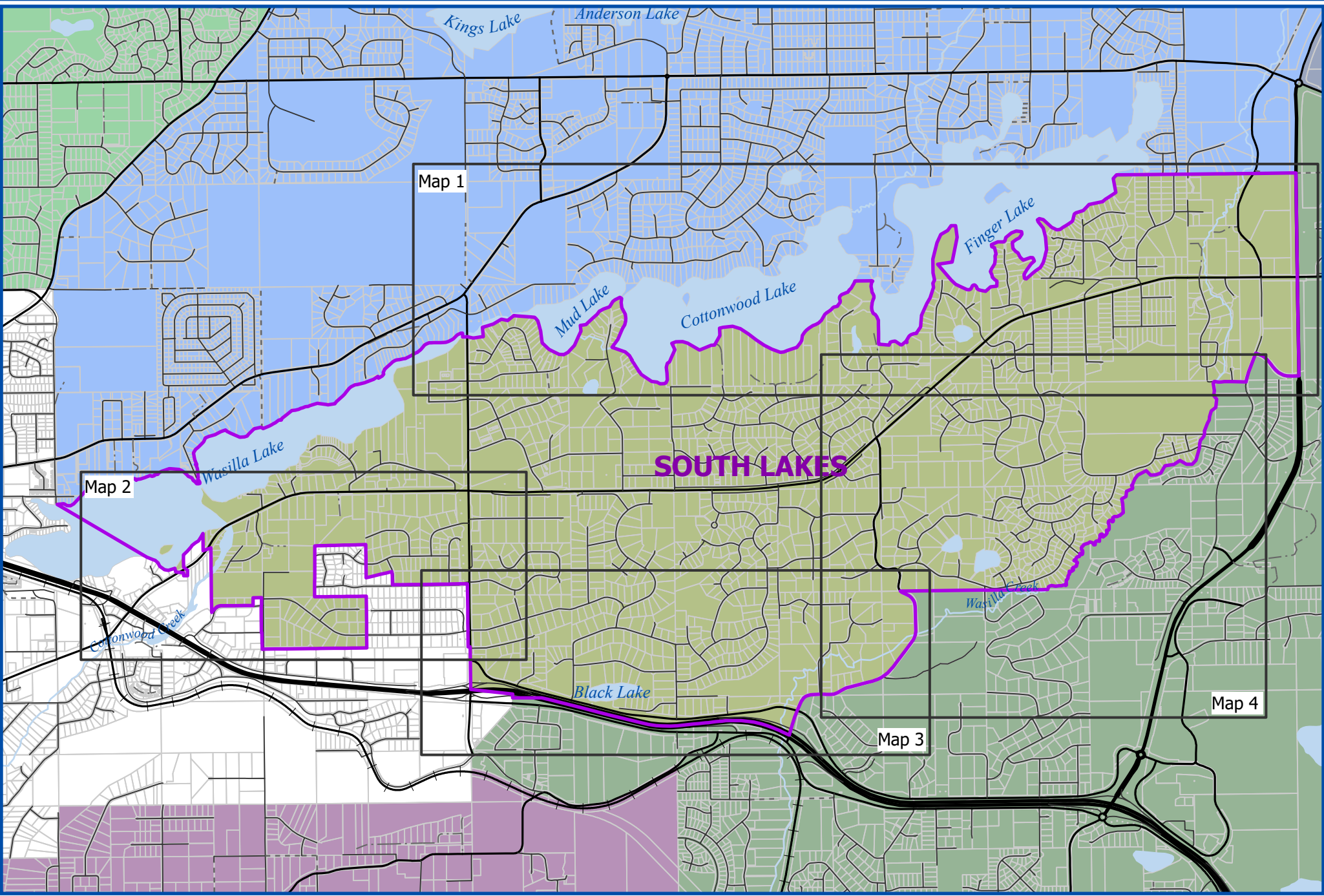


Date: 5-27-24

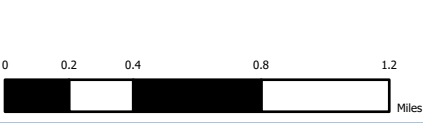
Attested by
Genevieve Owens
Secretary, SLCC



Date: 5/27/24



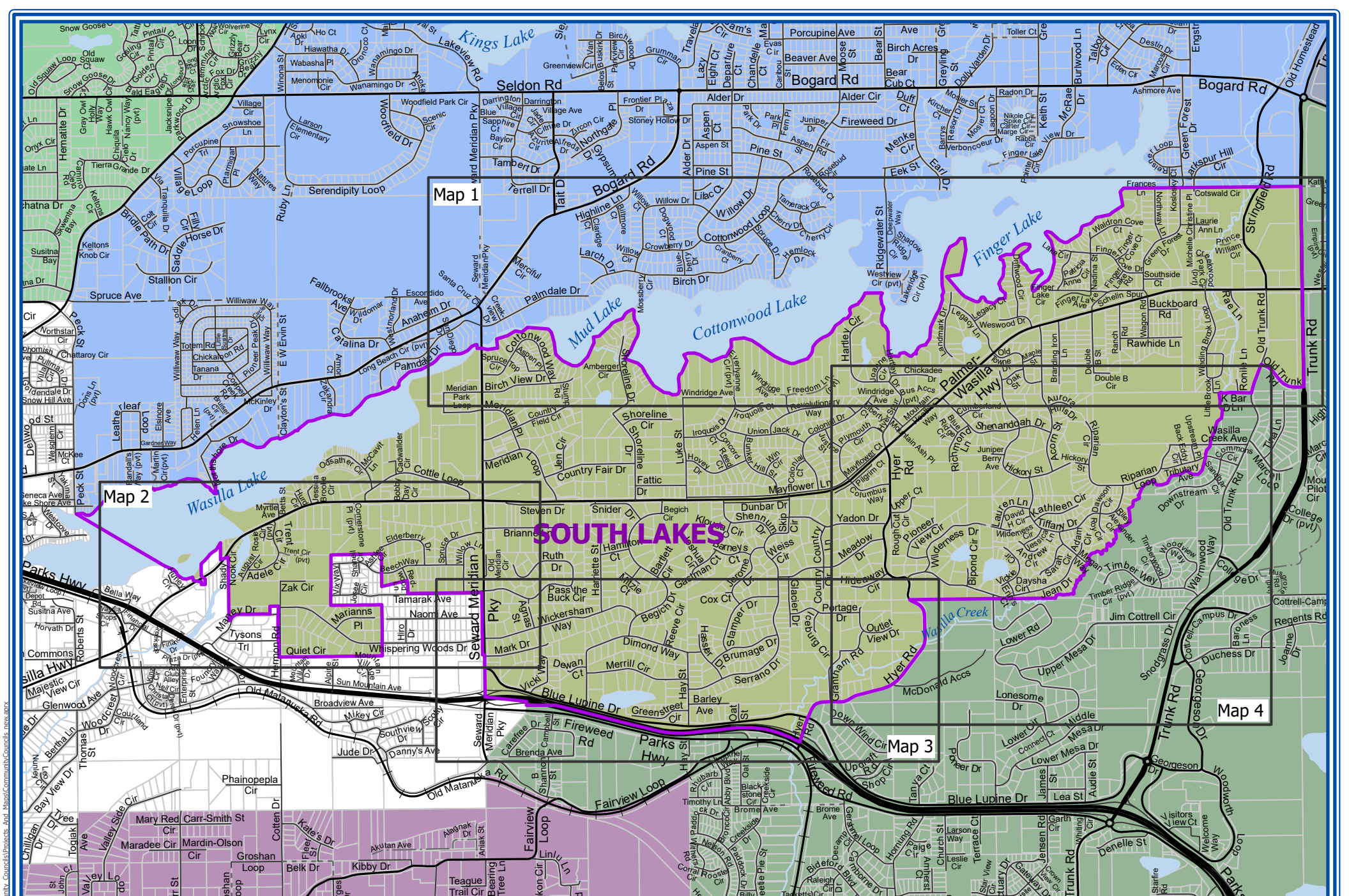
South Lakes Community Council



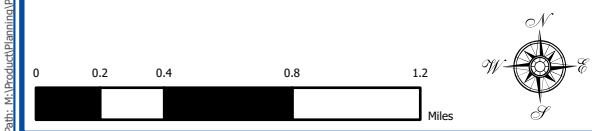
Community Councils		Roads		Primitive	
	North Lakes		Highway		Primitive
	South Lakes		Major or Medium		Private
	Tanaina		Minor		Not Constructed
	Knik-Fairview		South Lakes CC Boundary		



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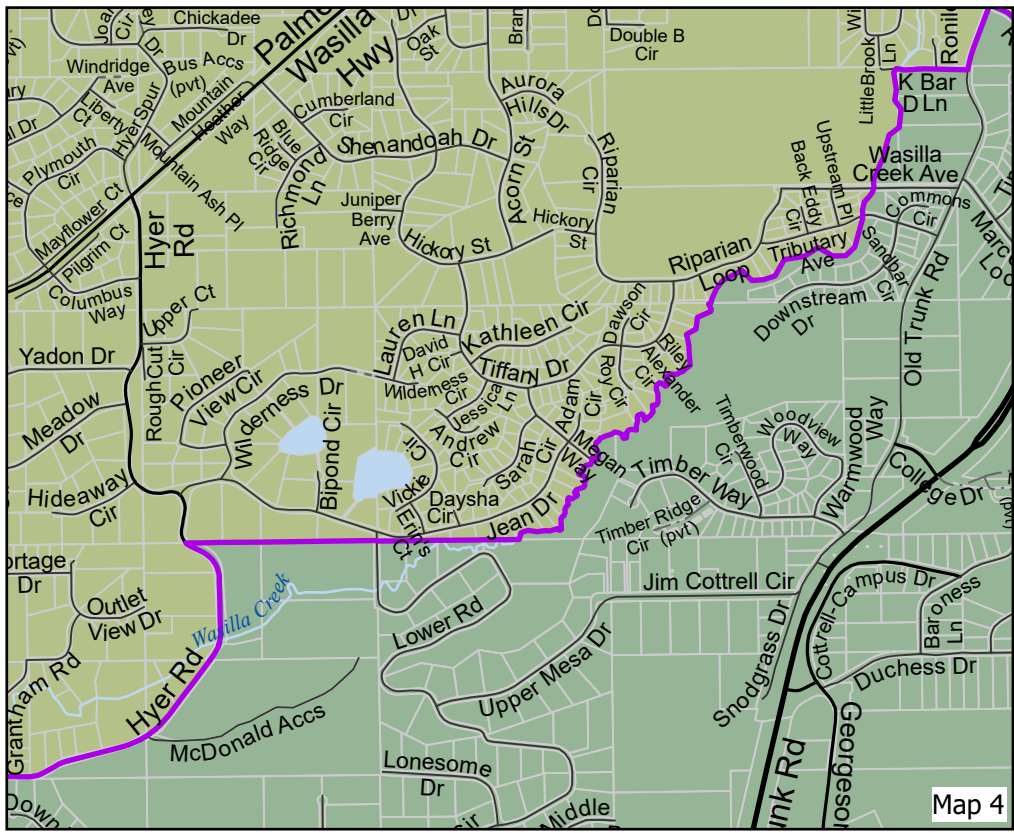
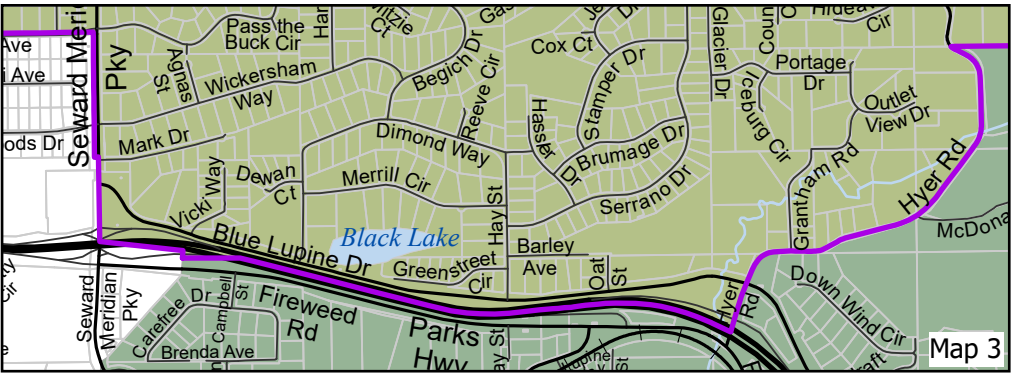
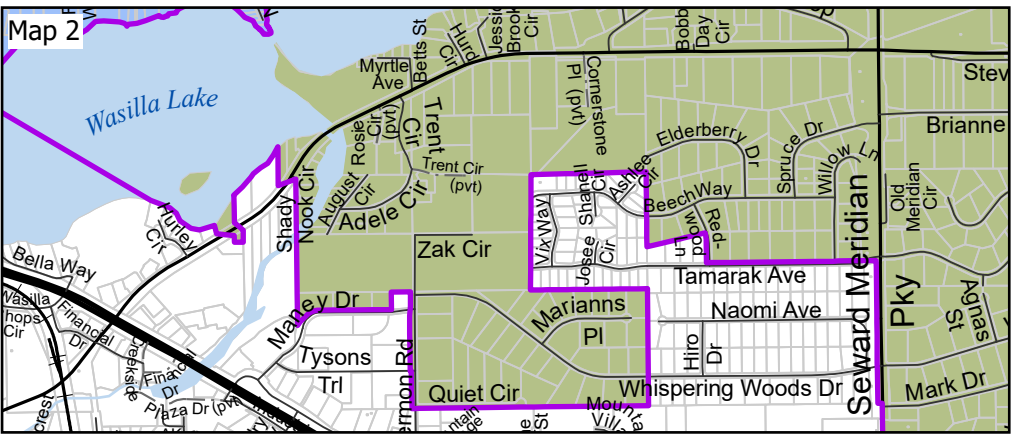
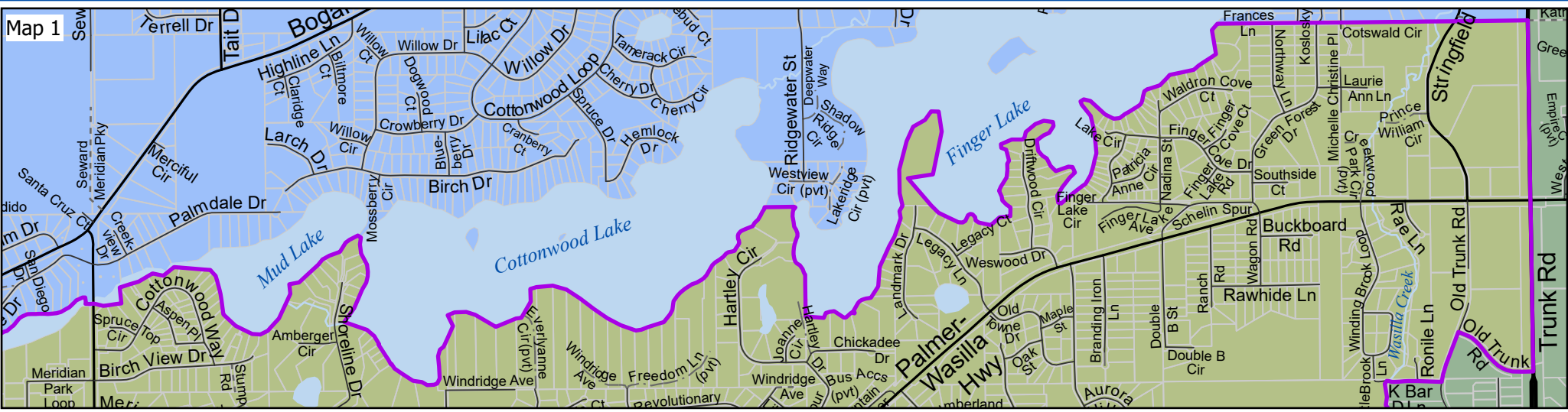
South Lakes Community Council



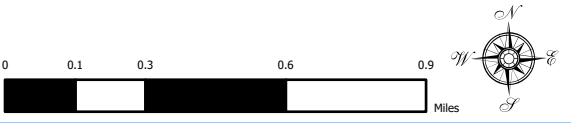
Community Councils		Roads		Primitive	
	North Lakes		Highway		Primitive
	South Lakes		Major or Medium		Private
	Tanaina		Minor		Not Constructed
	South Lakes CC Boundary				
	Farm Loop				
	Gateway				
	Knik-Fairview				



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South Lakes Community Council



Farm Loop	North Lakes	Highway	Primitive
Gateway	South Lakes	Major or Medium	Private
Knik-Fairview	Tanaina	Minor	Not Constructed
	South Lakes CC Boundary		



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By: Julie Spackman
Introduced: 6/17/2024
Public Hearing: 7/15/2024
Action:

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 24-14**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION RECOMMENDING THE ASSEMBLY REACTIVATE THE SOUTH LAKES COMMUNITY COUNCIL.

WHEREAS, Section 2.76.020 of the borough code provides for the establishment of community councils to afford citizens an opportunity for maximum community involvement and self-determination; and

WHEREAS, the South Lakes Community Council last submitted minutes to the Clerk's office in January 2003; and

WHEREAS, the South Lakes Community Council boundary was updated on April 16, 2019; and

WHEREAS, South Lakes residents have submitted all the necessary documentation to demonstrate compliance with the requirements set forth in MSB 2.76 for recognition.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby recommends the Assembly adopt a resolution reactivating the South Lakes Community Council with the boundaries approved in 2019.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this 15th day of July, 2024.

CJ KOAN, Chair

ATTEST

Corinne Lindfors, Planning Clerk

(SEAL)

YES:

NO:

DRAFT

PUBLIC HEARING QUASI-JUDICIAL

Resolution No. 24-08

Shoreline Cannabis

PUBLIC HEARING

STAFF REPORT



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

DEVELOPMENT SERVICES DIVISION STAFF REPORT

Date: June 5, 2024

File Number: M10302

Applicant: Justin Benson, for Shoreline Cannabis

Property Owner: J&T LLC

Request: Planning Commission Resolution 24-08
Conditional Use Permit for the Operation of a Marijuana Retail Facility in accordance with MSB Chapter 17.60 – Conditional Uses

Location: 4200 E. Snider Drive
Tax ID# 5274B03L007A

Size of Facility: Approximately 2,400 Square Feet

Reviewed By: Jason Ortiz, Development Services Manager *J.O.*

Staff: Rick Benedict, Current Planner

Staff Recommendation: Approval with conditions

EXECUTIVE SUMMARY

A conditional use permit application has been submitted to operate a marijuana retail facility in a commercial structure of approximately 2,400 square feet at 4200 E. Snider Drive. MSB 17.60.030 requires a conditional use permit to operate a marijuana retail facility in the borough. Unless this type of use is maintained under and in accordance with a lawfully issued permit, a marijuana retail facility is declared to be a public nuisance. Operation of such land uses without a permit is prohibited.

The subject parcel is situated within the Borough’s Core Area. The proposed operation will not produce noise or traffic or process, manufacture, or store hazardous substances exceeding those thresholds described within MSB 17.61.020(A)(1) through (4). Furthermore, the operation will not

generate contaminated water runoff. Therefore, a Core Area Conditional Use Permit is not required based on the information provided within the application packet.

LAND USE

Existing Land Use:

The subject parcel is part of the Midway Estates subdivision and within the non-active South Lakes Community Council area. It is approximately 1.18 acres in size and situated south of and adjacent to East Palmer-Wasilla Highway. The applicant proposes to operate from an existing 60' x 40' structure on the subject property, which Borough records indicate was constructed around 2001. The subject building has been used commercially since approximately 2001, previously serving as a construction supply store.

The State of Alaska Alcohol and Marijuana Control Office has awarded the operation a marijuana retail store license in delegated status until the applicant obtains a conditional use permit to operate within the Borough. The proposed use accesses East Palmer-Wasilla Highway and East Snider Drive, for which the applicant has obtained driveway permits from the State of Alaska, the Department of Transportation and Public Facilities (ADOT&PF), and the Borough's permitting center.

Surrounding Land Use:

The area surrounding the subject parcel consists of a mix of commercial, industrial, and residential properties. Several commercial uses exist north, such as a telecommunication company, restaurant, and lumber sales yard. To the west is a commercial storage rental facility; to the south and east are residential uses, an industrial equipment storage yard, and a dog boarding facility.

East Palmer-Wasilla Highway is a state-maintained major arterial roadway capable of handling commercial traffic. East Snider Drive is a borough-maintained residential roadway accommodating light commercial and residential traffic. Within a mile in both directions of the proposed use, East Palmer-Wasilla Highway's frontage consists mostly of commercial land uses. The proposed use is approximately 268 feet north of the nearest residential structure and approximately 56 feet east of the nearest commercial structure.

REVIEW OF APPLICABLE CRITERIA AND FINDINGS

MSB 17.03 – Public Notification

On May 10, 2024, 63 notices were mailed to all property owners within a 600-foot radius of the use and landowners within the Midway Estates Subdivision. The notification for the permit application was published in the Frontiersman newspaper on May 1, 2024. The application material was emailed to internal and outside agencies and posted on the Borough website for public review on April 25, 2024. The proposed use is within the South Lakes Community Council area, which is inactive. Comments were received from ADOT&PF, the Mat-Su Borough's Pre-Design & Engineering Department (MSB PD&E), and the Central Mat-Su Fire & Life Safety Division. Two negative responses were received from the public.

Section 17.60.100 General Standards

(A) A conditional use may be approved only if it meets with the requirements of this section in addition to any other standards required by this chapter:

(B) In granting a conditional use permit, the planning commission must make the following findings:

(1) the conditional use will preserve or not detract from the value, character, and integrity of the surrounding area;

Findings of Fact:

1. The subject parcel is approximately 1.18 acres in size.
2. The subject parcel is within the boundary of the South Lakes Community Council, which is not active.
3. The subject parcel is part of the Midway Estates subdivision.
4. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.
5. The applicant has submitted an authorization form signed by the property owner, permitting Shoreline Cannabis to operate as a marijuana retail store within the existing commercial building.
6. The proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet.
7. Borough records indicate that the existing building was constructed around 2001.
8. The subject building has been used commercially since approximately 2001, previously serving as a construction supply store.
9. According to the application material, the building's exterior is beige, with steel side panels, silver metal roofing, black accents, and black doors.
10. The proposed use will access East Palmer-Wasilla Highway and East Snider Drive, for which the applicant has obtained driveway permits from ADOT&PF (#26370) and the Borough's permitting center (#D28736).
11. Uses along the East Palmer-Wasilla Highway frontage are mostly commercial.
12. East Palmer-Wasilla Highway is a state-maintained major arterial roadway capable of handling commercial traffic.
13. East Snider Drive is a Borough-maintained residential roadway with commercial and residential uses along its frontage.
14. East Snider Drive can accommodate light commercial and residential traffic.
15. The proposed use is approximately 268 feet north of the nearest residential structure.
16. The proposed use is approximately 56 feet east of the nearest commercial structure.
17. The area surrounding the subject parcel is a mixture of commercial, industrial, and residential uses.
18. According to the application, the operation will have one metal and plastic advertising sign, 21' x 3', attached to the front of the proposed building.

19. The advertising sign will face the East Palmer-Wasilla Highway and be backlit during operating hours.
20. No advertising signage is proposed along the East Palmer-Wasilla Highway right-of-way.
21. According to the application material, the proposed marijuana retail store will not generate noise or odors.
22. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
23. The proposed use is located approximately 57 feet from East Palmer-Wasilla Highway to the north, approximately 47 feet from the western property line, approximately 201 feet from the southern property line, and approximately 57 feet from the eastern property line.
24. Consumption of marijuana is prohibited at the site.
25. Persons under 21 are prohibited from entering the facility.
26. According to the application, signs will be posted at the proposed use's entrance prohibiting loitering.
27. According to the application material, exterior lighting will be shielded to prevent light pollution.

Discussion: Staff received two negative comments from residents resulting from a public notice. The respondents opposed the proposed use due to concerns over increased traffic, availability of on-site parking, ADA-compliant space locations, the potential for decreased property values within the area, and the proximity of three other marijuana retail stores within the local vicinity.

Conclusion of Law: Based on the above findings, the proposed use will not detract from the value, character, and integrity of the surrounding area (MSB 17.60.100(B)(1)).

(2) *that granting the conditional use permit will not be harmful to the public health, safety, convenience, and welfare;*

Findings of Fact:

1. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.
2. The proposed use will access East Palmer-Wasilla Highway and East Snider Drive, for which the applicant has obtained driveway permits from ADOT&PF (#26370) and the Borough's permitting center (#D28736).
3. Uses along the East Palmer-Wasilla Highway frontage are mostly commercial.
4. East Palmer-Wasilla Highway is a state-maintained major arterial roadway capable of handling commercial traffic.
5. East Snider Drive is a Borough-maintained residential roadway with commercial and residential uses along its frontage.
6. East Snider Drive can accommodate light commercial and residential traffic.
7. The subject building has been used commercially since approximately 2001, previously serving as a construction supply store.

8. The proposed use is approximately 268 feet north of the nearest residential structure.
9. The proposed use is approximately 56 feet east of the nearest commercial structure.
10. The area surrounding the subject parcel is a mixture of commercial, industrial, and residential uses.
11. According to the application material, the proposed marijuana retail store will not generate noise or odors.
12. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
13. Consumption of marijuana is prohibited at the site.
14. Persons under 21 are prohibited from entering the facility.
15. According to the application material, employees will immediately check the identification of all persons who enter the facility to verify their age.
16. According to the application, signs will be posted at the proposed use's entrance prohibiting loitering.
17. According to the application material, exterior lighting will be shielded to prevent light pollution.
18. According to the application material, the operation will utilize an alarm and video surveillance system, along with lighting, as part of its security plan.
19. According to the application materials, security cameras will be installed in well-lit areas on the interior and exterior of the building, facing entrances, exits, and the cashier area.
20. According to the application materials, the operation has a security plan, which includes educating employees on all security measures.
21. On August 24, 2023, the Deputy Fire Marshal for the Central Mat-Su Fire & Life Safety Division issued an approved Plan Review #2024-022 for the commercial structure.
22. The commercial structure fully complies with the State of Alaska fire code.

Conclusion of Law: Based on the above findings, the proposed use will not be harmful to public health, safety, convenience, and welfare (MSB 17.60.100(B)(2)).

(3) that sufficient setback, lot area, buffers, or other safeguards are being provided to meet the conditions listed in subsections (B)(1) through (3) of this section; and

Findings of Fact:

1. The subject parcel is approximately 1.18 acres in size.
2. The proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet.
3. The proposed use is approximately 268 feet north of the nearest residential structure.
4. The proposed use is approximately 56 feet east of the nearest commercial structure.
5. The proposed use is located approximately 57 feet from East Palmer-Wasilla Highway to the north, approximately 47 feet from the western property line, approximately 201 feet from the southern property line, and approximately 57 feet from the eastern property line.

Conclusion of Law: Based on the above findings, sufficient setbacks, lot area, buffers, and other safeguards are being provided (MSB 17.60.100(B)(3)).

(4) *the conditional use fulfills all other requirements of this chapter pertaining to the conditional use in this section.*

Finding of Fact:

1. All the required site plans and operational information have been provided by the applicant.

Discussion: On May 1, 2024, the Borough's PD&E Division responded to an internal review request and stated that the applicant should update the site plan to show all the proposed improvements on the subject property, including pavement. Since the construction of a driveway allowing access from East Snider Drive turned gravel surfaces into paved surfaces, the stormwater runoff generated from the site has increased. To account for this, PD&E recommended a retention basin or similar drainage feature be designed and constructed to retain the increased stormwater runoff. On May 28, 2024, the applicant provided information from a licensed engineer and an updated site plan to reflect new construction and mitigation methods for increased stormwater runoff. PD&E reviewed the updated site plan and engineer's statement addressing stormwater runoff and found the amendments acceptable.

Conclusion of Law: Based on the above findings, the application material meets all the requirements of this chapter (MSB 17.60.100(B)(4)).

Section 17.60.150 General Standards for Marijuana Related Facilities

(A) *In addition to the standards set forth by MSB 17.60.100, the planning commission shall weigh factors which contribute or detract from the development of a safe, convenient, and attractive community, including, but not limited to:*

(1) *any potential negative effect upon other properties in the area due to such factors as noise and odor.*

Findings of Fact:

1. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.
2. The proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet.
3. The proposed use is approximately 268 feet north of the nearest residential structure.
4. The proposed use is approximately 56 feet east of the nearest commercial structure.
5. The area surrounding the subject parcel is a mixture of commercial, industrial, and residential uses.
6. According to the application material, the proposed marijuana retail store will not generate noise or odors.
7. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.

8. The proposed use is located approximately 57 feet from East Palmer-Wasilla Highway to the north, approximately 47 feet from the western property line, approximately 201 feet from the southern property line, and approximately 57 feet from the eastern property line.
9. Consumption of marijuana is prohibited at the site.

Conclusion of Law: Based on the above findings, the proposed use will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).

- (2) *the effectiveness of measures to reduce negative effects upon adjacent properties by:*
 - (a) *increased property line and right-of-way buffers;*
 - (b) *planted berms and landscaping;*
 - (c) *site and building design features which contribute to the character of the surrounding area.*

Findings of Fact:

1. The proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet.
2. The proposed use is approximately 268 feet north of the nearest residential structure.
3. The proposed use is approximately 56 feet east of the nearest commercial structure.
4. The proposed use is located approximately 57 feet from East Palmer-Wasilla Highway to the north, approximately 47 feet from the western property line, approximately 201 feet from the southern property line, and approximately 57 feet from the eastern property line.
5. According to the application material, the building's exterior is beige, with steel side panels, silver metal roofing, black accents, and black doors.
6. East Palmer-Wasilla Highway is a major arterial road with mostly commercial uses along its frontage.
7. East Snider Drive is a Borough-maintained residential roadway with commercial and residential uses along its frontage.
8. The area surrounding the subject parcel is a mixture of commercial, industrial, and residential uses.
9. According to the application, the operation will have one metal and plastic advertising sign, 21' x 3', attached to the front of the proposed building.
10. The advertising sign will face the East Palmer-Wasilla Highway and be backlit during operating hours.
11. No advertising signage is proposed along the East Palmer-Wasilla Highway right-of-way.

Conclusion of Law: Based on the above findings, measures are in place to reduce negative affects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).

- (3) *whether the use is compatible with the character of the surrounding area.*

Findings of Fact:

1. The subject parcel is within the boundary of the South Lakes Community Council, which is not active.
2. The subject parcel is part of the Midway Estates subdivision.

3. The proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet.
4. Borough records indicate that the existing building was constructed around 2001.
5. The subject building has been used commercially since approximately 2001, previously serving as a construction supply store.
6. According to the application material, the building's exterior is beige, with steel side panels, silver metal roofing, black accents, and black doors.
7. Uses along the East Palmer-Wasilla Highway frontage are mostly commercial.
8. East Snider Drive is a Borough-maintained residential roadway with commercial and residential uses along its frontage.
9. The proposed use is approximately 268 feet north of the nearest residential structure.
10. The proposed use is approximately 56 feet east of the nearest commercial structure.
11. The area surrounding the subject parcel is a mixture of commercial, industrial, and residential uses.
12. According to the application, the operation will have one metal and plastic advertising sign, 21' x 3', attached to the front of the proposed building.
13. The advertising sign will face the East Palmer-Wasilla Highway and be backlit during operating hours.
14. No advertising signage is proposed along the East Palmer-Wasilla Highway right-of-way.
15. According to the application material, the proposed marijuana retail store will not generate noise or odors.
16. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
17. The proposed use is located approximately 57 feet from East Palmer-Wasilla Highway to the north, approximately 47 feet from the western property line, approximately 201 feet from the southern property line, and approximately 57 feet from the eastern property line.
18. Consumption of marijuana is prohibited at the site.
19. According to the application material, exterior lighting will be shielded to prevent light pollution.

Conclusion of Law: Based on the above findings, the proposed use is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).

(B) At the time of their establishment, marijuana related conditional uses shall meet the following requirements and not be located within:

(1) One thousand feet of school grounds;

(C) Separation distances referenced in subsection (B) of this section are measured in a direct line between the closest point of the facility within which the marijuana facility is located, and the closest point on the lot or parcel of land upon which any of the above itemized uses are located.

Finding of Fact:

1. The closest school (Cottonwood Creek Elementary School) is approximately 2,910 feet from the proposed use.

Conclusion of Law: Based on the above finding, the proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).

(D) Prior to final approval of the permit the applicant shall provide written documentation demonstrating that:

- (1) all applicable licenses have been obtained as required by 3 AAC 306.005.*

Findings of Fact:

1. The State of Alaska Marijuana Control Board meeting conducted June 1-2, 2023, voted to approve Shoreline Cannabis retail marijuana store license #32848 with delegation.
2. The MSB Development Services Division received a copy of the delegated approval for the applicant's marijuana retail facility.

Conclusion of Law: Based on the above findings, the applicant provided a copy of documents demonstrating that all applicable licenses pertaining to 3 AAC 306.005 have been obtained (MSB 17.60.150(D)(1)).

(2) from the fire marshal having jurisdiction, that the proposed conditional use is in full compliance with applicable fire code, including but not limited to AS 18.70.010 through 18.70.160, Fire Protection, and 13 AAC 50.025 through 50.080, Fire Code.

Findings of Fact:

1. On August 24, 2023, the Deputy Fire Marshal for the Central Mat-Su Fire & Life Safety Division issued an approved Plan Review #2024-022 for the commercial structure.
2. The commercial structure fully complies with the State of Alaska fire code.
3. The applicant provided a copy of the approved Plan Review #2024-022 to the MSB Development Services Division.

Conclusion of Law: Based on the above findings, the proposed use is in full compliance with all applicable fire code (MSB 17.60.150(D)(2)).

Section 17.60.170 Standards for Marijuana Retail Facilities

(A) Marijuana retail facilities shall only be approved upon finding by the commission that the proposed facility is located on a parcel that is appropriate for commercial use. At a minimum, the commission shall consider:

- (1) proximity of the proposed use to existing businesses;*
- (2) proximity to parcels developed for residential use; and*
- (3) whether roads associated with the proposed use have been, or will be, appropriate for commercial use.*

Findings of Fact:

1. The Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, shows a "Marijuana Dispensary" of approximately 2,400 square feet in an urban area is expected

to produce approximately 55 trips per weekday PM hour based on the average trip start/end generation rates.

2. The proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet.
3. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.
4. The proposed use will access East Palmer-Wasilla Highway and East Snider Drive, for which the applicant has obtained driveway permits from ADOT&PF (#26370) and the Borough's permitting center (#D28736).
5. Uses along the East Palmer-Wasilla Highway frontage are mostly commercial.
6. East Palmer-Wasilla Highway is a state-maintained major arterial roadway capable of handling commercial traffic.
7. East Snider Drive is a Borough-maintained residential roadway with commercial and residential uses along its frontage.
8. East Snider Drive can accommodate light commercial and residential traffic.
9. The proposed use is approximately 268 feet north of the nearest residential structure.
10. The proposed use is approximately 56 feet east of the nearest commercial structure.
11. The area surrounding the subject parcel is a mixture of commercial, industrial, and residential uses.
12. The proposed use is located approximately 57 feet from East Palmer-Wasilla Highway to the north, approximately 47 feet from the western property line, approximately 201 feet from the southern property line, and approximately 57 feet from the eastern property line.

Conclusion of Law: Based on the above findings, the proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).

(B) The minimum number of parking spaces for retail facilities shall be one space per 350 square feet of net floor area. Each parking space shall be at least: 20 feet in length, ten feet wide, and have a vertical clearance of at least seven feet.

Findings of Fact:

1. The proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet.
2. A marijuana retail facility with an area of 2,400 square feet must provide seven parking spaces, one of which must be ADA-compliant.
3. According to the application material, eight parking spaces will be provided for the proposed use, one of which will comply with ADA requirements.
4. Each parking space is twenty feet long and ten feet wide.
5. There are no vertical clearance limitations on site.

Discussion: On May 22, 2024, staff conducted a site visit to the location of the proposed marijuana retail store. While on-site, it was observed that the current parking plan for the proposed use might interrupt or impede access by emergency vehicles to the rear of the structure. It was also

observed that the ADA parking space had not been painted to designate its location, and the required ADA van-accessible sign had not been mounted. Staff recommends a condition of approval that before operating, the applicant re-design the parking area or remove one parking spot on the west portion of the parking lot to accommodate emergency vehicles. Staff also recommends a condition of approval that the ADA parking space be painted, and the ADA van-accessible sign be mounted before operating.

Conclusion of Law: Based on the above findings, and with conditions, the proposed use meets the minimum number of parking spaces for retail facilities (MSB 17.60.170(B)).

(C) Parking spaces shall be provided to comply with current Americans with Disabilities Act (ADA) guidelines.

Findings of Fact:

1. A marijuana retail facility with an area of 2,400 square feet must provide seven parking spaces, one of which must be ADA-compliant.
2. According to the application material, eight parking spaces will be provided for the proposed use, one of which will comply with ADA requirements.
3. Each parking space is twenty feet long and ten feet wide.
4. There are no vertical clearance limitations on site.

Conclusion of Law: Based on the above findings, the proposed use complies with current ADA parking space guidelines (MSB 17.60.170(C)).

STAFF RECOMMENDATIONS

Staff recommends approving the Conditional Use Permit to operate a marijuana retail facility, 2,400 square feet in size, at 4200 E. Snider Drive, Tax ID #5274B03L007A. The proposed use meets all the standards in MSB 17.60.100, 17.60.150, and 17.60.170. Staff recommends approval of this permit with the following conditions:

1. Prior to operating, the applicant shall re-design the parking area or remove one parking spot on the west portion of the parking lot to accommodate emergency vehicles. Parking spaces shall conform to the minimum requirements of MSB 17.60.170(B) & (C), and modifications must be approved in advance by the MSB Planning Department.
2. Prior to operating, the ADA parking space shall be painted, and the ADA van-accessible sign be mounted to indicate its location. The applicant shall provide the MSB Planning Department proof of completion in the form of colored pictures.
3. The operation shall comply with all applicable federal, state, and local regulations.
4. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the Conditional Use Permit shall be required prior to any expansion of the conditional use.
5. Borough staff shall be permitted to enter premises subject to this permit to monitor compliance with permit requirements. Such access will at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times








as necessary to monitor compliance. Denial of access to borough staff shall be a violation of this conditional use permit.

6. On-site consumption of marijuana and marijuana products is prohibited.
7. The hours of operation will not exceed 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.

If the Planning Commission chooses to deny this application, findings for denial must be prepared by the Commission.

MAPS

Building Use

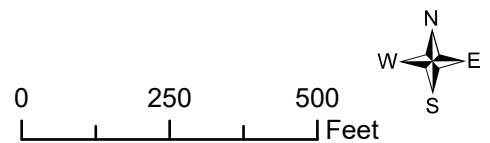
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-  Religious
-  Residential
-  Commercial
-  Industrial
-  Agricultural
-  Recreational

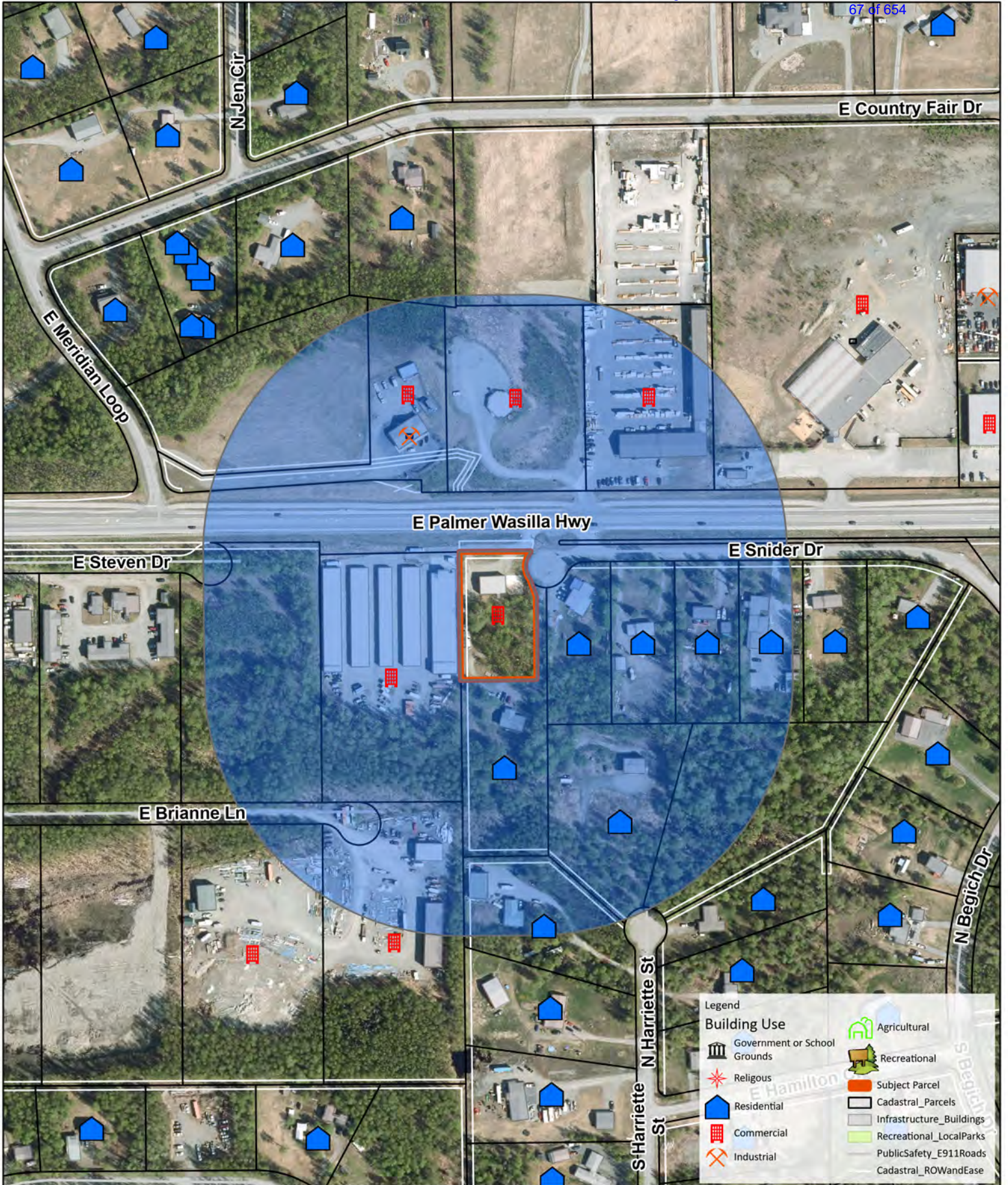


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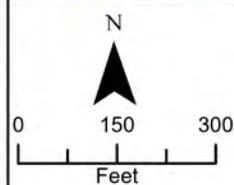
Land Use Map with 1000' buffer 5274B03L007A





600' Public Notice Area
MSB Tax #5274B03L007A

Map Produced by MSB IT/GIS Division: 5/14/2024



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.

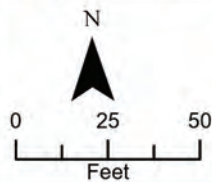
Path: C:\Users\bene1370\Documents\ArcGIS\Projects\MyProject2\MyProject2.aprx



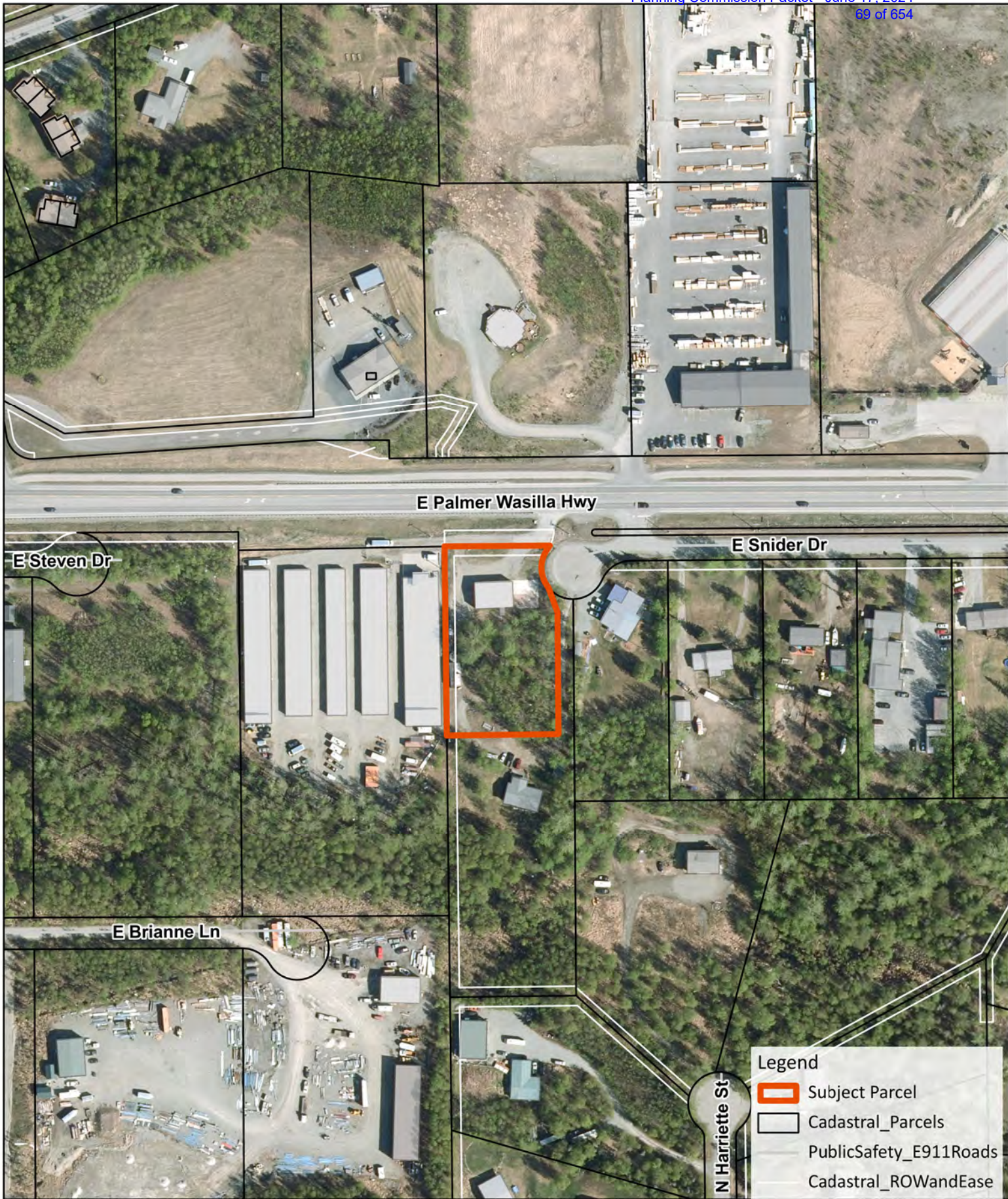
2011 Contours Map

MSB Tax #5274B03L007A

Map Produced by MSB IT/GIS Division: 5/15/2024

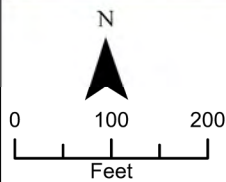


This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.



Bare Earth Map
MSB Tax #5274B03L007A

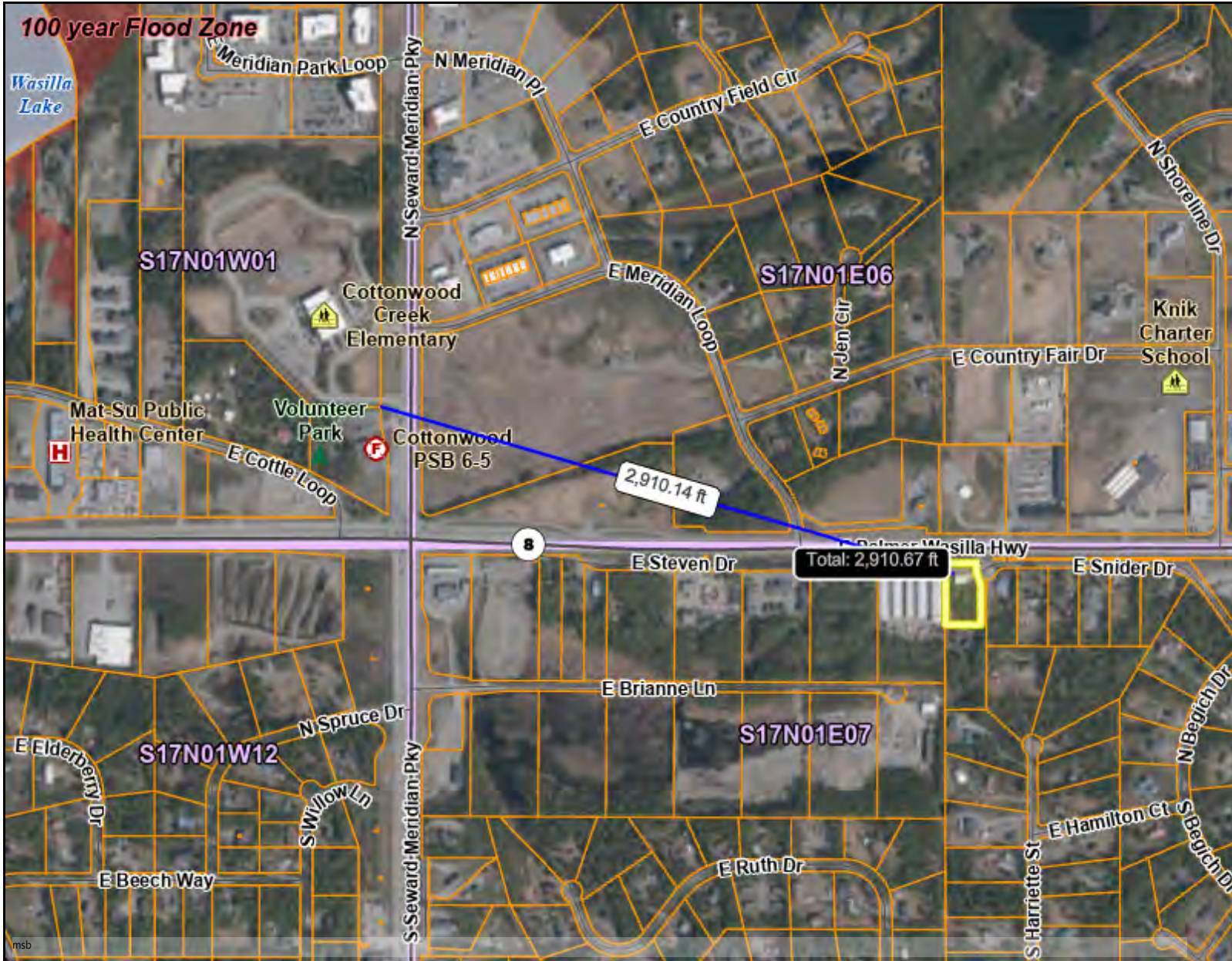
Map Produced by MSB IT/GIS Division: 5/15/2024



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.



Matanuska-Susitna Borough

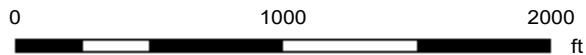


- Legend**
- ParcelViewer
 - Public Facilities
 - Medical
 - Fire and Volunteer Fire
 - School
 - School
 - Recreational Facilities
 - Park
 - Road Mileposts
 - Roads
 - Major Road
 - Minor Road
 - Not Constructed
 - Mat-Su Borough Boundary
 - Incorporated Cities
 - Parcels
 - 100 year Flood Zone
 - Section Lines

1 : 18056



THIS MAP IS NOT TO BE USED FOR NAVIGATION



WGS_1984_Web_Mercator_Auxiliary_Sphere

Date: 05/15/24

This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.

Notes
 >1000' Feet from School according to MSB 17.60

PUBLIC NOTICING

From: [Rick Benedict](#)
To: [Rick Benedict](#)
Bcc: [DEC Agency Reviews](#); "[msb.hpc@gmail.com](#)"; "[mearow@matanuska.com](#)"; "[row@mtasolutions.com](#)"; "[row@enstarnaturalgas.com](#)"; "[GCI ROW](#)"; [Tom Adams](#); [Jamie Taylor](#); [Brad Sworts](#); [Charlyn Spannagel](#); [Alex Strawn](#); [Jason Ortiz](#); [Corinne Lindfors](#); [Permit Center](#); [Peggy Horton](#); [Fred Wagner](#); [Planning](#); [John Aschenbrenner](#); "[Eric Phillips](#)"; [Daniel Dahms](#); [Tammy Simmons](#); [Peggy Horton](#); [License Reviews](#); "[amco.localgovernmentonly@alaska.gov](#)"; [Lesley Norris](#); [Land Management](#); "[lmb@matsugov.us](#)"; [Michelle Olsen](#); "[Kyler Hylton](#)"; [ben.white@alaska.gov](#); [Huling, Kristina N \(DOT\)](#); [colton.percy@alaska.gov](#); [Brian Davis](#); [Jeffrey Anderson](#); [Fire Code](#); [Chad Cameron Contact](#); [Katrina Kline](#); "[sarah.myers@alaska.gov](#)"; [Dolores McKee](#); [davemtp@mtaonline.net](#); [iszipszky@palmerpolice.com](#); [susansteele550@gmail.com](#); [blushingmoose@yahoo.com](#); [antiquetuck@gmail.com](#); [lisahak@duck.com](#); [markmoblely@ymail.com](#)
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Thursday, April 25, 2024 10:06:00 AM

APPLICANT: Justin Benson, on behalf of Shoreline Cannabis

LOCATION: 4200 E. Snider Drive, Wasilla, AK 99654; Tax ID# 5274B03L007A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on [Monday, June 17, 2024, at 6:00 p.m.](#)

Application materials may be viewed online at [www.matsugov.us](#) by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before [Friday, May 31, 2024](#), and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

PERMIT CENTER – FEE RECEIPT FORM

Property Location: Tax ID # 52748032007A Applicant: Shoreline Cannabis CUP

USE PERMITS {100.000.000.341.300}	Fee
8.35 Public Display of Fireworks	\$25.00
8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.52 Temporary Noise Permit	\$1000.00
8.55 Special Events Permit 500 – 1000 Attendees 1000+ Attendees	\$500.00 \$1,000.00
8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
17.02 Mandatory Land Use Permits	\$50.00
17.04 Nancy Lake Special Land Use District CUP	\$1,500.00
17.06 Electrical Generating & Delivery Facility Application	\$500.00
17.08 Hay Flats Special Land Use District Exception Application	\$1000.00
17.17 Denali State Park Conditional Use Permit	\$1500.00
17.18 Chickaloon Special Land Use District CUP	\$1500.00
17.19 Glacier View Special Land Use District CUP	\$1500.00
17.23 Port MacKenzie Development Permit	\$1000.00
17.25 Talkeetna Conditional Use Permit	\$1500.00
17.25 Talkeetna Conditional Use Permit – Variance	\$1500.00
17.27 Sutton Special Land Use District CUP	\$1500.00
17.29 Flood Damage Prevention Development Permit	\$100.00
17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
17.30.040 Earth Materials Extraction Admin. Permit	\$1000.00
17.30.050 Earth Materials Extraction CUP	\$1500.00
17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots Additional Lots or tracts being created – Per Lot	\$500.00 \$100.00
17.48 Mobile Home Park Permit Application	\$500.00
17.52 Residential Land Use District App (Rezone)	\$1,000.00
17.52 Conditional Use Permit Application CUP	\$1,500.00
17.55 Shoreline Setback Exception Application	\$300.00
17.60 Conditional Use Permit Application	\$1500.00
17.61 Commercial/Industrial Core Area Conditional Use Permit	\$1500.00
17.62 Coal Bed Methane	\$1500.00

Matanuska-Susitna Borough
Finance
350 E Dahlia Avenue
Palmer, AK 99645
907-861-8610
Welcome

05/22/2024 09:49AM Madeline C
000111-0019 000002145
Payment Effective Date 05/22/2024

MISCELLANEOUS RECEIPT

100000000 341300 -	
Planning - Platting -	
2024 Item: 57	
1 @ \$101.1000	
100000000 341300 -	
Planning - Platting -	
Map Fees	\$101.10

	\$101.10
Subtotal	\$101.10
Total	\$101.10
CHECK	\$101.10
Check Number 4885	

Change due	\$0.00

Paid by: JDW, LLC

Comments: ADVERTISING FEES PERMIT
#M10302

Thank you for your payment

CUSTOMER COPY



Matanuska-Susitna Borough

www.matsugov.us

MATANUSKA-SUSITNA BOROUGH NOTICE OF PUBLIC MEETINGS

MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION AGENDA

June 3, 2024

REGULAR MEETING

6:00 p.m.

Ways you can participate in the meetings:

IN PERSON: You will have 3 minutes to state your oral comment

IN WRITING: You can submit written comments to the Planning Commission Clerk at msb.planning.commission@matsugov.us

Written comments are due at noon on the Friday prior to the meeting.

TELEPHONIC TESTIMONY:

- Dial 1-855-290-3803; you will hear "joining conference" when you are admitted to the meeting.
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised."
- When it is your turn to testify, you will hear, "Your line has been unmuted."
- State your name for the record, spell your last name, and provide your testimony.

OBSERVE: observe the meeting via the live stream video at:

- <https://www.facebook.com/MatSuBorough>
- Matanuska-Susitna Borough - YouTube

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

II. APPROVAL OF AGENDA

III. PLEDGE OF ALLEGIANCE

IV. CONSENT AGENDA

A. MINUTES

Regular Meeting Minutes: May 20, 2024

B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS

Resolution 24-08 A Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive Tax ID# 5274B03L007A. Public Hearing: June 17, 2024 (Applicant: Justin Benson, on behalf of Shoreline Cannabis; Staff: Rick Benedict, Current Planner)

Resolution 24-09 A Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 10600 E. Max Drive Tax ID# 2209B02L001A. Public Hearing: June 17, 2024 (Applicant: Anthony Wells, on behalf of Smoke Out Point; Staff: Rick Benedict, Current Planner)

Resolution 24-11 A Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher By Bad Gramm3r. The facility is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The new location is on Tax ID # 6932000L002. Public Hearing: June 17, 2024 (Applicant: Teresa Zell; Staff: Peggy Horton, Current Planner)

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

Resolution 24-13 A Resolution of the Matanuska-Susitna Borough Planning Commission recommending repeal of MSB 17.48 Mobile Home Park Ordinance in its entirety.

V. COMMITTEE REPORTS

VI. AGENCY/STAFF REPORTS

VII. PUBLIC HEARING: LAND USE CLASSIFICATIONS

VIII. AUDIENCE PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)

IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS

(*Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.*)

X. PUBLIC HEARING: LEGISLATIVE MATTERS

XI. CORRESPONDENCE & INFORMATION

XII. UNFINISHED BUSINESS

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

A. Upcoming Planning Commission Agenda Items

XV. DIRECTOR AND COMMISSIONER COMMENTS

XVI. ADJOURNMENT (*Mandatory Midnight*)

All meetings of recognized boards, committees, and commissions of the Borough are open to the public and are held at Borough offices, 350 E. Dahlia Ave., Palmer, AK, unless specified otherwise. Three or more Assembly Members may be present at advertised public meetings of federal, state, and local governments or other entities. Meetings are scheduled as follows:

BOARD	DATE	TIME	LOCATION
Abbreviated Plat	05/22/24	8:30 am	Assembly Chambers
MVP Transportation Technical Committee	05/22/24	1:00 pm	Assembly Chambers
Waterbody Setback Advisory Board	05/22/24	5:00 pm	Mat-Su Borough Employee Break Room
Greater Butte RSA No. 26 Drive Around	05/28/24	10:00 am	Butte Fire Station
Abbreviated Plat	05/29/24	8:30 am	Assembly Chambers
Greater Willow RSA No. 20 Board of Supervisors	05/29/24	7:00 pm	Willow Public Library
Library Board	05/31/24	1:00 pm	Big Lake Public Library & Zoom Meeting ID: 872 6110 4122 Passcode: 044178
Joint Assembly/School Board Committee On School Issues	06/03/24	12:00 pm	MSBSD Central Office
Planning Commission Special Meeting Re: Internal Process For Reviewing and Issuing Conditional Use Permits (To Participate Telephonically Call 855-290-3803)	06/03/24	4:30 pm	Assembly Chambers
Planning Commission (To Participate Telephonically Call 855-290-3803)	06/03/24	6:00 pm	Assembly Chambers
Big Lake RSA No. 21 Ride Around Road Inspection	06/04/24	10:00 am	Big Lake Lions Club
Assembly Special Meeting Re: Clerk's Evaluation (To Provide Public Comment Telephonically Call 855-225-2326)	06/04/24	4:00 pm	Assembly Chambers
Assembly Regular Meeting (To Provide Public Comment Telephonically Call 855-225-2326)	06/04/24	6:00 pm	Assembly Chambers
Abbreviated Plat	06/05/24	8:30 am	Assembly Chambers
Talkeetna Sewer & Water SSA No. 36 Board of Supervisors	06/05/24	1:00 pm	Talkeetna Library Conference Room

If you would like further information on any of these meetings or are interested in serving on any of the advisory boards, please call the Borough Clerk's Office at 907-861-8683, Monday through Friday, 8 a.m. to 5 p.m. The Borough's website address is: <https://www.matsugov.us/publicmeetings>

Disabled persons needing reasonable accommodation in order to participate at a Borough Board/Commission meeting should contact the Borough ADA Coordinator at 907-861-8432 at least one week in advance of the meeting.

The Community Council meetings scheduled are: (Community Councils are not agencies or subgroups of the Borough. There may be a quorum of Mat-Su Borough advisory boards in attendance at community council meetings.)

Glacier View Community Council	05/23/24	6:00 pm	Glacier View School
Big Lake Community Council Board Meeting	05/28/24	6:00 pm	Big Lake Family Restaurant
Tanaina Community Council	05/28/24	7:00 pm	Sleepy Hollow Golf Course
Sutton Community Council	05/29/24	7:00 pm	Sutton Public Library & Zoom Meeting ID: 938 1463 4307 Passcode: 614331
North Lakes Community Council (nlakes.cc)	05/30/24	7:00 pm	Boys & Girls Club & Zoom Meeting ID: 896 0473 7544 Passcode: 982374
Fishhook Community Council Board Meeting	06/03/24	6:00 pm	St Herman's Church
Talkeetna Community Council	06/03/24	7:00 pm	Talkeetna Library & Zoom Meeting ID: 450 310 5937 Passcode: 610720
Willow Area Community Organization	06/05/24	7:00 pm	Willow Community Center

Publish Date: May 22, 2024

0524-38

Publish Date: May 22, 2024

0524-35



Edna DeVries, Mayor
(907) 861-8682 - Work
(907) 795-8133 - Cell
Edna.DeVries@matsugov.us

Tim Hale, #1
(907) 590-8243
TimHaleDistrict1@gmail.com

Stephanie Nowers, #2
(907) 831-6299
StephanieNowersDistrict2@gmail.com

Dee McKee, #3
(907) 373-3630
Dee.McKee@matsugov.us

Robert Yundt, #4
(907) 232-8340
robbyundtmsb@gmail.com

Bill Gamble, #5
(907) 232-0103
Bill.Gamble@matsugov.us

Dmitri Fonov, #6
(907) 861-8546
fonov@matsugov.us

Ron Bernier, #7
(907) 354-7877
Ron.Bernier@matsugov.us



Matanuska-Susitna Borough

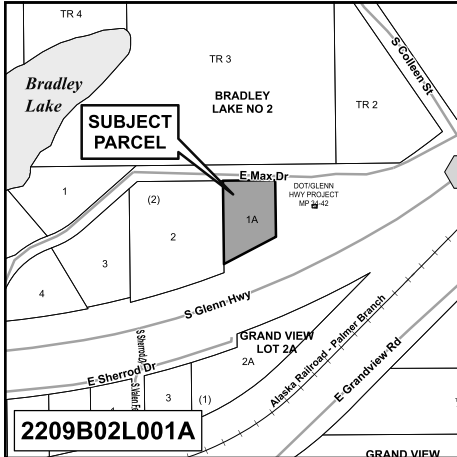
www.matsugov.us

PUBLIC NOTICE

Anthony Wells, on behalf of Smoke Out Point, applied for a Conditional Use Permit under MSB 17.60 - Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 10600 E. Max Drive (Tax ID# 2209B02L001A).

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, June 17, 2024, at 6:00 p.m.** in the Borough Assembly Chambers at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission, and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking "All Public Notices & Announcements." For additional information, contact Rick Benedict, Current Planner, at (907) 861-8527.



Provide written comments by e-mail to rick.benedict@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **May 31, 2024**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report but will be provided to the Commission at the meeting.

Publish Date: May 1, 2024

0524-05

-ABANDONED VEHICLES SUBJECT TO DISPOSAL-

The following abandoned vehicles are subject to disposal by the Matanuska-Susitna Borough's Solid Waste Division. The vehicles were tagged as abandoned in the Matanuska-Susitna Borough right-of-way at the listed locations. You have the right to appeal pursuant to MSB 10.12.090.

Impound#: 3626
Vehicle Description: Tan Nissan Stanza **LIC:** Not Available
VIN: Not Available
MSB ROW Location: Polaris Ln, Wasilla, Alaska
Place of Impoundment: 1201 N 49th State St, Palmer, AK 99645

Impound#: 3081
Vehicle Description: 1999 Gray Dodge Truck 1500 **LIC:** HCB737
VIN: 1B7HF13Z2XJ564125
MSB ROW Location: Northshore Dr. Wasilla Alaska
Place of Impoundment: 1201 N 49th State St, Palmer, AK 99645

The vehicles will be disposed of by auction or auto wrecker on or after May 26th, 2024.



FOR MORE INFORMATION, call the MSB Solid Waste Division at (907) 861-7600.

Publish Date: May 1, 2024

0524-10

ABBREVIATED PLAT AGENDA ASSEMBLY CHAMBERS 350 EAST DAHLIA AVENUE, PALMER

REGULAR MEETING 8:30 A.M. May 8, 2024

A. **PATRICIA RSB L/1:** The request is to create two lots from Lot 1, Patricia Subdivision, Plat No. 2005-120, to be known as **LOTS 1A & 1B**, containing 15.366 acres +/- . The property is located south of W. Carmel Road, west of Crocker Creek, and directly north and west of S. Knik Goose Bay Road (Tax ID # 5741000L001); within the N 1/2 Section 4, Township 16 North, Range 02 West, Seward Meridian, Alaska. In the Knik-Fairview Community Council and in Assembly District #5. (Petitioner/Owner: Southcentral Foundation, Staff: Matthew Goddard, Case #2024-056)

Publish Date: May 1, 2024

0524-07

PUBLIC NOTICE

Justin Benson, on behalf of Shoreline Cannabis, applied for a Conditional Use Permit under MSB 17.60 - Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive (Tax ID# 5274B03L007A).

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, June 17, 2024, at 6:00 p.m.** in the Borough Assembly Chambers at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission, and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking "All Public Notices & Announcements." For additional information, contact Rick Benedict, Current Planner, at (907) 861-8527.



Provide written comments by e-mail to rick.benedict@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **May 31, 2024**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report but will be provided to the Commission at the meeting.

Publish Date: May 1, 2024

0524-06

ELECTION OFFICIALS NEEDED!

**For the Mat-Su Borough Regular Election on
Tuesday, November 5, 2024**

Don't delay, submit your application today!

- ★ The Borough Clerk's Office is recruiting for precinct officials and hand count officials. If you are interested in applying, you must complete and submit an application. Additional information and applications are available online at www.matsugov.us/elections or contact the Borough Clerk's Office at 907-861-8683. In order to serve, you must be a registered voter of the Borough and attend training. Training and compensation are provided.
- ★ Publish Date: May 1, 2024

0524-03

MAT-SU ANIMAL CARE & REGULATION

Did you know...?

Within the borough, no person shall own any dog or cat over the age of six months without registering each dog or cat. (MSB 24.10.010)

The Borough animal care and shelter can register your dog or cat for \$15 if the animal is spayed/neutered or for \$30 if the animal is not spayed/neutered.

The registration is good for three years.

If you have any questions please call 907-746-5500 or email: animal.care@matsugov.us



Edna DeVries, Mayor
(907) 861-8682 - Work
(907) 795-8133 - Cell
Edna.DeVries@matsugov.us

Tim Hale, #1
(907) 590-8243
TimHaleDistrict1@gmail.com

Stephanie Nowers, #2
(907) 831-6299
StephanieNowersDistrict2@gmail.com

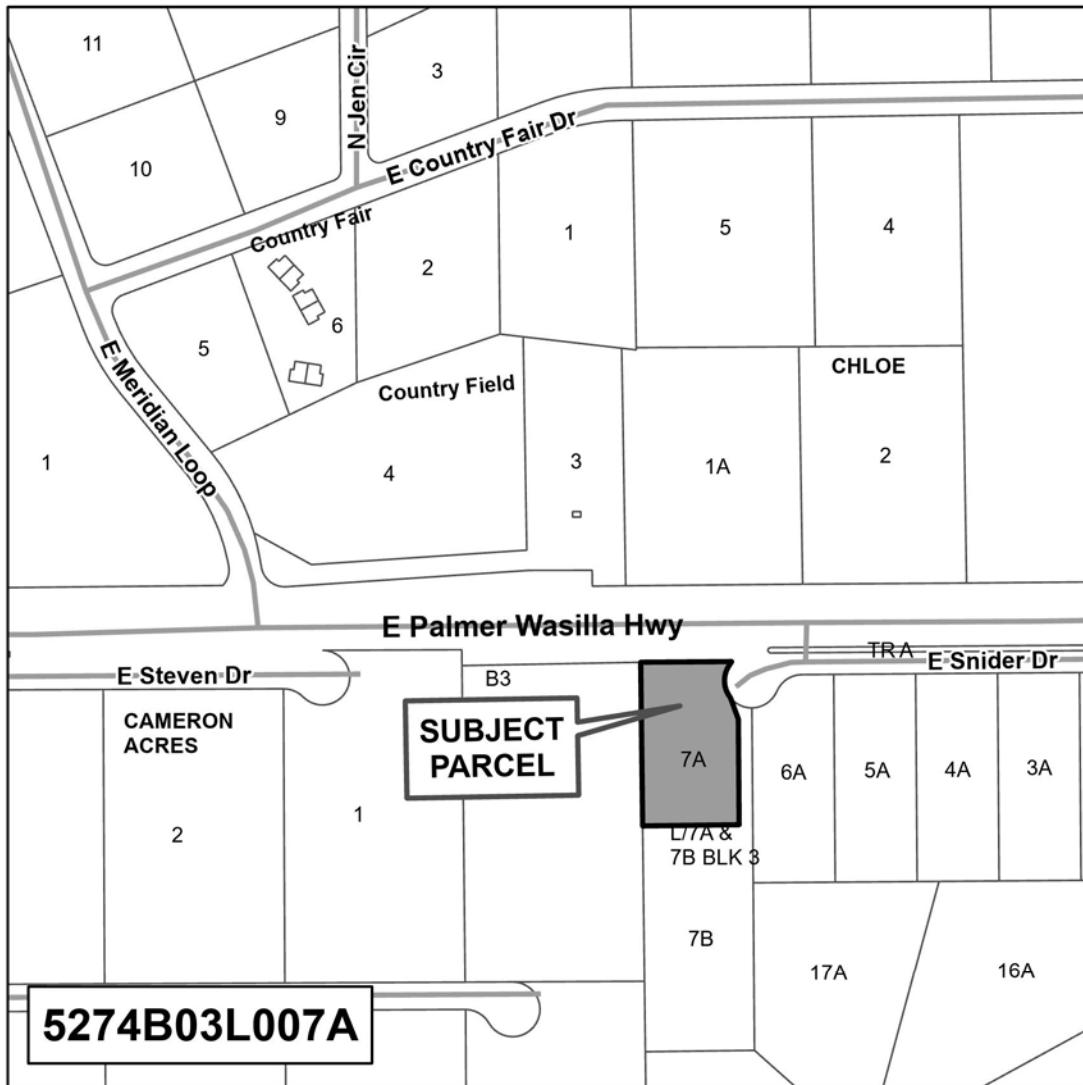
Dee McKee, #3
(907) 373-3630
Dee.McKee@matsugov.us

Robert Yundt, #4
(907) 232-8340
robundtmsb@gmail.com

Bill Gamble, #5
(907) 232-0103
Bill.Gamble@matsugov.us

Dmitri Fonov, #6
(907) 861-8546
fonov@matsugov.us

Ron Bernier, #7
(907) 354-7877
Ron.Bernier@matsugov.us



From: [Ben Borg](#)
To: [Rick Benedict](#)
Subject: Re: MSB Page Ad: Shoreline Cannabis
Date: Tuesday, May 14, 2024 3:20:59 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Shoreline Cannabis

WIDTH	3	C
HEIGHT	4.0	INCHES
AREA	12.000	C*INCHES
RATE	\$7.50	/(C*INCH)
COST/INSERTION	\$90.00	
#INSERTIONS	1	
TOTAL	\$90.00	

And you will probably need this one as well, so I will send it to you now

Smoke Out Point

WIDTH	3	C
HEIGHT	4.0	INCHES
AREA	12.000	C*INCHES
RATE	\$7.50	/(C*INCH)
COST/INSERTION	\$90.00	
#INSERTIONS	1	
TOTAL	\$90.00	

On Tue, May 14, 2024 at 3:15 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hello,

Can I please get the total cost for the publication of this ad?

Thank you,

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Ben Borg <ben.borg@frontiersman.com>
Sent: Wednesday, April 24, 2024 12:52 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Petra Albecker <petra.albecker@frontiersman.com>; Corinne Lindfors <Corinne.Lindfors@matsugov.us>
Subject: Re: MSB Page Ad: Shoreline Cannabis

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Received and added to the submission folder for 5/1.

On Wed, Apr 24, 2024 at 11:44 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hello,

Please see the attached ad, map, and ad request for publication on Wednesday, May 1, 2024.

Thank you!

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

--

Sincerely,

Ben Borg

Sales Representative, The Mat-Su Valley Frontiersman & The Anchorage Press



<https://www.frontiersman.com/> and <https://www.anchoragepress.com/>

5751 E Mayflower Ct, Wasilla, AK 99654

(907) 600-1696 OFFICE

(907) 987-2059 CELLULAR

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Support local journalism by subscribing to [The Frontiersman!](#)

--

Sincerely,

Ben Borg

Sales Representative, The Mat-Su Valley Frontiersman & The Anchorage Press



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Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645

«NAME»
«ADDRESS_1»
«ADDRESS_2»
«ADDRESS_3»

The Matanuska-Susitna Borough Planning Commission will consider the following:

Justin Benson, on behalf of Shoreline Cannabis, applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive (Tax ID# 5274B03L007A).

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, June 17, 2024, at 6:00 p.m.** in the Borough Assembly Chambers at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission, and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking “All Public Notices & Announcements.” For additional information, contact Rick Benedict, Current Planner, at (907) 861-8527. Provide written comments by e-mail to rick.benedict@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk’s office, and at various libraries within the borough.

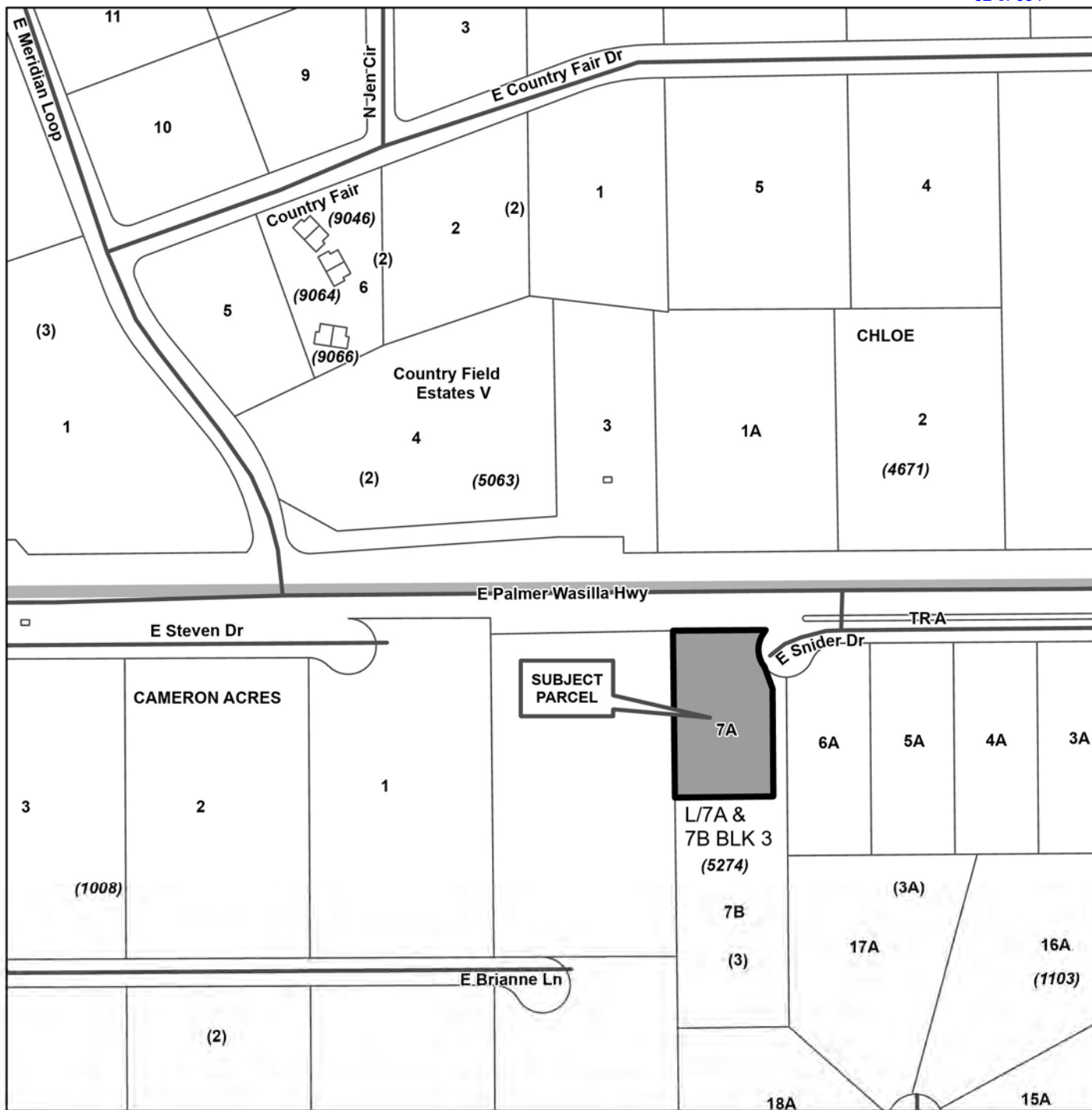
Comments are due on or before **May 31, 2024**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report but will be provided to the Commission at the meeting.

Name: _____ Mailing Address: _____

Location/Legal Description of your property: _____

Comments: _____

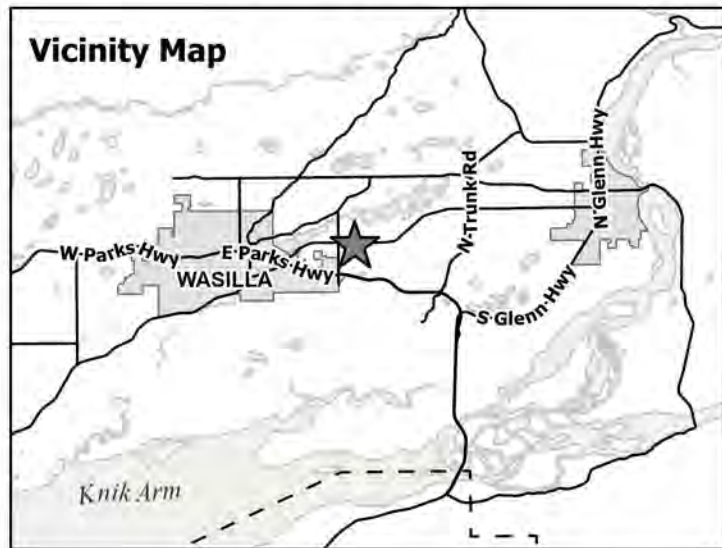
Note: Vicinity Map Located on Reverse Side



5274B03L007A



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From: [Rick Benedict](#)
To: [Corinne Lindfors](#)
Cc: [Lacie Olivier](#)
Subject: Public Mailing - Shoreline Cannabis CUP - Marijuana Retail Facility
Date: Wednesday, April 24, 2024 12:01:00 PM
Attachments: [5274B03L007A Main Layout.pdf](#)
[Public Notice Mailing Shoreline Cannabis CUP.docx](#)
[Midway Estates SubDivision Listing.pdf](#)

Hi again Corinne,

Another mailing request, please

By Friday, May 10. The notice area is to all property owners within 600 feet of the exterior boundary of the property subject to this application and to all property owners within Midway Estates Subdivision (list attached).

Thank you!

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct



Certificate of Bulk Mailing - Domestic

Fee for Certificate

Up to 1,000 pieces (1 certificate for total number)

For each additional 1,000 pieces, or fraction thereof

Duplicate Copy

Use Current Price List (Notice 123)

Number of Identical Pieces 63	Class of Mail 7jt	Postage for Each Mailpiece Paid <input type="checkbox"/> Verified	Number of Pieces to the Pound 45
Total Number of Pounds 1165.4oz	Total Postage Paid for Mailpieces 40.32	Fee Paid 11.10	

Mailed For **Permits**

Mailed by **I. Fodge**

Postmaster's Certification

It is hereby certified that the number of mailpieces presented and the associated postage and fee were verified. This certificate does not provide evidence that a piece was mailed to a particular address.

(Postmaster or Designee)

Postage: Mailers must affix meter, PC Postage®, or (uncanceled) postage stamps here in payment of total fee due.



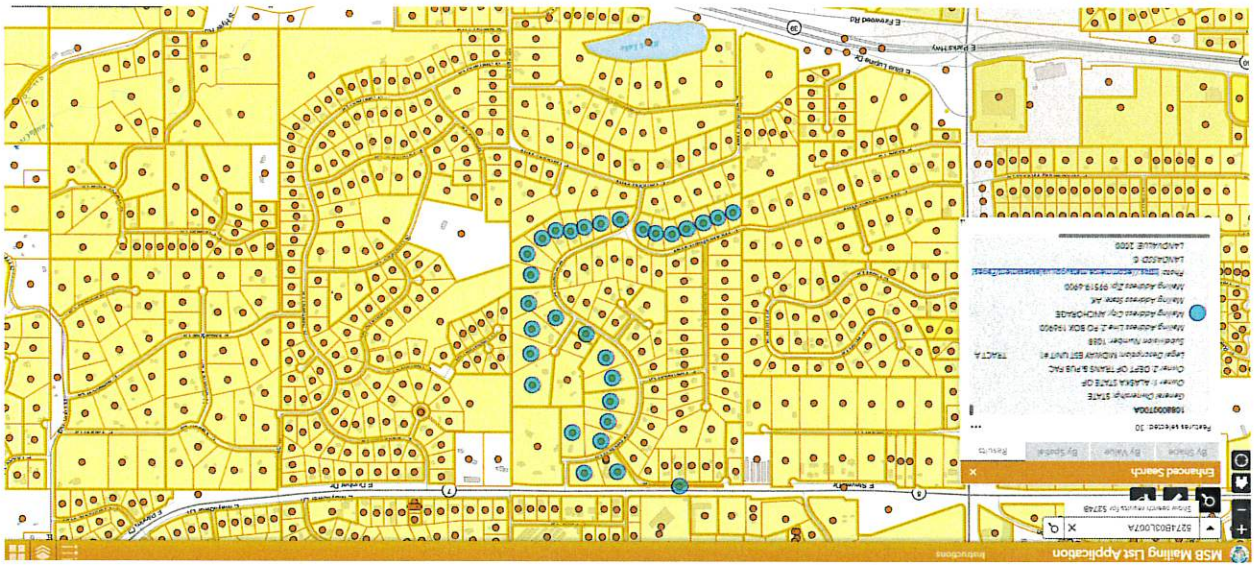
Acceptance employee must cancel po: affixed (by round-date) at the time of payment of total fee due is being paid by Permit Imprint, include the PostalOne!® Transaction Number here: _____

See Reverse for Instructions

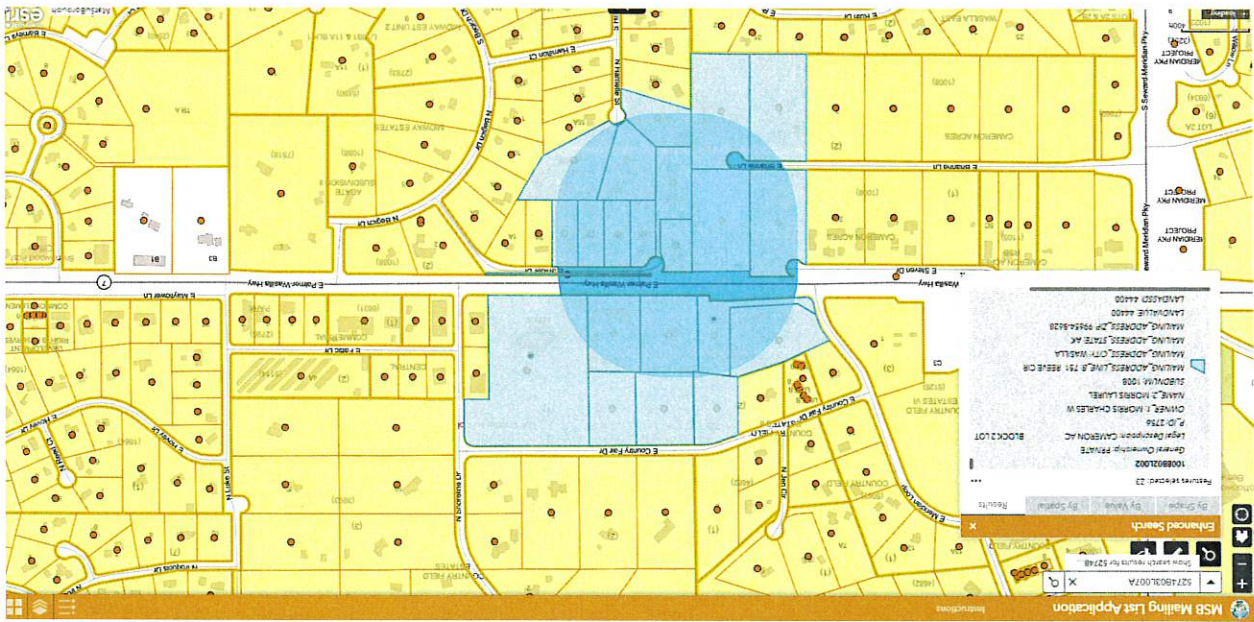
Shoreline list

Number	Tax Account	Owner 1	Owner 2	Mailing Address Line 1	Mailing Address Line 2	Mailing Address City	Mailing Address State	Mailing Address Zip
1	10088021002	MORRIS CHARLES W	MORRIS LAUREL	ATTN PROPERTY TAX DEPT	751 REEVE CIR	WASILLA	AK	99654-8628
2	999700010152	AT&T MOBILITY			1010 PINE 9E-L-01	ST LOUIS	MO	63101
3	110383A1005A	JOHNSON DE A & NANCY K			PO BOX 876410	WASILLA	AK	99687-6410
4	110383A1004A	CUMMINGS RODNEY M & LINNEA			4330 SNIDER DR	WASILLA	AK	99654
5	5274801007B	WILKINSON TIMOTHY A			4220 E SNIDER DR	WASILLA	AK	99654
6	110383A1017A	ABEL WANDA M		C/O IDA CLARK	380 N HARRIETTE ST	WASILLA	AK	99654-7627
7	46710001002	MERIDIAN PARK MEDICAL HOLDING LLC			4237 E MERIDIAN LOOP	WASILLA	AK	99654
8	110383A1006A	HERVEY RUTH A			4250 E SNIDER DR	WASILLA	AK	99654
9	5063801005	PRECISION PROPERTIES LLC			4237 E MERIDIAN LOOP	WASILLA	AK	99654
10	3993801005	PRECISION PROPERTIES LLC			PO BOX 875322	WASILLA	AK	99687-5322
11	110383A1016A	MONTALBANO JOS & JUDITH E			475 N BEGICH DR	WASILLA	AK	99687-1565
12	3993801003	KNIK TRIBE			PO BOX 871565	WASILLA	AK	99687-1565
13	110383A1003A	SNIDER DRIVE LLC			681 W LAZY K LN	WASILLA	AK	99654
14	50638021004	MTN VILLAGE LLC			4701 E SHORELINE CIR	WASILLA	AK	99654
15	17N016078003	STORAGE CACHE LLC			19025 VILLAGE SCENIC PKY	ANCHORAGE	AK	99516-6202
16	50638021001A	SCHWABSLASKA LLC			PO BOX 876452	WASILLA	AK	99687
17	1088000700A	ALASKA STATE OF	DEPT OF TRANS & PUB FAC		PO BOX 196900	ANCHORAGE	AK	99519-6900
18	110383A1018A	WHALEY DERITH F			350 N HARRIETTE ST	WASILLA	AK	99654
19	1008801001	MORRIS CHARLES W			751 S REEVE CIR	WASILLA	AK	99654
20	10088011001	2 BLIND MICE LLC			892 E USA CIR	WASILLA	AK	99654-7106
21	5274801007A	J & T LLC		STE 106	6405 COBBLECREEK CIR	ANCHORAGE	AK	99507
22	46828021001	MCBRIDE GARY A & ROBYN			4228 E COUNTRY FAIR DR	WASILLA	AK	99654
23	10888011004	STRINGER ALAN & REBECCA			525 N BEGICH DR	WASILLA	AK	99654-7644
24	10888011006	THYGESON MARK & ROXANNE R			425 N BEGICH DR	WASILLA	AK	99654
25	10888011007	HOTTENSTEIN JAMES E SR	KEISER LAURA		315 N BEGICH DR	WASILLA	AK	99654
26	10888021001	METHVEN NICHOLAS & ERIN			4681 E SHORELINE CIR	WASILLA	AK	99654
27	10888021002	RLH LLC	% AURORA DENTAL		4501 E SNIDER DR	WASILLA	AK	99654
28	18610001010A	QUAM BRIAN E & TIFFANY J			435 S BEGICH DR	WASILLA	AK	99654-7619
29	27838011008	STOLTZ DOMINIC & CHRISTIAN			301 S BEGICH DR	WASILLA	AK	99517-2346
30	27838011009	BOYLE LAWRENCE R	BROWN SULENA A		3805B RICHARD EVELYN BYR	ANCHORAGE	AK	99654
31	27838011012	BOWERS WM H JR & SANDRA L			305 BARTLETT CIR	WASILLA	AK	99654
32	27838011013	BOWERS WM H & SANDRA			305 S BARTLETT CIR	WASILLA	AK	99654
33	27838011014	SLATER JOHN L & LINDA E			375 S BARTLETT CIR	WASILLA	AK	99654
34	27838011015	CROCKETT CHARLOTTE F			495 S BEGICH DR	WASILLA	AK	99654
35	27838011016	KELLY PHILIP L & JENNIFER L			525 S BEGICH DR	WASILLA	AK	99654-7621
36	27848011017	HAYES CHARLES D & NANCY M			PO BOX 872749	WASILLA	AK	99687-2749
37	27848011018	SHAW MICHAEL O			575 S BEGICH DR	WASILLA	AK	99654
38	27848011019	WATSON MARCIA ROSE LVG TR TRE			651 S BEGICH DR	WASILLA	AK	99654
39	27848011020	DIETRICH MATTHEW F			701 S BEGICH DR	WASILLA	AK	99654-7623
40	27848011021	MACINTOSH CHARLES DONALD LVG TR			751 S BEGICH DR	WASILLA	AK	99654-7623
41	27848011022	SMITH SUSAN M			801 S BEGICH DR	WASILLA	AK	99654
42	27848011023	MOGEN JASON	MOEDE MELISSA		901 S BEGICH DR	WASILLA	AK	99654-7624
43	27848011024	ZIMMERMAN GLEN R & GLYNIS J			5661 E REVOLUTIONARY WAY	WASILLA	AK	99654-6724
44	27848041001	TEUTSCH-BROSH GWENDOLYNNE	TEUTSCH VELMA B		4360 E WICKERSHAM WAY	WASILLA	AK	99654
45	27848041003	EHRENHOFFER VOLKER			4330 WICKERSHAM WAY	WASILLA	AK	99654
46	27848041004	TUCKER DANIEL J & CONNIE M			4250 E WICKERSHAM WAY	WASILLA	AK	99654-7637
47	27848041006	RATH JEREMY L			4200 E WICKERSHAM WAY	WASILLA	AK	99654-7637
48	27848041007	BRENNAN MICHAEL A & C			2330 LOREN CIR	ANCHORAGE	AK	99516
49	27858011025	HOSKINS RANDALL & MICHELE	THOME RICHARD & OPAL		4555 E DIMOND WAY	WASILLA	AK	99502
50	27858011026	MAZZELLA WILLIAM J & RUTH			1841 ORCHARD PL	ANCHORAGE	AK	99502
51	27858011027	AWROSE SILVIA H			751 S REEVE CIR	WASILLA	AK	99654
52	27858011029	MORRIS CHARLES W & LAUREL M			PO BOX 24	WILLOW	AK	99688-0024
53	27858041008	MEYER TIMOTHY E & ANITA C			PO BOX 877034	WASILLA	AK	99687-7034
54	27858041009	BLOOMQUIST ERIC M & VICKI			PO BOX 874574	WASILLA	AK	99687
55	27858041010	MILHOUSE TROUT D			4375 DIMOND WAY	WASILLA	AK	99654
56	27858041011	ANDERSON ELIZABETH C			PO BOX 4026	PALMER	AK	99645
57	27858041012	VAN EVERY ALLEN & DANA L			1100 S HAY ST	WASILLA	AK	99654
58	27858061001	MID-VALLEY CHRISTIAN CTR			1050 HAY ST	WASILLA	AK	99654
59	27858061003	STRAWSER DAVID L & P I			400 S BARTLETT CIR	WASILLA	AK	99654
60	5190801101081	FUJIMOTO SUSAN			300 BARTLETT CIR	WASILLA	AK	99654
61	519080110111A	SAWYER WILLARD L			4460 E DIMOND WAY	WASILLA	AK	99654-8633
62	528685A1009B	MATNEY PETINA C	JENSEN LEIF M		PO BOX 2090	THOMPSON FLS	MT	59873-2090
63	528685A1011B	THOMPSON MICHELLE						

2785	MIDWAY EST UNIT #4	WA10
2785	MIDWAY EST UNIT #4	WA10
2785	MIDWAY EST UNIT #4	WA10
5190	MIDWAY EST UNIT #2 RSB B1 L10B	WA10
5190	MIDWAY EST UNIT #2 RSB B1 L10B	WA10
5274	MIDWAY EST UNIT #1 RSB B/3 L/7	WA10
5274	MIDWAY EST UNIT #1 RSB B/3 L/7	WA10
5286	MIDWAY EST UNIT #4 B/5A L/9-11	WA10
5286	MIDWAY EST UNIT #4 B/5A L/9-11	WA10



1088,1861,2783,2784



Shoreline 600 feet Radius



2785, 5190, 5274, 5286

Site Visit Photos

Conducted 5/22/2024



View to west from East Snider Drive. Proposed use left of photo.



View to southwest from East Snider Drive. Proposed use centered in photo.



ADOT permitted driveway access from East Palmer Wasilla Hwy. Centered in photo.
View to northwest.



Eastern view of the rear of the proposed use. Treed area providing visual buffer right of photo.



Northeast view of the proposed use. Lighting and security cameras shown as described in application packet. East Palmer Wasilla Hwy in background.



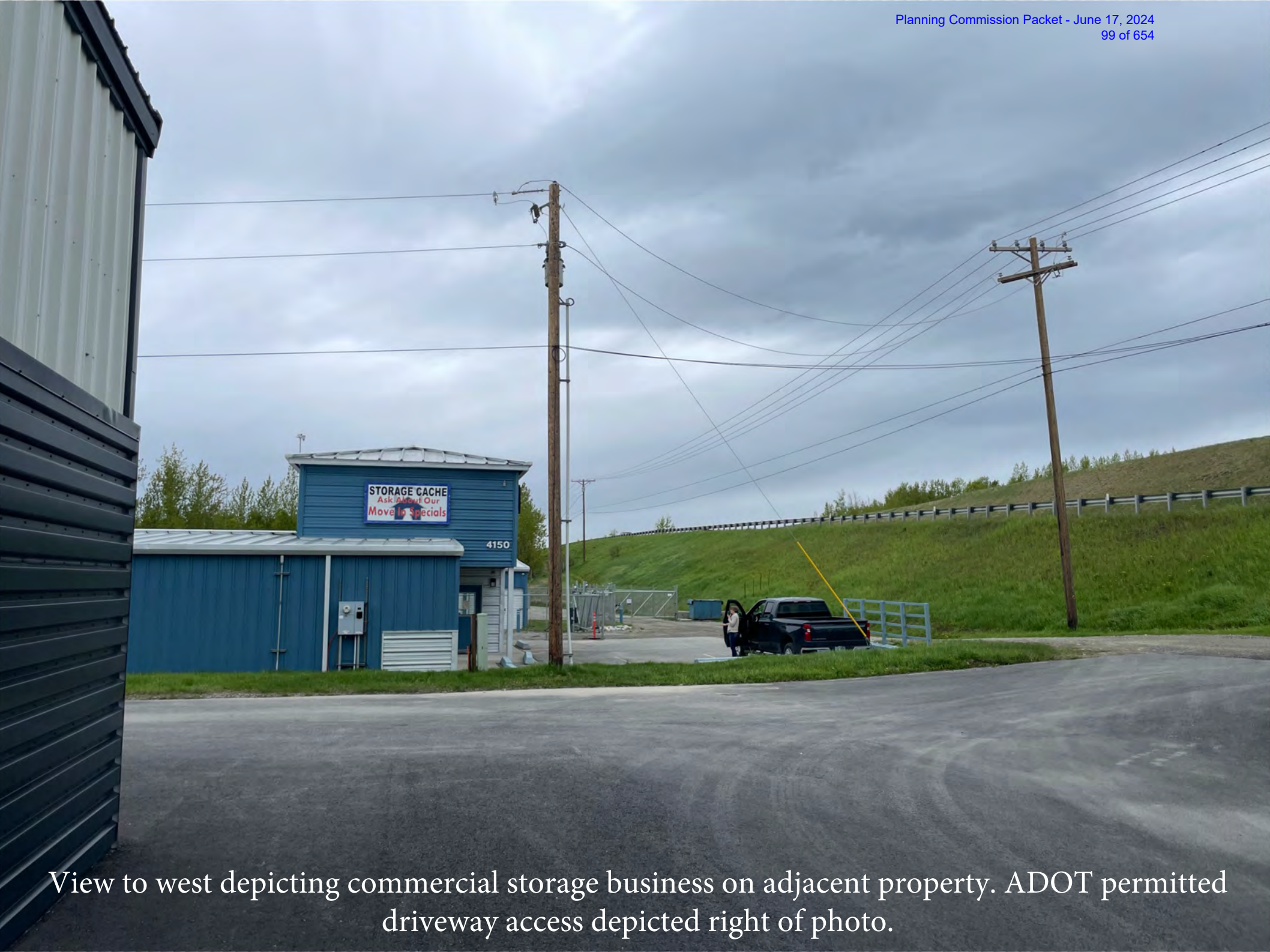
Proposed 21' x 3' signage to be installed on front of building, backlit during opening hours.



Southeast view of the proposed building. Additional lighting and security cameras shown.



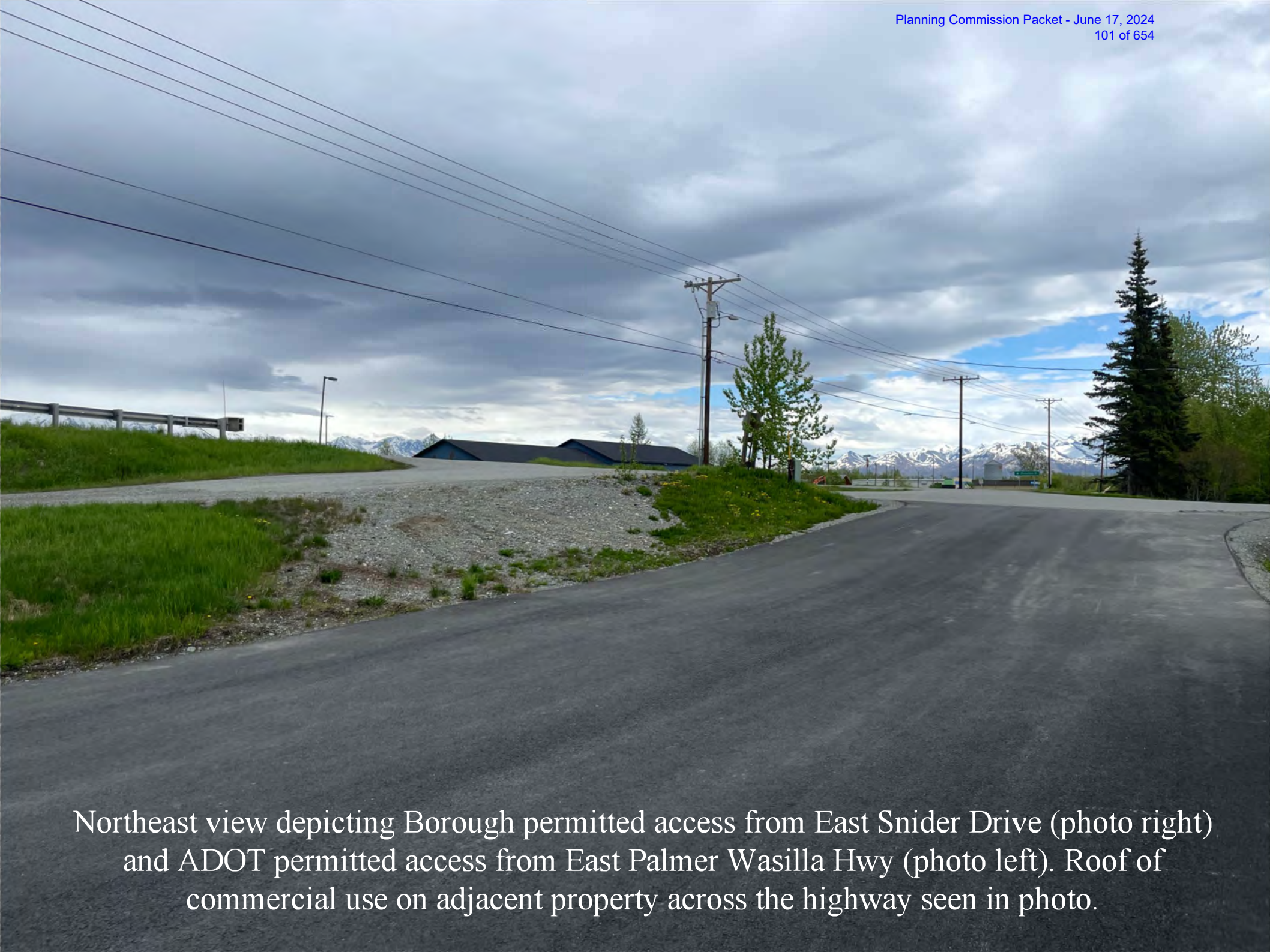
Easterly view depicting access from East Snider Drive (center photo) and East Palmer Wasilla Hwy (left of photo). Dog boarding business shown in background on separate property.



View to west depicting commercial storage business on adjacent property. ADOT permitted driveway access depicted right of photo.



ADOT permitted driveway access depicted center of photo. View is to the northwest.



Northeast view depicting Borough permitted access from East Snider Drive (photo right) and ADOT permitted access from East Palmer Wasilla Hwy (photo left). Roof of commercial use on adjacent property across the highway seen in photo.



View to southeast from East Snider Drive access point. Dog boarding business pictured left of photo.



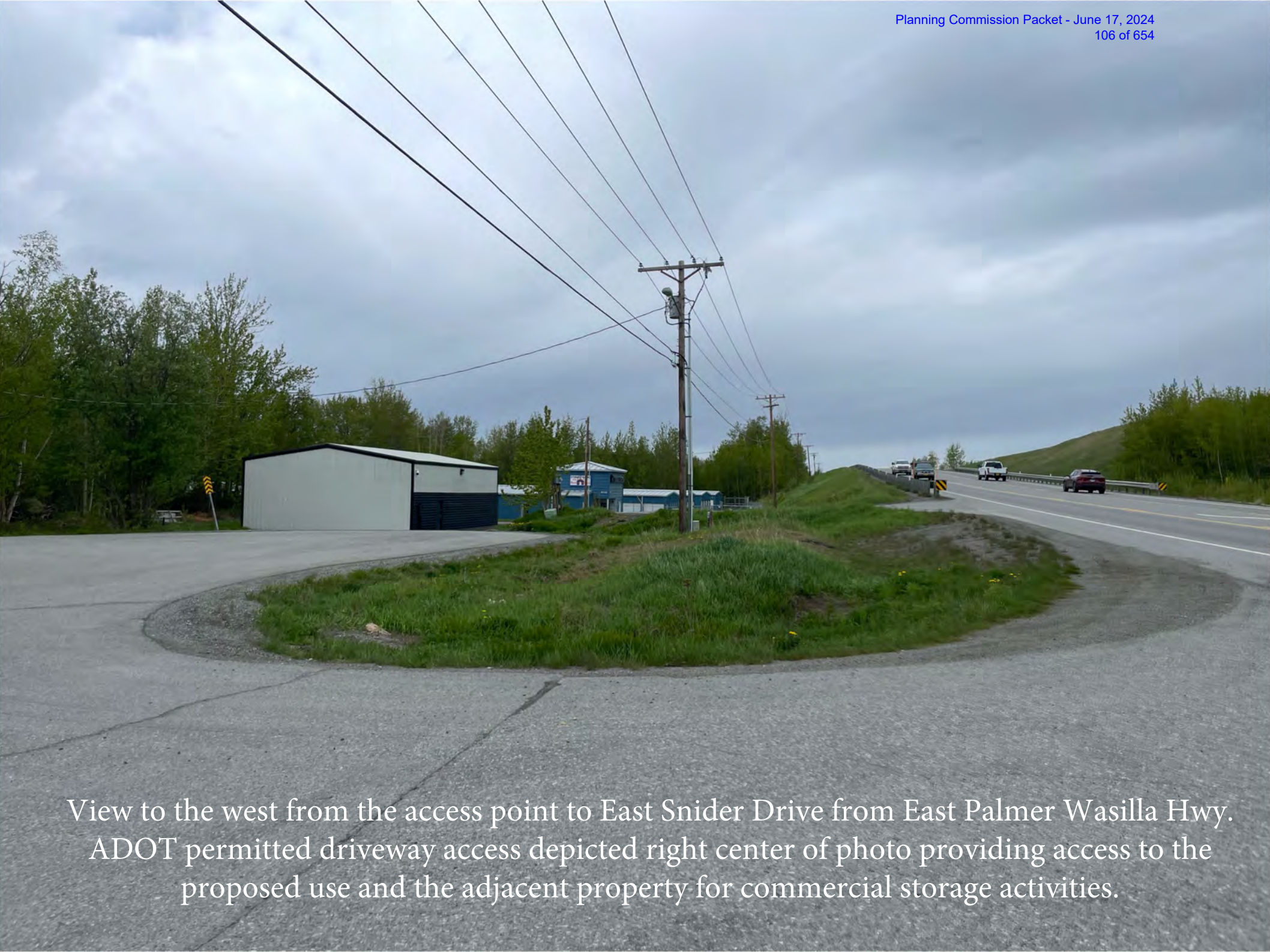
Southwest view of the proposed use. Foreground and right of photo depicts area of concern in regard to drainage. Construction of the East Snider Drive paved access has created a concern for meltoff and rain to drain off the subject property onto adjacent properties.



View to west of the proposed building.



View to west from the eastern property line. Treed area south of building providing visual screening to residential properties located to the south and west.



View to the west from the access point to East Snider Drive from East Palmer Wasilla Hwy. ADOT permitted driveway access depicted right center of photo providing access to the proposed use and the adjacent property for commercial storage activities.

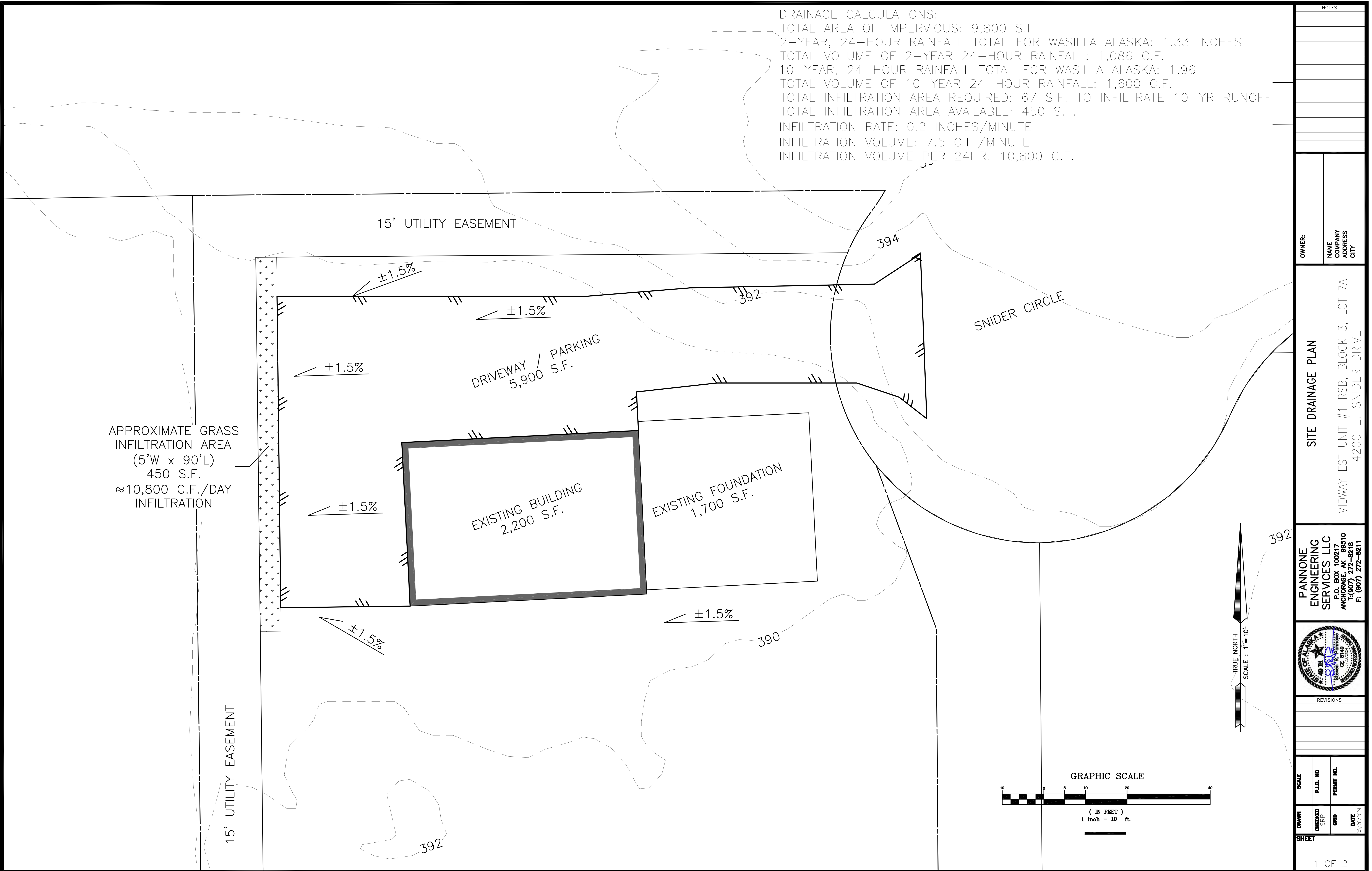


View to the south from East Palmer Wasilla Hwy depicting the street view of the proposed use to westbound traffic.

SITE PLAN

NOTES

DRAINAGE CALCULATIONS:
 TOTAL AREA OF IMPERVIOUS: 9,800 S.F.
 2-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.33 INCHES
 TOTAL VOLUME OF 2-YEAR 24-HOUR RAINFALL: 1,086 C.F.
 10-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.96
 TOTAL VOLUME OF 10-YEAR 24-HOUR RAINFALL: 1,600 C.F.
 TOTAL INFILTRATION AREA REQUIRED: 67 S.F. TO INFILTRATE 10-YR RUNOFF
 TOTAL INFILTRATION AREA AVAILABLE: 450 S.F.
 INFILTRATION RATE: 0.2 INCHES/MINUTE
 INFILTRATION VOLUME: 7.5 C.F./MINUTE
 INFILTRATION VOLUME PER 24HR: 10,800 C.F.



OWNER:	
NAME	COMPANY
ADDRESS	CITY

SITE DRAINAGE PLAN
 MIDWAY EST UNIT #1 RSB, BLOCK 3, LOT 7A
 4200 E. SNIDER DRIVE

PANNONE ENGINEERING SERVICES LLC
 P.O. BOX 100217
 ANCHORAGE, AK 99510
 T: (907) 272-8218
 F: (907) 272-8211



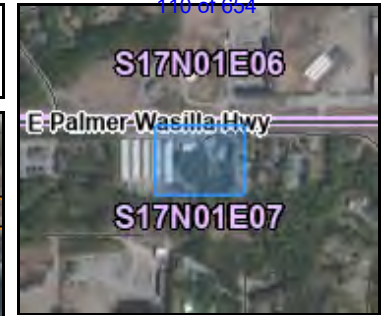
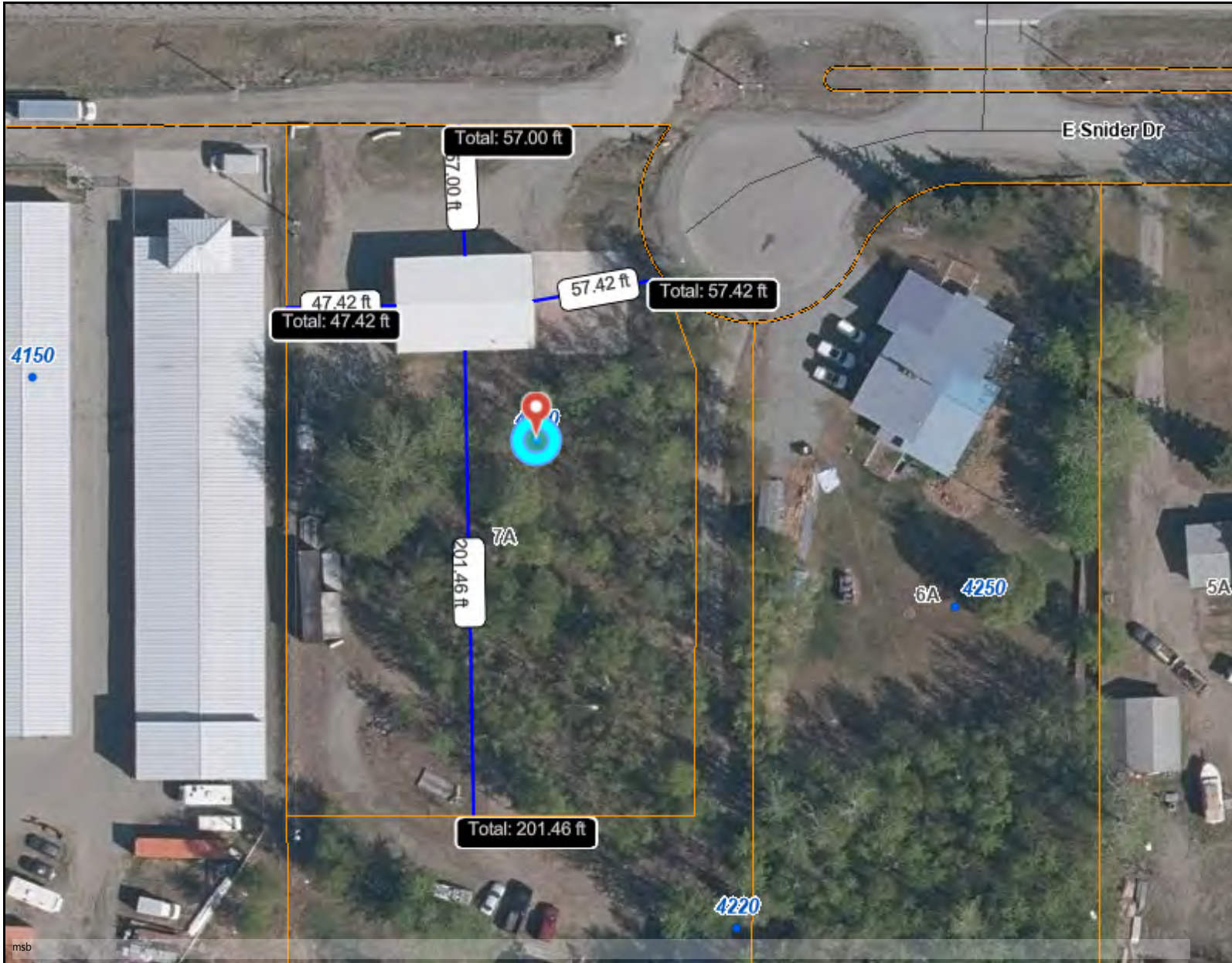
REVISIONS		

SCALE	P.L.D. NO.	PERMIT NO.

DRAWN	CHECKED	GRID	DATE



Matanuska-Susitna Borough



Legend

ParcelViewer

Roads

— Minor Road

Mat-Su Borough Boundary



Address Numbers



Parcels



ROW and Easements

--- ROW Road

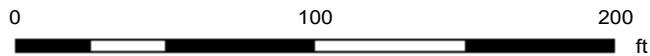
Section Lines



1 : 1611



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WGS_1984_Web_Mercator_Auxiliary_Sphere

Date: 03/07/24

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Notes

SHORELINE CANNABIS SITE PLAN -
FRONT, SIDE & REAR
SETBACK/PROPERTY LINE DISTANCES



Matanuska-Susitna Borough



Legend

ParcelViewer

- Roads
 - Major Road
 - Minor Road
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- ROW and Easements
 - ROW Road

Licensed Premises

Drainage

1 : 2204

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Notes
SHORELINE CANANBIS - SITE PLAN - DRAINAGE

E Snider Dr

Grass & Gravel Buffer

Regular Parking


H


SHORELINE CANNABIS (LIC#32848)


KEY


 = PLOT LINES


 = LICENSED PREMISES


 = Proposed Floodlights

 = Proposed Sign (Front Facing)

 = Proposed Fencing

 = ADA Parking (See Parking Dimension Plan)

 = Regular Parking

 = Traffic Flow

40 FEET



E Palmer Wasilla Hwy

E Snider Dr

**ALTERNATE SITE PLAN/TRAFFIC FLOW
SNIDER DRIVE ACCESS ONLY
PROPOSED BARRIER SHOWN**

Alternate traffic plan and barrier shown if access from Palmer-Wasilla Highway or frontage is removed or becomes inaccessible.









Grass & Gravel Buffer

Regular Parking

H

SHORELINE CANNABIS (LIC#32848)

KEY

-  = PLOT LINES
-  = LICENSED PREMISES
-  = Proposed Floodlights
-  = Proposed Sign (Front Facing)
-  = Proposed Fencing
-  = ADA Parking (See Parking Dimension Plan)
-  = Regular Parking
-  = Traffic Flow

40 FEET





Matanuska-Susitna Borough



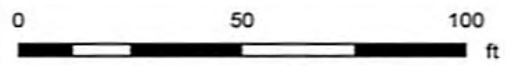
Legend

ParcelViewer

- Roads
 - Major Road
 - Minor Road
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- ROW and Easements
 - ROW Road
- Section Lines

1 : 1102

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Notes
SHORELINE CANNABIS - PARKING
DETAILS & DIMENSIONS

APPLICATION MATERIAL



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us

CONDITIONAL USE PERMIT FOR MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- \$1,500 for Marijuana Retail Facility
- \$1,500 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
- Odor Mitigation and Ventilation Plan – 17.60.160 (B)
- Hazardous Chemicals Information – 17.60.160 (C)
- Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

- Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: 17, Range: N01, Section: E07, Meridian: Seward

MSB Tax ID# 55274B03L007A

SUBDIVISION: MIDWAY EST UNIT #1 RSB B/3 L/7 BLOCK(S): 3, LOT(S): 7A

STREET ADDRESS: 4200 E Snider Drive, Wasilla, AK 99654

FACILITY / BUSINESS NAME: Shoreline Cannabis

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No N/A

Name of Property Owner

J & T LLC

Mailing: 6405 Cobblecreek Circle

Anchorage, AK 99507

Phone: Hm _____ Fax _____

Wk 907-240-6795 Cell _____

E-mail terigunter@sencoak.com

Name of Agent / Contact for application

Justin Benson (Jana Weltzin, Esq - Attorney)

Mailing: PO Box 141463

Anchorage, AK 99514

Phone: Hm _____ Fax _____

Wk _____ Cell 907-280-7098

E-mail justin.benson121@yahoo.com

Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	Attached
Signage – Existing and Proposed.	Attached
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	Attached
Buffering – Fences, vegetation, topography, berms, and any landscaping	Attached
Drainage	Attached
Vehicular and pedestrian circulation patterns.	Attached
Exterior site lighting.	Attached
Location and dimensions of parking areas to be provided	Attached
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Attached

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	Attached
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Attached

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	Yes, Please review Narrative
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	No
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	Yes
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	Yes
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	Contained in Narrative
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> • Increased property line and right-of-way buffers • Planted berms and landscaping • Site and building design features which contribute to the character of the surrounding area 	Contained in Narrative
Describe how this use is compatible with the character of the surrounding area.	Contained in Narrative
Current status of State License application process – 17.60.150 (D) (1)	Approved by MCB

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> • The proximity of the proposed use to existing businesses; • The proximity of parcels developed with residential uses; • Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and • Proposed hours of operations. 	Attached
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	Attached

Floor Plan for Marijuana Retail Facilities -- Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	Attached
Interior floor plans (specific location of the use or uses to be made of the development).	Attached
Net floor area square footage calculations.	Attached

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax account #(s) 55274B03L007A and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

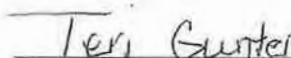

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

	Teri Gunter	<u>2-12-24</u>
Signature: Property Owner	Printed Name	Date
	Justin Benson	<u>2-12-24</u>
Signature: Agent	Printed Name	Date

Acct: 5274B03L007A ^{119 of 654}

PERMIT CENTER – FEE RECEIPT FORM

Property Location: 4200 E. Switzer Dr.

Applicant: Shoreline Cannabis
Attn: Justin Benson

USE PERMITS {100.000.000.341.300}	Fee
8.35 Public Display of Fireworks	\$25.00
8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
8.52 Temporary Noise Permit	\$1000.00
8.55 Special Events Permit 500 – 1000 Attendees 1000+ Attendees	\$500.00 \$1,000.00
8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
17.02 Mandatory Land Use Permits	\$50.00
17.04 Nancy Lake Special Land Use District CUP	\$1,500.00
17.06 Electrical Generating & Delivery Facility Application	\$500.00
17.08 Hay Flats Special Land Use District Exception Application	\$1000.00
17.17 Denali State Park Conditional Use Permit	\$1500.00
17.18 Chickaloon Special Land Use District CUP	\$1500.00
17.19 Glacier View Special Land Use District CUP	\$1500.00
17.23 Port MacKenzie Development Permit	\$1000.00
17.25 Talkeetna Conditional Use Permit	\$1500.00
17.25 Talkeetna Conditional Use Permit – Variance	\$1500.00
17.27 Sutton Special Land Use District CUP	\$1500.00
17.29 Flood Damage Prevention Development Permit	\$100.00
17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
17.30.040 Earth Materials Extraction Admin. Permit	\$1000.00
17.30.050 Earth Materials Extraction CUP	\$1500.00
17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots Additional Lots or tracts being created – Per Lot	\$500.00 \$100.00
17.48 Mobile Home Park Permit Application	\$500.00
17.52 Residential Land Use District App (Rezone)	\$1,000.00
17.52 Conditional Use Permit Application CUP	\$1,500.00
17.55 Shoreline Setback Exception Application	\$300.00
<input checked="" type="checkbox"/> 17.60 Conditional Use Permit Application	\$1500.00
17.61 Commercial/Industrial Core Area Conditional Use Permit	\$1500.00
17.62 Coal Bed Methane	\$1500.00

	17.63 Conditional Use Permit for Racetracks	\$1500.00
	17.65 Variance	\$1500.00
	17.67 Tall Structures - Network Improvement Permit Nonconforming Use Administrative Permit Conditional Use Permit	\$100.00 \$200.00 \$500.00 \$1500.00
	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1500.00
	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
	17.75 Single-Family Residential Land Use District CUP	\$500.00
	17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$300.00
	17.90 Regulation of Adult Businesses – Conditional Use Permit	\$300.00
	28.60 Timber Transport Permit	\$1500.00
		\$300.00

	RIGHT-OF-WAY FEES:	
	Driveway	\$50.00
<input type="checkbox"/>	Driveway Deposit {100.226.100}	\$150.00
	Construction	\$200.00
	Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
	Encroachment	\$150.00
	Construction Bond {100.227.000}	

	PLATTING PRE-APPLICATION CONFERENCE:	
	Pre-Application Fee	\$50.00

	FEES:	
	Flood Plain Development Survey CD	\$10.00
	CD/DVD/DVD-R	\$7.50
	Construction Manual/Title 43	\$5.00
	Plat Map/Tax Map Copies/Mylar	\$5.00
	Color Maps	\$12.00
	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
	Advertising Fees	
	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1,500.00 Amount Paid Date: 2/20/24 Receipt # 1286 By: MC

Matanuska-Susitna Borough
Finance
350 E Dahlia Avenue
Palmer, AK 99645
907-861-8610
Welcome

03/05/2024 03:31PM Madeline C
000061-0015 000001286
Payment Effective Date 03/05/2024

MISCELLANEOUS RECEIPT

100000000 341300 - Planning - Platting - 2024 Item: 57 1 @ \$1,500.0000 100000000 341300 - Planning - Platting - Map Fees	\$1,500.00
	----- \$1,500.00
Subtotal	\$1,500.00
Total	\$1,500.00
 CHECK	 \$1,500.00
Check Number 4722	

Change due	\$0.00

Paid by: JDW LLC

Comments: CONDITIONAL USE PERMIT
APPLICATION

Thank you for your payment

CUSTOMER COPY



MATANUSKA-SUSITNA BOROUGH

Real Property Detail for Account: 55274B03L007A

Site Information

Account Number	55274B03L007A	Subdivision	MIDWAY EST UNIT #1 RSB B/3 L/7
Parcel ID	67632	City	None
TRS	S17N01E07	Map WA10	Tax Map
Abbreviated Description (Not for Conveyance)	MIDWAY EST UNIT #1 RSB B/3 L/7 BLOCK 3 LOT 7A		

Site Address 4200 E Snider Dr

Ownership

Owners	J & T LLC	Buyers	
Primary Owner's Address	6405 COBBLECREEK CIR ANCHORAGE AK 99507	Primary Buyer's Address	

Appraisal Information

Appraisal Information				Assessment			
Year	Land Appraised	Bldg. Appraised	Total Appraised	Year	Land Assessed	Bldg. Assessed	Total Assessed ¹
2024	\$130,900.00	\$94,800.00	\$225,700.00	2024	\$130,900.00	\$94,800.00	\$225,700.00
2023	\$130,900.00	\$98,800.00	\$229,700.00	2023	\$130,900.00	\$98,800.00	\$229,700.00
2022	\$130,900.00	\$93,300.00	\$224,200.00	2022	\$130,900.00	\$93,300.00	\$224,200.00

Building Information

Structure 1 of 1

Residential Units	0	Use	Wholesale
Condition	Standard	Design	Commercial
Basement	None	Construction Type	Metal
Year Built	2001	Grade	None
Foundation	Slab on Grade	Building Appraisal	\$85300
Well		Septic	

Building Item Details

Building Number	Description	Area	Percent Complete
-----------------	-------------	------	------------------

Tax/Billing Information

Year	Certified	Zone	Mill	Tax Billed	Recorded Documents	Recording Info (offsite link to DNR)
2024	No	0006	::	::	9/13/2023 QUITCLAIM DEED (ALL TYPE)	Palmer 2023-016650-0
2023	Yes	0006	12.583	\$2890.31	11/28/2005 WARRANTY DEED (ALL TYPES)	Palmer 2005-033629-0
2022	Yes	0006	13.882	\$3112.34		

Tax Account Status ²

Status	Tax Balance	Farm	Disabled Veteran	Senior	Total ³	LID Exists
Current		\$0.00	\$0.00	\$0.00	\$0.00	No

Land and Miscellaneous

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
1.18	1.18	Assembly District 003	28-470	130 Central Mat-Su	009 Midway RSA

¹ Total Assessed is net of exemptions and deferrals, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

² If account is in foreclosure, payment must be in certified funds.

³ If you reside within the city limits of Palmer or Houston, your exemption amount may be different.

From: [Brenda Butler](#)
To: [Rick Benedict](#); [Peggy Horton](#)
Cc: [Justin Benson](#); [Jana Weltzin](#); [Randi Baker](#)
Subject: Shoreline Cannabis Conditional Use Permit Application
Date: Thursday, February 15, 2024 4:03:28 PM
Attachments: [CUP Application - Shoreline Cannabis - Signed.pdf](#)
[MSB CUP Narrative - Shoreline Cannabis.pdf](#)
[Owner & Agent Permission Letter - Shoreline Cannabis - Signed.pdf](#)
[MSB Site Plans.pdf](#)
[Floor Plan.pdf](#)
[1000 Buffer Map .pdf](#)
[32848 Board Action Letter MSB Retail.pdf](#)
[2024-022 Central Mat-Su Fire Approval.pdf](#)
[Driveway Permit.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick and Peggy,

Please find the attached application and supporting documents for Retail Marijuana Store conditional use permit.

The \$1500.00 application fee will be paid via the MSB eCommerce site using the AMCO license number 32848 immediately after this submission.

Please confirm receipt of this email submission and all 9 of its attachments.

Thank you and have a wonderful evening.

--

**** Please REPLY ALL when responding to this Email****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
Phone: 907-231-3750
Fax: 360-483-3750
brenda@jdwcounsel.com
info@jdwcounsel.com

The author of this email is not an attorney. This communication does not constitute legal advice and should not be construed as such. The information contained in this message is privileged and confidential. It is intended only to be read by the individual or entity named above or their designee. If the reader of this message is not the intended recipient, you are on notice that any distribution of this message, in any form is strictly prohibited. If you have received this message in error, please immediately notify the sender by telephone at 630-913-1113 and delete or destroy any copy of this message. Thank you.

Think green, please don't print unnecessarily

February 12, 2024

Owner & Agent Permission Letter for Use and Occupancy of Premises

Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division
350 East Dahlia Avenue
Palmer, Alaska 99645

Re: Shoreline Cannabis – Owner & Agent Authorization

Dear Planning Office:

We, Jackie Glatt and Teri Gunter, of J & T LLC, grant Lake Landing Investments, LLC permission to lease and use our property at 4200 E Snider Road Wasilla, AK 99654 as a Marijuana Retail Store. I am aware that Lake Landing Investments, LLC will be commercially selling marijuana and marijuana products on this property once the Matanuska-Susitna Borough approves the conditional use permit.

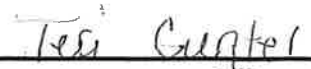
I, Justin Benson and Athena Rotzler, managing members of Lake Landing Investments, LLC, authorize Jana Weltzin and her firm of JDW, LLC to take all necessary actions to apply for and obtain one (1) conditional use permits for the operation of a Marijuana Retail Store of the property owned by J&T LLC located at MIDWAY EST UNIT #1 RSB B/3 L/7 BLOCK 3 LOT 7A, commonly known as 4200 E Snider Road Wasilla, AK 99654.

If you have any questions regarding this correspondence, please feel free to contact me.

Sincerely,



Jackie Glatt – J&T LLC



Teri Gunter – J&T LLC



**Justin Benson - Managing Member
Lake Landing Investments, LLC**



**Athena Rotzler - Managing Member
Lake Landing Investments, LLC**

A
L
A
S
K
A

2023-016650-0

Recording District 311 Palmer

09/13/2023 11:23 AM

Page 1 of 4



SPACE ABOVE THIS LINE FOR RECORDER'S USE


QUITCLAIM DEED

The Grantor, Senco Alaska, Inc., an Alaska corporation, whose address is 877 E. Dowling Road, Anchorage, AK 99518, hereby grants, conveys, releases, and quitclaims all of its rights, title, and interest, without warranty, to J & T, LLC, an Alaska limited liability company, having an address of 6405 Cobblecreek Circle, Anchorage AK 99507, in the following described real property:

Lot 7A, Block 3, MIDWAY ESTATES SUBDIVISION, Unit No. 1, according to Plat No. 2002-110, located in the Palmer Recording District, Third Judicial District, State of Alaska


TOGETHER WITH, all and singular, the tenements, hereditaments, and appurtenances thereunto belonging or in any way appertaining.

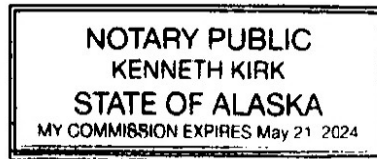
DATED AND SIGNED on September 12, 2023, in Anchorage, Alaska.


Teri L. Gunter, Grantor

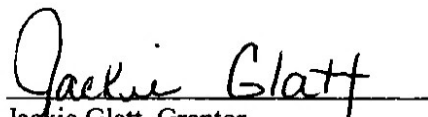
STATE OF ALASKA)
)ss.
THIRD JUDICIAL DISTRICT)

SUBSCRIBED AND SWORN BEFORE ME on September 12, 2023, in Anchorage, Alaska by Teri L. Gunter, for the Grantor.


Kenneth Kirk
Notary in and for Alaska
My Commission Expires: May 21, 2024




DATED AND SIGNED on September 12, 2023, in Anchorage, Alaska.

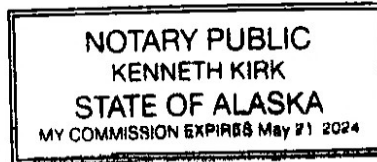

Jackie Glatt, Grantor

STATE OF ALASKA)
)ss.
THIRD JUDICIAL DISTRICT)

SUBSCRIBED AND SWORN BEFORE ME on September 12, 2023, in Anchorage, Alaska
by Jackie Glatt, for the Grantor.



Kenneth Kirk
Notary in and for Alaska
My Commission Expires: May 21, 2024




DATED AND SIGNED on September 12, 2023, in Anchorage, Alaska.



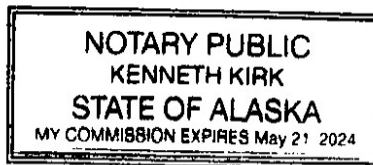
Teri L. Gunter, Grantee
On behalf of J & T, LLC

STATE OF ALASKA)
)ss.
THIRD JUDICIAL DISTRICT)

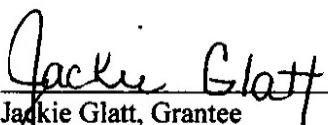
SUBSCRIBED AND SWORN BEFORE ME on September 12, 2023, in Anchorage, Alaska by
Teri L. Gunter, for the Grantee.



Kenneth Kirk
Notary in and for Alaska
My Commission Expires: May 21, 2024



DATED AND SIGNED on September 12, 2023, in Anchorage, Alaska.

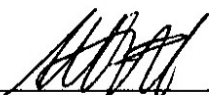


Jackie Glatt, Grantee
On behalf of J & T, LLC

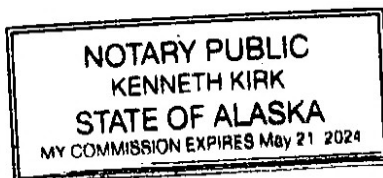


STATE OF ALASKA)
)ss.
THIRD JUDICIAL DISTRICT)

SUBSCRIBED AND SWORN BEFORE ME on September 12, 2023, in Anchorage, Alaska by Jackie Glatt, for the Grantee.



Kenneth Kirk
Notary in and for Alaska
My Commission Expires: May 21, 2024



Filed for Record at the Request of Kenneth Kirk, Attorney at Law

AFTER RECORDING MAIL TO: J & T, LLC, 6405 Cobblecreek Circle, Anchorage AK 99507

Affidavit of Authority attached



**RETAIL MARIJUANA STORE CONDITIONAL
USE PERMIT NARRATIVE**

Lake Landing Investments, LLC

DBA Shoreline Cannabis

a locally owned and operated business

Submitted: _____, 2024

Prepared by:



JDW, LLC
Jana D. Weltzin, Esq.
901 Photo Avenue, Second Floor
Anchorage, AK 99503
jana@jdwcounsel.com
630-913-1113
907-231-3750

On behalf of:

Lake Landing Investments, LLC

Introduction:

We are pleased to introduce lifelong Alaskans and entrepreneurs Justin Benson and Athena Rotzler. Justin is a motivated and successful business owner in Alaska, where he has owned and operated Lawn Pro Alaska, a landscaping company, for more than fifteen years. Justin was uniquely suited to enter into the cannabis industry, in 2002 Justin earned a degree in Horticulture.

Athena has lived in Alaska for eight and a half years and is a stay-at-home mom who makes beautiful jewelry by hand and sells it at local functions; she is married to a lifelong Alaskan and has two children.

Justin is working on opening this retail shop to go along with his active-operating cultivation facility license that is located down the road from this proposed location and wants to take the brand he and Athena have developed to sell their marijuana in their own retail store. By branching out, Justin and Athena will integrate their business to maximize their efficiencies and provide multiple employment opportunities within the industry and within the Mat Su Borough. Justin and Athena are the managing members of Lake Landing Investments, LLC, which owns Shoreline Cannabis, a proposed new Retail Marijuana Store located in the Matanuska - Susitna Borough.

This Conditional Use Permit (“CUP”) application for a Retail Marijuana Store requests approval from this Honorable Commission. Shoreline Cannabis’ retail application has been approved with delegation by the Marijuana Control Board “MCB” during the June 2023 meeting.

Required attachments for a marijuana retail facility conditional use permit narrative:

Is the conditional use compatible with and will it preserve or not materially detract from the value, character, and integrity of the surrounding area?

√ The proposed use is compatible with adjacent properties and fits succinctly into the area as there is a mix of uses in the area – the area consists of large lots that house commercial uses such as a storage business and a dog groomer. The property faces the E. Palmer-Wasilla Highway and is situated for commercial use. The entire licensed area, including the restroom, pack/prep/inventory storage rooms, and the retail sales floor, will be approximately 2,400 square feet. The proposed use fits into the surrounding uses’ harmony in size and design. The facility is composed of a steel structural frame, metal roof panels, metal wall bracing, fasteners and sheet metal siding. The retail store is beige in color with black accenting in front, black commercial doors and a silver roof. The facility is located on a 1.18-acre lot off the E Palmer-Wasilla Highway located in the MIDWAY EST UNIT #1 RSB B/3 L/7 subdivision of the Matanuska-Susitna Borough. The surrounding area of the property is bordered by a mixture of commercial use, industrial use, residential homes and vacant lots. There are no sensitive uses within the required 1000 foot as-the-crow-flies measurement as outlined in MSB 17.60, the closest sensitive use is school grounds – Cottonwood Creek Elementary, which is over 3000 feet from the facility to the lot line of the school grounds. Therefore, the proposed use does not detract from the surrounding area’s character, value, and integrity of the surrounding area, however, the applicants are aware of

the residential uses nearby, and will take extra care to be responsive to neighbors if any concerns arise regarding the commercial nature of this proposed use. The facility will not produce any undue noise pollution and has an odor control method in place. It is not expected that the retail facility will generate smell, but regardless the retail will have odor controls. There will be no onsite consumption allowed at this proposed retail establishment. Exterior lights will be installed downward facing to ensure mitigation of light pollution. This retail facility will be operated by knowledgeable licensees who are in the industry, have the education and training to aide in smooth operations; ordinance compliance; regulation compliance etc., has a multitude of industry contacts, and will ensure that this use does not detract from the value, character, and integrity of the surrounding area. The neighboring uses that face the E Palmer-Wasilla Hwy include the storage cache, a pet grooming boutique, veterinary clinic, Builders Choice Lumber, the industrial/commercial neighbor north of the facility is the Schwabenhof, a bar/restaurant across the E. Palmer Wasilla Highway, a major thoroughway in Wasilla.

√ The applicants will ensure that the proposed use will not emit odor, will not produce excess dust, will have limited noise, and will have sufficient parking and loading in order to cut down on traffic generation in front of the premises and on the side-street thus fitting in with adjacent property uses. The facility design utilizes natural landscape screening in the back of the lot and meets the required setback from the side street. The proposed use will meet all compatible uses allowed on adjacent properties and will improve the overall neighborhood as the premises will not emit odor, will not produce excess dust, will not produce noise pollution, and will have parking and loading on the licensed premises to cut down traffic congestion on the street, thus fitting in with adjacent property uses. As detailed in the attached site plan, there will be ample space for parking on the premises and will have appropriate accessibility spaces under the Americans with Disabilities Act.

√ The facility will have a 24-hour monitoring alarm system, exterior lighting, and video surveillance. Commercial locking mechanisms and video surveillance secure all entrances to capture individuals within twenty (20) feet. Inside the licensed premises, video surveillance will cover all areas of the facility (apart from the bathroom) 24/7 (stored for a minimum of 40 days) to monitor and identify all activity. Specific portions of the store will be designated as restricted access areas, with signs posted prominently around the premises stating, “Restricted Access Area: Visitors Must Be Escorted” and “Video Surveillance in Progress.”

√ In the event a non-employee/agent of the company needs to access the restricted access area, the company visitor policy will be adhered to. A visitor will need to show their valid photo identification and obtain a visitor badge which must be visibly displayed on their persons at all times in restricted access areas. All visitors must be pre-approved by a Licensee or management (with the exception of AMCO officials, law enforcement, or an agent of the Matanuska Susitna Borough) - there should be no un-scheduled and unexpected visitors. To maintain the security of the facility and all marijuana products, access the facility will always be monitored and restricted. Access will only be granted to employees and licensees, AMCO agents, law enforcement, and the limited exception of scheduled pre-approved visitors. Additionally, Shoreline Cannabis’ exterior signage will indicate that any members of the public are not allowed unescorted access and will

be clearly displayed on the door. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt access.

Will the granting of the conditional use permit be harmful to the public health, safety, convenience, and welfare?

√ No – Shoreline Cannabis’ retail establishment has a security system plan, diversion control policies, and a loitering check plan for the retail facility. Shoreline will also provide prompt and effective responses to community concerns if such concerns arise.

√ The facility is a commercial marijuana retail store and will only allow access to those who are at least 21 years of age or older. No persons will be allowed access to any marijuana or marijuana products at any time, unless under direct supervision of a Shoreline Cannabis licensee or employee, as all marijuana and marijuana product must be stored in the restricted access area per AMCO regulations. There is no on-site consumption is allowed at this retail establishment, and no customers will be allowed to consume in their vehicles in the parking lot. A Shoreline Cannabis employee shall perform regular parking lot and perimeter checks throughout the day, frequent but unscheduled, so no member of the public picks up on a scheduled pattern, to ensure that no persons are loitering and to ensure that no customers are consuming product on the property and/or in their vehicles.

√ All marijuana and marijuana products will be displayed in locked display cabinets for customers to view. The area behind the cabinets will be restricted access, and signage will be displayed accordingly. Employees will open the cabinet from within the restricted access area and place the product into exit packaging at the cash register before handing it to the customer. Once a customer’s transaction is complete, they will be instructed by an employee to exit the retail store.

√ To ensure Shoreline Cannabis will only allow access to persons over the age of 21, the retail establishment will check the ID of every person attempting to enter the retail store. Anyone under 21 or who does not produce a valid photo ID issued by a federal or state agency authorized to issue ID cards will be asked to leave the premises, no matter how familiar the employee is with the customer. Any employee checking IDs will have a valid marijuana handler permit and be trained to recognize altered/forged photo IDs.

Additional protections to ensure the prevention of any negative impact on the public health, safety, convenience, and welfare:

√ The facility will have a 24-hour monitoring alarm system, bright, prominent exterior lighting that is downward facing to minimize light pollution to neighboring lots, and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (with exception of the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. All visitors must be pre-approved by a licensee or a manager (with the exception of AMCO agents, MSB agents, and law enforcement). To maintain the security of the facility and all marijuana products, access to the facility will always be

monitored and restricted. Access to restricted areas will only be granted to employees and licensees, AMCO agents, MSB agents, law enforcement, and the limited exception of scheduled pre-approved visitors and those customers over the age of 21. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt unauthorized access.

✓ On-site video surveillance will continuously monitor all areas of the premises where marijuana is present, including areas where marijuana is packaged, sold, and stored. Employees will perform mandatory inventory counts each week, check counts against Metrc records, compare with point-of-sale reports to ensure no diversion or inversion is occurring, and document the reports as official business records. Shoreline Cannabis will not tolerate theft, inversion, and diversion, and all employees will complete mandatory training to recognize such activity. Shoreline Cannabis management team understands that diversion can happen in two ways - inversion and diversion - and it can be equally profitable to divert product out of the legal system as it is diverting product from the illegal system into the legal market. If an employee is caught stealing marijuana OR infusing the facility with non-regulated black-market product, Shoreline Cannabis will notify local law enforcement immediately, comply with all directives, and provide all necessary information and records for the investigation. Shoreline Cannabis will take the necessary steps to ensure that illegal conduct by an employee does not compromise the facility's license and legitimate business operations. Once a theft is reported, the licensees or manager will update the product records in the tracking system, as needed, to maintain an accurate and comprehensive accounting for all marijuana products and inventory. The licensee(s) and/or manager will comply with all inquiries and investigations lodged by AMCO. Documentation related to marijuana theft will be maintained as a business record for five (5) years and made available to AMCO upon request. Video recordings will be stored for forty (40) days. Cameras will provide a full view of the entryway, retail sales area, point of sale system and cash registers, safes, money counting areas, and marijuana/marijuana product storage areas. Security monitors and video recording equipment will be securely located onsite.

✓ Qualified candidates will be hired on probationary period during which time they will receive training and evaluation specific to their position. Training will include marijuana industry trends; customer care; food handling; safety precautions and procedures; legal issues; and state and federal regulations. Training will be refreshed as needed, as well as when new regulations or products are introduced. Employees will be required to demonstrate their knowledge of these concepts before their training will be considered complete. Informative packets will be provided to employees and supplemented/updated as needed. These packets will cover; Marijuana cannabinoids; strain ratios; marijuana benefits and risks; local community concerns to address, general Alaska marijuana law; employment regulations; store policies; security and safety procedures; measures for the prevention of diversion, inversion and theft; recognizing forged, altered, or invalid identification, as well as signs of intoxication; in-depth information about job duties and responsibilities; response procedures for robberies, earthquakes, and other emergencies; statutes regarding confidentiality. Employees will receive semi-annual performance evaluations to ensure that they have retained their training information, and the store remains compliant. As

proper safety and security procedures are of utmost importance to Shoreline Cannabis, the most up-to-date reading materials will always be available to employees. Prior to beginning work, employees will be expected to understand the following: (1) Alaska laws, regulations, and codes governing the marijuana industry and marijuana establishments; (2) all of the permitting requirements to act as a marijuana handler (including obtaining a Marijuana Handler card from a state-approved course provider before commencing employment) and to work in a marijuana establishment; (3) Shoreline Cannabis standards, operational protocol, and best practices concerning marijuana retail sales; (4) general safety procedures and security protocol; (5) how to think defensively if threatening situations occur, and how to recognize the signs of impairment, drug abuse, and instability; (6) in-depth information about our particular strains and marijuana related products; (7) in-depth information on the requirements of each room, task, and system; (8) the general federal, state, and local employment regulations by which Shoreline Cannabis is governed; and (9) retail-specific education. To ensure full coverage for each position, all employees will be cross-trained on the requirements of each job.

√ Shoreline Cannabis will have “No Loitering” signs clearly posted on the exterior of the facility. If an employee suspects a person is loitering outside the licensed premises, they will be given a verbal warning to leave the premises or law enforcement will be notified. Trained employees will maintain periodic checks around the property to deter unauthorized entrance or loitering around the facility. The exterior lighting system will keep the premises well-lit during closed hours and provide extra lighting for all surveillance recordings. Exterior lighting will be shielded and downward-direction to mitigate any unwanted light pollution. Lighting will be frequently checked by an employee to ensure that all fixtures are fully operational. An employee will check surveillance footage to ensure that lighting is adequate to prevent dark spots and capture the best facial image of every person who approaches the facility. If there are any issues with the quality of the surveillance capture, the lighting will be calibrated and/or additional lighting will be installed. All outdoor lighting will be shielded to protect against inclement weather and vandalism. The shielding will also prevent light pollution on the surrounding properties by directing light downwards.

√ The facility’s architectural design incorporates lighting to project light onto the building and downward. The alarm system will monitor for intrusions with motion detectors on the facility windows, entrance and exits, including emergency exits on the west side of the licensed facility, restricted access area which includes secured storage, the office and storage areas during closed hours. Live security footage will also be accessible to the licensees and management via their cellular phones so they may keep an eye on the facility even when they are away. Any unauthorized or attempted intrusion will prompt an automatic electronic alert to the security company who will contact local law enforcement and a licensee or manager. All alarm systems and devices will be tested every six (6) months.

Are there sufficient setbacks, lot area, buffers, and other safeguards being provided?

√ As described previously, Shoreline Cannabis is located within a 1.18-acre parcel. This application and the layout of Shoreline Cannabis meet the required setbacks, buffers, and lot area. The entire retail operation is enclosed in a commercial-grade building.

√ There will be plenty of on-site parking for this use, including accessible spaces. Shoreline Cannabis' facility is 2,400 square feet, per MSB 17.60.150, the retail store requires 8 parking spaces (1 space per 350 sqft). Shoreline Cannabis has 7 10W x 20L parking spaces, and one ADA 11W x 5 isle x 20L parking space.

√ The facility has incorporated measures to reduce the negative effects it may have on the surrounding properties including, but not limited to, natural landscaping screening behind the facility, a u-shaped driveway and paved parking in front of the building and a black & beige commercial-metal architectural design that will not detract from the surrounding area's character.

√ The facility will not produce noise pollution and has an odor control method. A robust security plan and the "no loitering" policy will be implemented and thoroughly communicated to all employees. Additional safeguards include the following:

√ The lighting fixtures will be positioned at an inaccessible height with sturdy housings to deter vandalism and common obstructions. The bulbs will be extremely bright to maximize visibility and deter crime. The exterior lighting will be checked daily by a licensee, manager on duty or an employee to ensure that each light in the system is operational and that each mount is positioned for optimum recording clarity and to deter unauthorized presence on the premises. The building's architectural design incorporates downward/shielded lighting to prevent light from encroaching on neighboring properties or right of ways.

√ A third-party security company will install the alarm system and continuously monitor the electronic notifications if the alarm is triggered. The security company will periodically visit to check and maintain the equipment.

Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use of this section?

√ Yes.

Describe measures being taken to prevent potential negative effect upon other properties in the area due to such factors as noise and odor.

The proposed use will produce very little noise compared to adjacent properties. Shoreline Cannabis does not anticipate any noise from the facility, and if any noise is to be produced, it will be comparable to surrounding land uses. The roads that serve the facility and surrounding uses fluctuate during "rush hour", other times of the day the roads do not seem to be used to their maximum capacity; therefore, any increase in traffic flow on the roads serving the area will be sufficient to serve the area with this new proposed retail use.

Shoreline Cannabis will abide by a strict “no odor” policy per MSB 17.60.150(A)(1) that will ensure no odor is detectable by the public from outside the facilities. This use is a retail establishment and should not have any issues with odor seeping out from the retail to the outside air. However, in an abundance of caution, odor control methods will be utilized and will consist of a number of methods meant to eliminate odors such as; sealed marijuana containers and air sanitizers throughout the building and when transporting marijuana to/from the premises. All marijuana at the retail facility will be either pre-packaged in smell-proof packaging for sale, deli-style enclosed jars that are only opened to take the product out for sale to a customer and is repacked before exiting the facility, or in enclosed jars in small amounts for customers to smell.

Describe how use is compatible with the character of the surrounding area.

√ The facility is compatible with the character of the surrounding area as it exists on a property with commercial, industrial, and wooded residential neighboring lots. The vicinity includes several vacant land parcels that remain undeveloped, contributing to the area’s tranquil and secluded atmosphere, which aligns well with the nature of a marijuana retail store. The surrounding parcels and their uses are an excellent fit for a marijuana retail store.

Current status of State License Application Process.

The Marijuana Control Board approved the application with delegation during their June 2023 meeting. *See attached board action letter.*

Misc. Items and Information.

Please see the attached parking layout diagram, which complies with MSB 17.60.170(B)&(C).

Proposed hours of operation for the retail establishment shall be 8 am – 12am Monday-Friday, 10am – 12am Saturdays and 10am – 10pm on Sundays, however the store will likely reduce hours or extend hours on certain days, depending on customer demand.

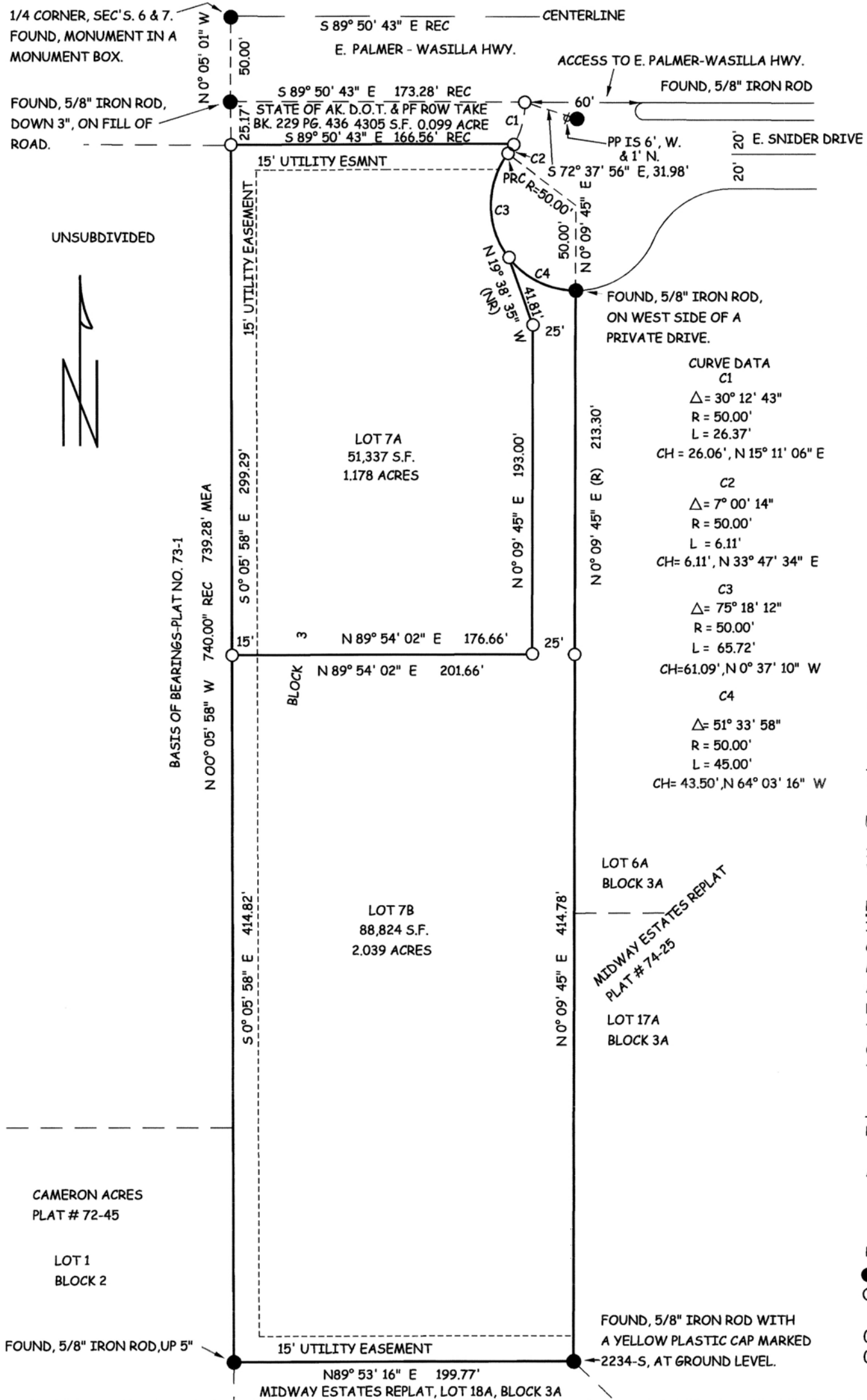
The number of employees on-site will be a minimum of 3, depending on employee shifts, season, and other store needs.

Shoreline Cannabis has been reviewed and approved by Central Mat-Su Fire Department. *See attached certificate of approval.*

The logo for the store is understated and simple that shows a plane flying over a beautiful blue lake, surrounded by trees, mountains and blue skies with the company name under the imagery. Shoreline Cannabis will have one metal and plastic 21’x3’ sign on the front of the facility facing the Palmer-Wasilla Highway. Sign will be back-lit during operating hours and off during closed hours.



Thank you for your dedication to the Community and for your thoughtful consideration of this conditional land use application.



NOTES

1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNER TO OBTAIN A DETERMINATION WHETHER SUCH REQUIREMENTS APPLY TO THE DEVELOPMENT OF THE PARCELS SHOWN HEREON.
2. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THOSE SYSTEMS.
3. NO PART OF A SUBSURFACE SEWAGE DISPOSAL SYSTEM SHALL BE CLOSER THAN 100' FROM ANY BODY OF WATER OR WATERCOURSE
4. RECORD INFORMATION WAS TAKEN FROM MIDWAY ESTATES SUBDIVISION, PLAT NO. 73-1.
5. DIRECT VEHICULAR ACCESS TO THE E. PALMER-WASILLA HWY. IS PROHIBITED.

SURVEYORS CERTIFICATE

I, CLAYTON J. MARTIN, A REGISTERED LAND SURVEYOR IN THE STATE OF ALASKA, CERTIFY THAT I HAVE SURVEYED THE PROPERTY REPRESENTED ON THIS PLAT AND THAT THE DIMENSIONS AND OTHER DETAIL ARE CORRECT TO THE BEST OF MY KNOWLEDGE.

Clayton J. Martin 10/16/02
CLAYTON J. MARTIN DATE



EXP. 12/31/03

CERTIFICATE OF OWNERSHIP

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION BY OUR FREE CONSENT.

Pamela M. Thiele 10/16/02
PAMELA M. THIELE 850 STAMPER DATE
WASILLA, AK 99654

Colleen D. Huston AVP 10/16/02
COLLEEN D. HUSTON 850 STAMPER DATE
WASILLA, AK 99654

PLANNING DIRECTORS CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY PLAT RESOLUTION NO. 2002-164 SUBDATED August 21, 2002, AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA.

Sandra Bailey 10-16-02
PLANNING DIRECTOR DATE

ATTEST: *Marilyn M. Luise* 10-16-02
PLATTING CLERK DATE

LEGEND

- PRC = POINT OF REVERSE CURVE
- = MONUMENT FOUND, AS NOTED
- = SET A 5/8" X 30" REBAR WITH A YELLOW PLASTIC CAP MARKED RPLS 7077, UNLESS OTHERWISE NOTED.
- (R) = RADIAL
- (NR) = NON RADIAL



S.3	S.2	S.1	SEWARD MERIDIAN PKWY.	S.6	S.5
S.10	S.11	S.12		E. PALMER WASILLA HWY.	S.8
S.15	S.14	S.13	T.17N., R.1E. T.17N., R.1E.	S.7	S.17
S.22	S.23	S.24		S.19	S.20

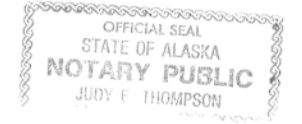
VICINITY MAP SCALE 1"=1 MILE

DEED OF TRUST, BOOK 1115, PAGE 364
WARRANTY DEED, BOOK 1115, PAGE 361
PLAT NO. 73-1

NOTARY'S ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS 16 DAY OF October, 2002, FOR *Pamela Thiele*

Judy E. Thompson
NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES 7-31-03



NOTARY'S ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS 16 DAY OF Oct., 2002, FOR

Colleen D. Huston
NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES Oct. 15, 2004



CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH Dec, 2002, AGAINST THE PROPERTY, INCLUDED IN THIS RESUBDIVISION HEREON, HAVE BEEN PAID.

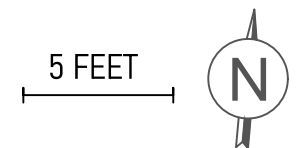
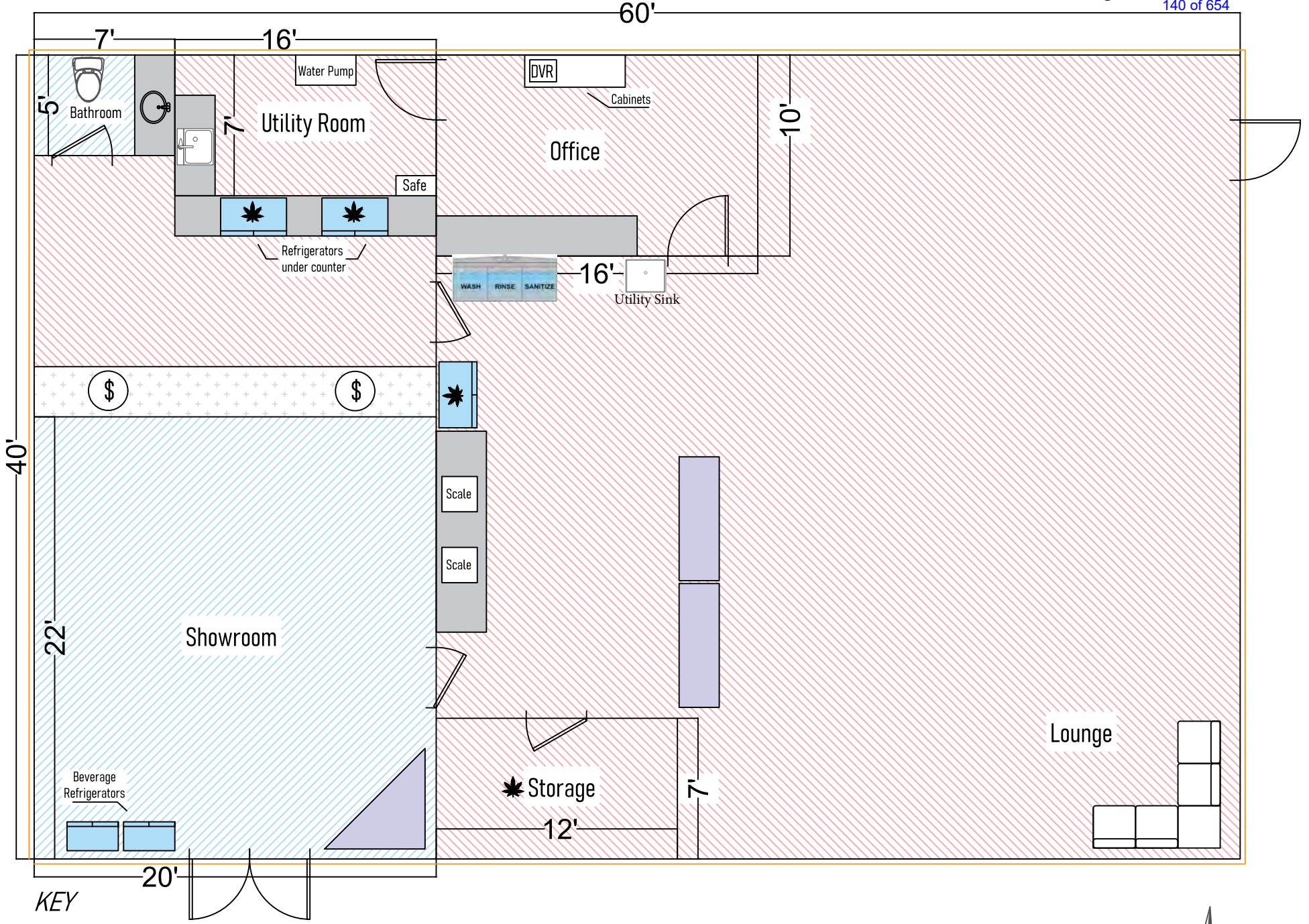
Steward 10/16/02
BOROUGH TAX COLLECTION OFFICIAL DATE

2002-110
PALMER REC DIST
Date Oct. 17, 2002
Time 1:37 P.M.
Requested By MSB
Address

20cc

C. J. MARTIN-SURVEYING, P.O. BOX 4636,
5651A N. MAVERICK DR., PALMER, AK. 99645
PH(907)745-6447 FAX 745-0834

A PLAT OF MIDWAY ESTATES SUBDIVISION UNIT #1 LOT 7A & 7B, BLOCK 3, A REPLAT OF LOT 7, BLOCK 3, MIDWAY ESTATES SUBDIVISION LOCATED WITHIN THE NE1/4 OF SECTION 7, TOWNSHIP 17 NORTH, RANGE 1 EAST, OF THE SEWARD MERIDIAN, PALMER RECORDING DISTRICT, ALASKA, AND CONTAINING 3.22 ACRES. SCALE: 1" = 50' JUNE 19, 2001 FIELD BOOK 1 SHEET 1 OF 1



MSB • Department of Emergency Services • Central Mat-Su Fire Department

Fire & Life Safety Division

Physical: Station 51 – 1911 S Terrace Court, Palmer

Mailing: 101 W Swanson Avenue • Wasilla, AK 99654

Office (907) 861-8030 • Fax (907) 861-8157 • E-mail: FireCode@matsugov.us



August 24, 2023

Justin Benson
Lake Landing Investments LLC
10935 Cange St
Anchorage AK 99516
907-575-8521
Justin.benson121@yahoo.com

SUBJECT: Shoreline Cannabis
FIRE SERVICE AREA: Central Mat-Su FSA
PLAN REVIEW: 2024-022
TYPE OF CONSTRUCTION: VB
OCCUPANCY TYPE: M
2021 INTERNATIONAL BUILDING AND FIRE CODE

Justin:

Plans for remodeling the subject facility have been reviewed by this office for conformity with the State Fire Safety Regulations and are hereby approved as submitted. Enclosed is a certificate of approval that must be posted on the premises until completion of the remodel work. Any changes to the approved plans must be submitted to this office for review and approval. **You are prohibited to occupy this building until construction is completed for which plans have been examined and approved.** After completion of the construction, you must schedule a certificate of occupancy inspection prior to opening.

It must be understood that the inclusion of and compliance with State Fire Safety Regulations does not preclude the necessity of compliance with the requirements of local codes and ordinances. Also understand that approval of submitted plans is not approval of omissions or oversights by this office or noncompliance with any applicable regulations. The plans have not been reviewed for compliance with the Federal Americans with Disabilities Act or structural requirements.

If we can be of further assistance in this matter, please contact us at the address above.

Sincerely,

A handwritten signature in black ink that reads 'Josh Henson'.

Joshua P. Henson
Deputy Fire Marshal

Fire and Life Safety Division

Central Mat-Su Fire Service Area No. 130 - District 1
Department of Emergency Services, Matanuska-Susitna Borough



Plan Review #2024-022 Shoreline Cannabis Renovation Approval

This is to certify that the plans for this building were reviewed by CMSFD's Fire & Life Safety Division on 8/24/2023, for conformance with AS 18.70.010–100; 13 AAC 50.027. This certificate becomes invalid 180 days after the work on the site is commenced within 180 days after issuance, or if the work authorized is suspended or abandoned for a period of 180 days after the time work is commenced. An extension may be requested at the above mentioned address.

This certificate shall be posted in a conspicuous place on the premises listed above and shall remain posted until construction is completed. **Notice:** *Any changes or modifications to the approved plans must be resubmitted for review by the Central Mat-Su Fire Department.*

Josh Henson

by Joshua P. Henson, Deputy Fire Marshal

Authority: AS 18.70.080, 13 AAC 50.075 & MSB RS 06-054

Pannone Engineering Services LLC

Steven R. Pannone, Principal
Registered Professional Engineer
E-mail: steve@panengak.com

Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer, Alaska 99645

C.O.
Morgan Hall
Justin Benson

Subject: 4200 E Snider Road
Stormwater Runoff

This is a drainage narrative pertaining to the subject lot.
The subject lot on 4200 E Snider Road has a surface layer of well drained NFS gravel. The proposed development on the site will re-purpose the existing buildings. The existing storm water runoff from the lot flows to the west towards a vegetative buffer easement and is infiltrated into the ground before it leaves the gravel area. Assuming the infiltrative area surrounding the proposed development/impervious area is 5' wide on the west side of the building/parking lot and does not reach any lot line, all runoff from a 10-year 24-hour storm event will be infiltrated with excess capacity.

DRAINAGE CALCULATIONS:
TOTAL AREA OF IMPERVIOUS: 9,800 S.F.
2-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.33 INCHES
TOTAL VOLUME OF 2-YEAR 24-HOUR RAINFALL: 1,086 C.F.
10-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.96
TOTAL VOLUME OF 10-YEAR 24-HOUR RAINFALL: 1,600 C.F.
TOTAL INFILTRATION AREA REQUIRED: 67 S.F. TO INFILTRATE 10-YR RUNOFF
TOTAL INFILTRATION AREA AVAILABLE: 450 S.F.
INFILTRATION RATE: 0.2 INCHES/MINUTE
INFILTRATION VOLUME: 7.5 C.F./MINUTE
INFILTRATION VOLUME PER 24HR: 10,800 C.F.

Sincerely,



28 May 2024
Steven R. Pannone, PE, F. ASCE
Owner/Civil Engineer

Mailing: P.O.Box 1807, Palmer, AK 99645
Telephone: (907) 745-8200 FAX: (907) 745-8201



State of Alaska

Department of Transportation and Public Facilities

Driveway Permit #26370

This permit allows the owner to construct and maintain a driveway within a State owned highway Right of Way.

Owner:	Storage Cache, LLC
Mailing Address:	Attention: John Simpson 19025 Villages Scenic Pkwy Anchorage, Alaska 99516
<p>Driveway location (highway, address, subdivision, legal description milepost, etc.)</p> <p style="text-align: center;">Wasilla SHARED Access - Palmer-Wasilla Highway - 4150 E Snider Drive (17N01E07B003) and 4200 E. Snider Drive (5274B03L007A)</p> <p style="text-align: center;">Installed by DOT project per 1981 agreement.</p>	

Design Criteria

Driveway width	24 Feet	Road surface type	Paved
Left edge clearance	N/At	Shoulder type	Gravel
Right edge clearance	N/A	Landing surface type	Asphalt
Left return radius	20 Feet	Left driveway fore slope	: 1 3
Right return radius	30 Feet	Right driveway fore lope	: 1 3
Shoulder width	2Feet	Ditch depth	Feet
Approach angle	90 Degrees	Culvert Type	None
Landing grade	+/- 2 Percent	Culvert Size	N/A
Landing length	30 Feet	Culvert Length	N/A

This permit applies only to the State right of way.

This permit grants permission for a driveway allowing access to and from your property onto a State maintained highway. It does not permit the following within the right of way or within that

portion of a driveway that is within the right of way: (1) Parking of vehicles "for sale"; (2) Obstructions of any kind (i.e. logs, cables, fencing, etc.); (3) Advertising signs or banners/flags; (4) Parking vehicles with signs/advertising on the side.

A driveway constructed under permit within a highway right-of-way is the property of the State, but all cost and liability arising from the construction, operation, or maintenance of a driveway is at the sole expense of those lands served.

The Department is not obligated to change its maintenance practices to accommodate a driveway constructed under a permit, or to incur any additional expense removing snow berms or other obstructions from a driveway within a right of way resulting from the Department's activities, or activities under a permit issued under 17 AAC 15.

Owner is responsible for adjusting, relocating or removing the driveway without cost or liability to the Department if the use or safety of the highway requires.

This permit is not a property right but a temporary authorization, revocable by the State upon violation of any permit terms or conditions, or for other reasons. All reasonable attorney's fees and costs associated with legal or enforcement actions related to the terms and conditions of this permit will be borne by the Owner.

Any survey monument or monument accessory that is disturbed or destroyed during construction or maintenance of the driveway will be restored or replaced by a Land Surveyor licensed in the State of Alaska.

The Owner will be responsible for all necessary Federal, State, and Municipal permits and licenses required by law, pay all taxes and special assessments lawfully imposed upon the permitted area, and pay other fees and charges assessed under applicable law.

Placement of fill material in waters of the U.S., including wetlands and streams, requires prior authorization from the U.S. Army Corps of Engineers. It is the responsibility of the owner to contact the Corps before filling activities take place.

The Owner shall construct and maintain a driveway in such a manner that the highway, and all of the highway's appurtenances or facilities, including drainage facilities, pipes, culverts, ditches, traffic control devices, street lights, pathways, and sidewalks are not impaired or endangered in any way by the construction or maintenance. If you damage any improvements within the State owned right of way, you will be responsible for returning them to their previous condition. The Department will inspect and approve the restored improvements.

Owner will indemnify, defend, and hold harmless the State, and its officers, employees, and contractors, from any and all claims or actions resulting from injury, death, loss, or damage sustained by any person or personal property resulting directly or indirectly from Owner's use of or activities in the permitted area.

Landings from all paved roads must be paved and maintained from edge of the road to the length of the landing as stipulated in this permit.

Permit No. ~~00000~~ ²⁶³⁷⁰

If a culvert is required by this driveway permit, culvert ends must be installed at the time of installation and maintained continuously by the owner.

No person shall place, leave, or deposit upon any street, avenue, alley, sidewalk, or other public right of way any snow or ice which has been removed from a private driveway, private parking area, or the adjacent property. Owner is responsible for contractor's actions concerning placement of snow from Owner's property.

If driveway construction or maintenance interferes with the public's safety and/or use of facilities within State owned right of way, you will be directed to stop work until adjustments are made.

While doing construction or maintenance activities do not park equipment or stockpile material on the shoulder during non-working hours.

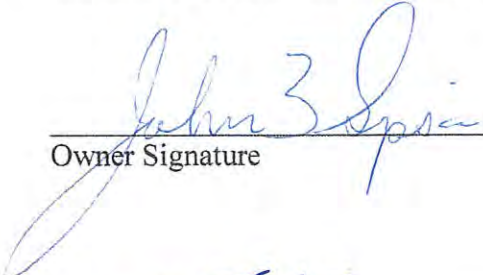
Owner is responsible for sight distance clearing of brush and obstructions adjacent to their property

Contact the Department for information about acceptable driveway markers (i.e., size, materials, distance, etc.) for placement within the right of way.

Attachments included as part of this permit are:

- Site Plan


I, John Simpson, acknowledge and accept that Storage Cache, LLC will comply with all the provisions and conditions that the Department of Transportation and Public Facilities has included as a condition of issuing this permit.



Owner Signature

3-4-16

Date

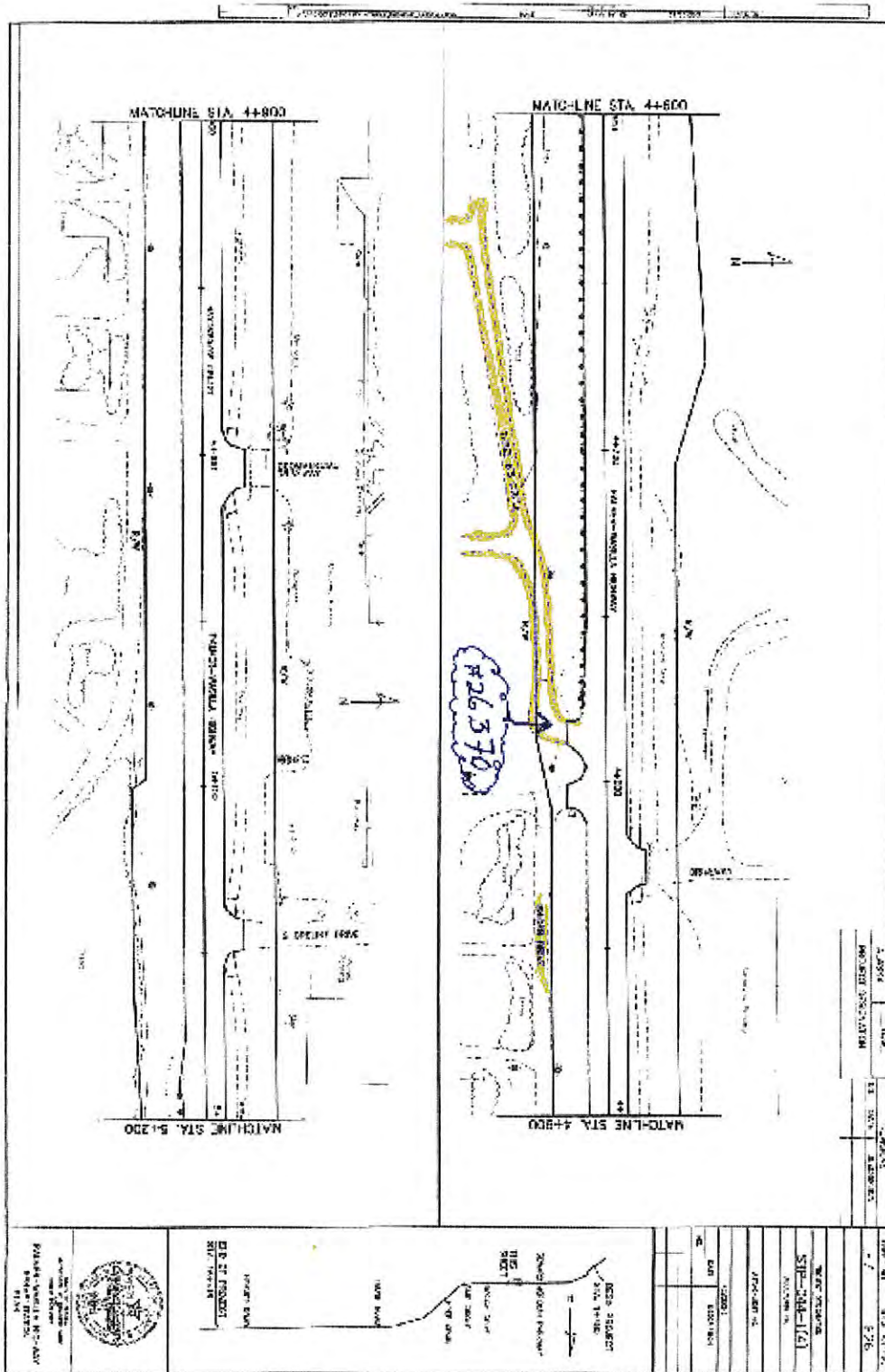


DOT&PF Signature

3/7/16

Date

Site Plan





MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department
 Development Services Division

350 East Dahlia Avenue, Palmer, Alaska 99645
 (907) 861-7822 Fax (907) 861-8158
 E-mail: PermitCenter@matsugov.us

MAY 06 2022

Received

Driveway Permit Application

Permit Fee \$200 (\$150 Refundable if completed within 3 years) PERMIT NO. D28736

Property Owner: (Name) <u>Justin Benson</u>	Applicant/Agent: (Name) <u>MJM Services LLC</u>
Mailing Address <u>Po Box 141463</u>	Mailing Address <u>Po Box 872609</u>
City State Zip Code <u>Anchorage AK 99514</u>	City State Zip Code <u>Wasilla AK 99687</u>
Phone Cell (optional) <u>907-575-8521</u>	Phone Cell (optional) <u>907-376-5222 907-775-1537</u>
E-mail (optional)	E-mail (optional) <u>ruthann@mjmpaving.com</u>
Site Address: <u>4200 Snider Dr. Wasilla</u>	Driveway Location Will Be Marked With: <u>Paint</u>
Property Tax ID #: <u>5274B03L007A.</u>	Expected Completion Date Driveway Surface Type <u>09/30/2022 asphalt</u>
Road You Are Applying For Access Onto: <u>Snider Dr. culdesac</u>	Distances: <u>see sketch.</u>
Only Corrugated Metal Pipe Culvert is Allowed Culvert Length: <u>28'</u> Diameter: <u>15"</u>	Left: Width: <u>24'</u> Right: Pathway or sidewalk dimension (if applicable) <u>n/a</u>
Intended Use: <input type="checkbox"/> Single Family <input type="checkbox"/> Multi-Family # of units _____ <input checked="" type="checkbox"/> Commercial - Type: <u>Marijuana Dispensary</u> Estimated "peak hours" trips per day: <u>5-6pm 10 Vehicles</u>	<u>30/perday</u>

IF ACCESS IS ONTO A PAVED ROAD, APRON LENGTH TO BE 2 FEET MINIMUM

The Permittee certifies that he/she is the owner, lessee, or authorized agent of the property, that the conditions, restrictions and regulations of the borough will be complied with and that he/she will maintain the driveway in accordance with the provisions and standards attached to this permit, and any applicable code. I hereby certify that the information submitted on this application is complete and accurate to the best of my knowledge and that I am the applicant or agent of the same as stated in the attached documentation. By signing this permit I acknowledge and agree to accept the Driveway Standards and Provisions attached to this permit.

PERMITEE: Ruthann Conn MJM Services LLC DATE: 5/3/2022
 Signature of Permittee

PERMIT GRANTED BY: Nichelle Olson DATE: 1/18/2024
 Borough Representative

CMP-7-6-3-21965

PLN - DVS - Permits - DVS - 5274B03L007A -
 Driveway - D28736 - Midway Est Unit 1

LOW VOLUME DRIVEWAY STANDARDS

High volume driveway accesses shall follow the standards in MSB 11.12.070

- A. Driveway width as measured at the property boundary, or at the outside edge of the borough right-of-way, should be a minimum of 10 feet wide and a maximum of 25 feet wide for a residential driveway. Return curves shall be a minimum of 6 feet and maximum of 20 feet. Driveways wider than 25 feet shall be designed by a professional civil engineer registered in the state of Alaska.
- B. Driveways to corner lots shall be located 60 feet from the projected point of intersection or property corner. Driveways to corner lots or lots that border two roadways shall gain access from the right-of-way of lowest classification when rights-of-way of multiple classifications bound a lot.
- C. Driveway edge clearance shall be equal to or greater than the radius of the driveway curve return. Edge clearance for flag lots with flag poles 40 feet wide or less shall have a minimum edge clearance of 5 feet.
- D. Driveways shall not drain onto the roadway. The first 10 feet from road shoulder shall be -2% (negative two percent) slope away from roadway. Where a negative slope away from the roadway is not feasible due to topographical constraints, the driveway shall be constructed in a manner that prevents water from flowing onto the roadway.
- E. Driveways shall have a minimum 10 foot landing measured from the outside edge of the road shoulder. The driveway landing shall be installed perpendicular to the roadway. A driveway may intersect the roadway at an angle no less than 60 degrees, upon approval by the Borough, if required by topographical or physical constraints.
- F. Unless otherwise specified, a minimum 12" diameter corrugated metal pipe culvert shall be used, and shall be sloped to match the ditch gradient with at least one foot of culvert visible at the toe of the side slopes on each side of the driveway.
- G. Permittee shall be responsible for maintenance of the culvert, including thawing, to ensure proper drainage.
- H. Driveways shall be installed and maintained to provide the required sight distance triangles. Driveway maintenance is the responsibility of the property owner, including culvert cleaning and thawing, and snow removal. Snow from driveway shall not be placed in or pushed across the roadway but should be stored on property where it does not obstruct traffic signage, address numbers, or sight triangles and placed in such a way as to not interfere with road maintenance.
- I. Fill or cut slopes within the right-of-way shall not exceed 2H:1V (2 horizontal:1 vertical) unless designed by a professional civil engineer registered in the state of Alaska.

DRIVEWAY PROVISIONS

- 1. A driveway constructed within the right-of-way of a public roadway is an encroachment into that right-of-way and requires a written permit. This permit shall not grant the Permittee exclusive right to use the area encroached upon. All driveways or road approaches shall be constructed to Borough Standards.
- 2. The Permittee is responsible for removal of snow berms placed in driveway during road maintenance activities. Snow removed from driveway by Permittee shall not be placed in the roadway so as to cause interference with road maintenance activities.
- 3. All driveways or road approaches constructed under this permit within any Borough lands or rights-of-way shall be the property of the Borough. All costs and liability in their connection or in connection with their maintenance shall be at the sole expense of those lands served and/or persons served.
- 4. Such facilities shall be constructed and maintained in such a manner that the highway and all its appurtenances or facilities including, but not limited to, all drainage pipe, culverts, utilities and their safety shall not be impaired or endangered in any way by the construction or maintenance of this facility.
- 5. The Permittee shall adjust, relocate or remove this facility without cost or liability to the Borough, if, at any time, or from time to time the use or safety of the roadway requires this to be done.
- 6. The Permittee shall assume all liability or costs in connection with the facilities and shall hold the Borough or its officers, agents, employees and contractors harmless in matters pertaining to the facilities.
- 7. The Borough has the right to inspect and/or reject materials or workmanship, to stop work until corrections are made or to require removal of the facility and to charge time and equipment to the Permittee to correct the facility if it is not installed to Borough Standards.
- 8. The Permittee certifies that the minimum clearance between the proposed finished driveway grade and the lowest aerial utility conductor is in accordance with the requirements of the National Electrical Safety Code (Sec. 23).
- 9. This Driveway Permit shall belong to the property it serves and the terms and conditions shall be binding upon the Permittee, owner of the property, all new owners, and/lessee. It is the Permittee's responsibility to inform the property owner, new owner, or lessee of the Driveway Permit and conditions.

Revised 12/9/2020



MATANUSKA-SUSITNA BOROUGH
350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7801
www.matsugov.us

January 22, 2024

DRIVEWAY PERMIT

PERMIT # 28736

Tax ID # 5274B03L007A

The Matanuska-Susitna Borough has performed the Final Inspection of the existing driveway. The driveway has been adequately constructed to Borough standards and to the conditions outlined by the initial driveway inspector. **Your Approved Driveway Permit Number is listed above.**

Please keep this letter.

Any changes in land use or modifications of the driveway may require additional permitting. **It is the property owner's responsibility to keep the culvert ends clear of rocks and debris.** If you have any questions or concerns about your driveway or this permit, you may contact the Permit Center at 907-861-7822.

Sincerely,

Michelle Olsen, CFM
Right-of-Way Coordinator

Michelle Olsen

From: Ruthann Conn <ruthann@mjmpaving.com>
Sent: Tuesday, August 23, 2022 2:59 PM
To: Michelle Olsen
Subject: Fwd: Fwd: Fwd: D28736 - Senco Building - High Volume Driveway

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Michelle,

This is the calculations I received from the engineer for calculating the number of vehicles during the peak hours.

Let me know if you need anything further.

Thanks,

Ruthann
MJM Services LLC
907-376-5222

----- Forwarded message -----

From: **Sam Nuqul** <sdn@hlsalaska.com>
Date: Mon, Aug 22, 2022 at 10:15 AM
Subject: Re: Fwd: Fwd: D28736 - Senco Building - High Volume Driveway
To: Ruthann Conn <ruthann@mjmpaving.com>

Hello,

I have calculated the trips per peak hour using the I.T.E. common trip generation rate manual. For a marijuana dispensary the rate is 21.83 trips per 1,000 square feet ground floor area. The building area is approximately 2,270 sq. ft. So if you take $2270 \times 21.83 / 1000$ your final answer is 49.55

Sam NuquL
Hanson Land Solutions
305 E. Fireweed Ave.
Palmer, AK 99645
(907) 746-7738 ext. 6

On 8/22/2022 9:03 AM, Craig Hanson wrote:

Ruthann Conn <ruthann@mjmpaving.com>

Craig,

This is from Michelle at the Borough permitting office. Do you know the answer to her question?

I appreciate any help you can provide.

Thank you,

Ruthann
MJM Services LLC
907-376-5222

----- Forwarded message -----

From: **Michelle Olsen** <Michelle.Olsen@matsugov.us>
Date: Mon, Aug 22, 2022 at 6:53 AM
Subject: RE: D28736 - Senco Building - High Volume Driveway
To: Ruthann Conn <ruthann@mjmpaving.com>

Hi Ruthann,

I also need to know the trips per peak hour for this dispensary. The application lists 5-6 pm as the peak hour, but how many trips will there be in that peak hour?

Respectfully,

Michelle Olsen, CFM

Permit Technician

Matanuska-Susitna Borough

907-861-7822

From: Ruthann Conn <ruthann@mjmpaving.com>
Sent: Sunday, August 21, 2022 10:03 AM
To: Michelle Olsen <Michelle.Olsen@matsugov.us>
Subject: Re: D28736 - Senco Building - High Volume Driveway

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Michelle,

Attached is the drawing from Hanson Land Solutions for the high-volume driveway entrance.

Please let me know if you need anything further and when this is approved so we can proceed.

Thank you,

Ruthann

MJM Services LLC

907-376-5222

On Wed, Jun 8, 2022 at 5:11 PM Ruthann Conn <ruthann@mjmpaving.com> wrote:

Michelle,

Attached is the paperwork with the revised drawing to reflect the necessary changes for the high-volume driveway.

Please let me know if you need anything further.

Thanks,

Ruthann

MJM Services LLC

907-376-5222

On Tue, Jun 7, 2022 at 10:46 AM Michelle Olsen <Michelle.Olsen@matsugov.us> wrote:

Hi Ruthann

Here is the checklist for high volume driveway applications. Please submit the necessary documentation so we can get this driveway approved.

Thanks,

Respectfully,

Michelle Olsen, CFM

Permit Technician

Matanuska-Susitna Borough

907-861-7822

Pharmacy/Drugstore with Drive-Through Window (881)

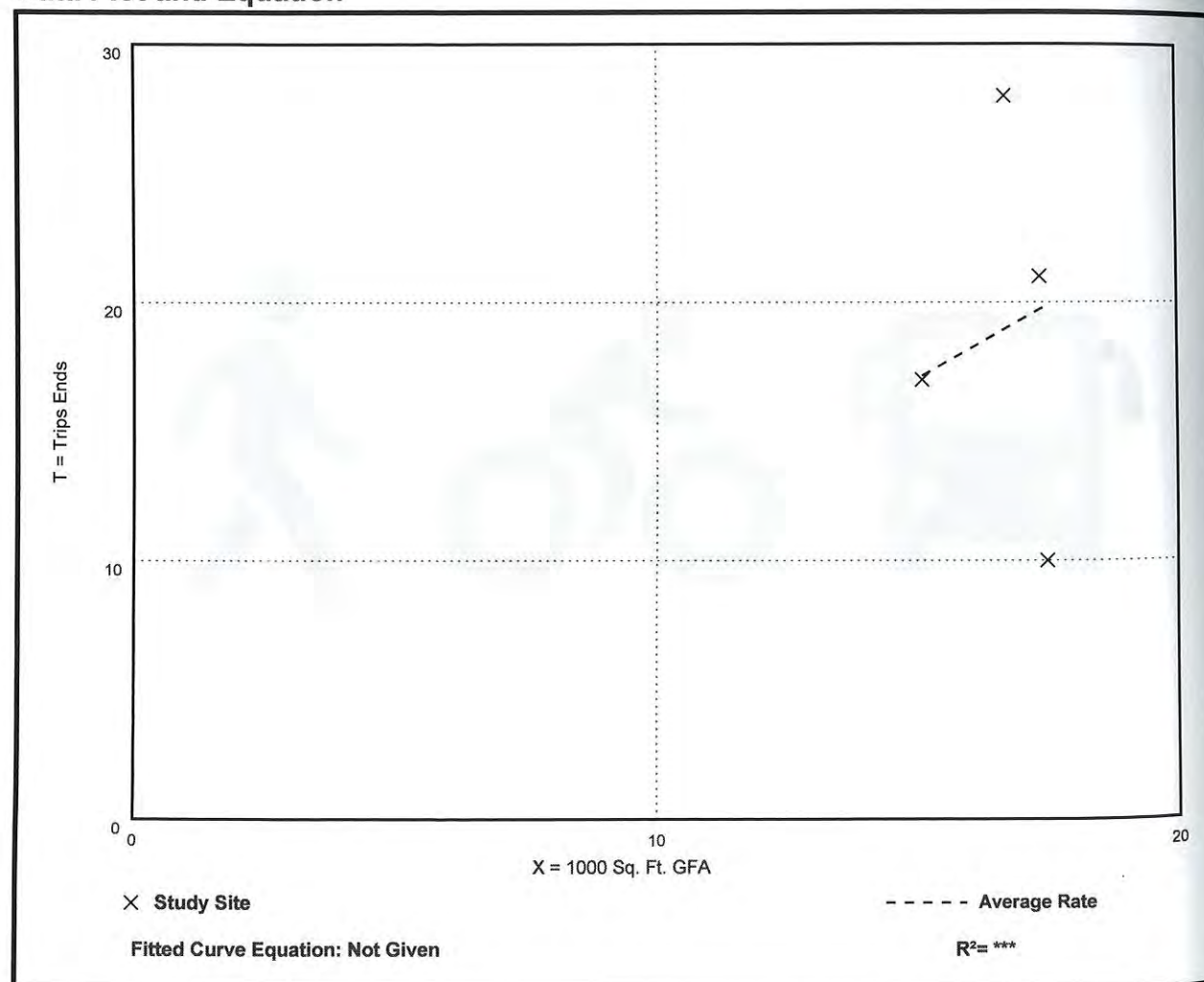
Walk+Bike+Transit Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 4
Avg. 1000 Sq. Ft. GFA: 17
Directional Distribution: 54% entering, 46% exiting

Walk+Bike+Transit Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.14	0.57 - 1.68	0.46

Data Plot and Equation



Land Use: 882 Marijuana Dispensary

Description

A marijuana dispensary is a stand-alone facility where cannabis is sold to patients or retail consumers in a legal manner. Marijuana cultivation and processing facility (Land Use 190) is a related land use.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 2010s in California, Colorado, Massachusetts, and Oregon.

Source Numbers

867, 893, 919, 1041, 1059

Marijuana Dispensary (882)

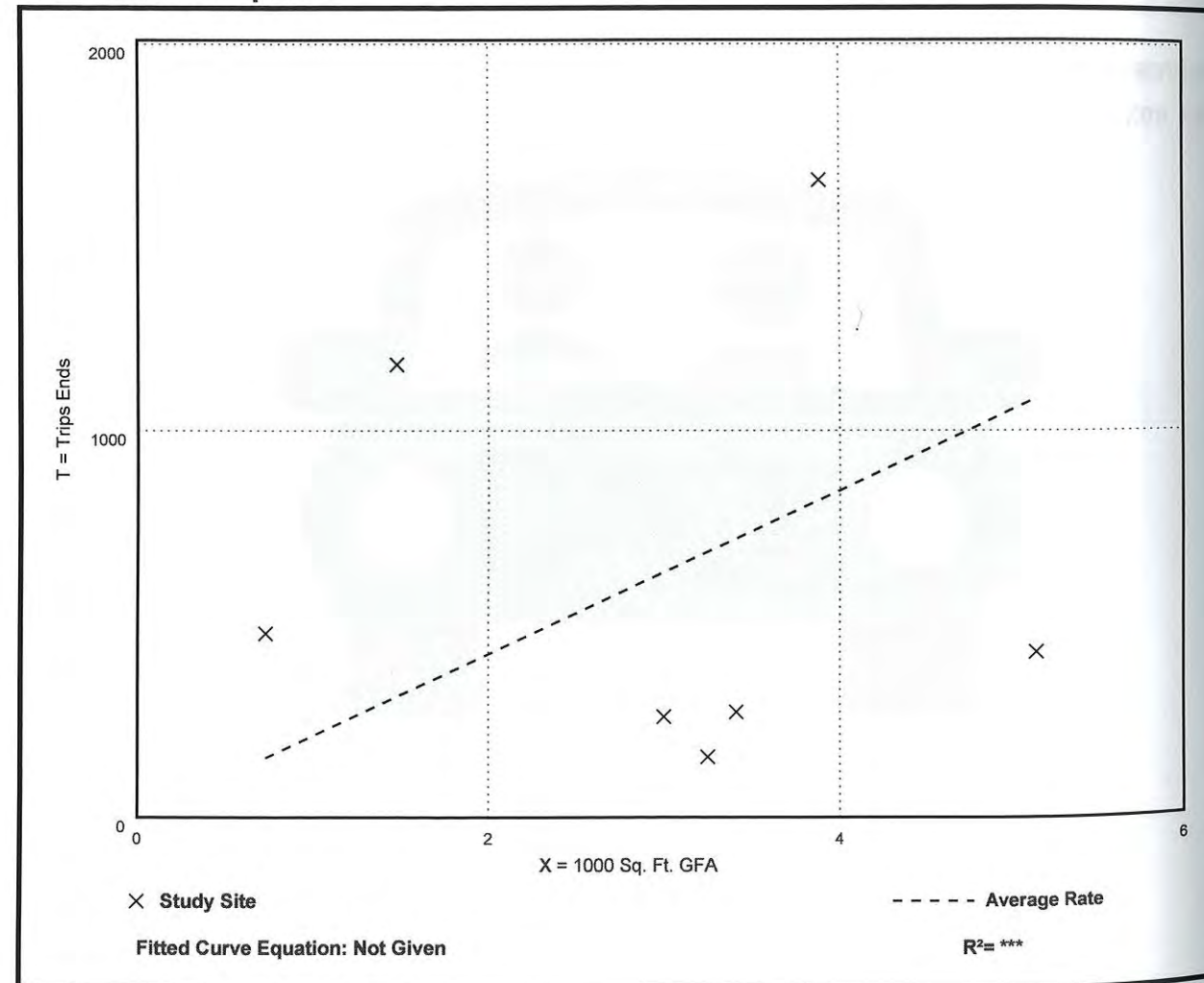
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 7
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
211.12	48.00 - 791.22	246.90

Data Plot and Equation



Marijuana Dispensary (882)

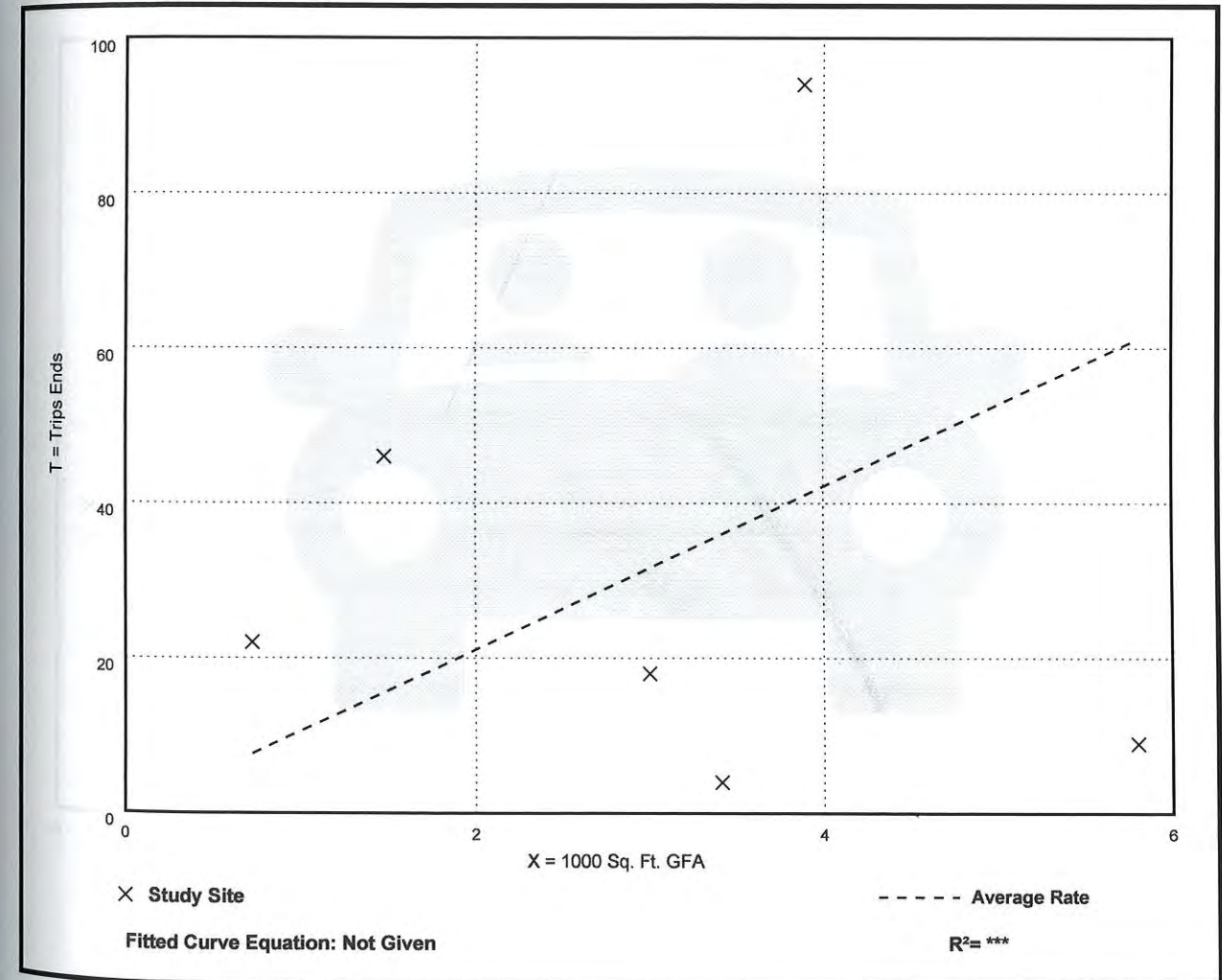
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban
Number of Studies: 6
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
10.54	1.17 - 31.08	12.69

Data Plot and Equation



Marijuana Dispensary (882)

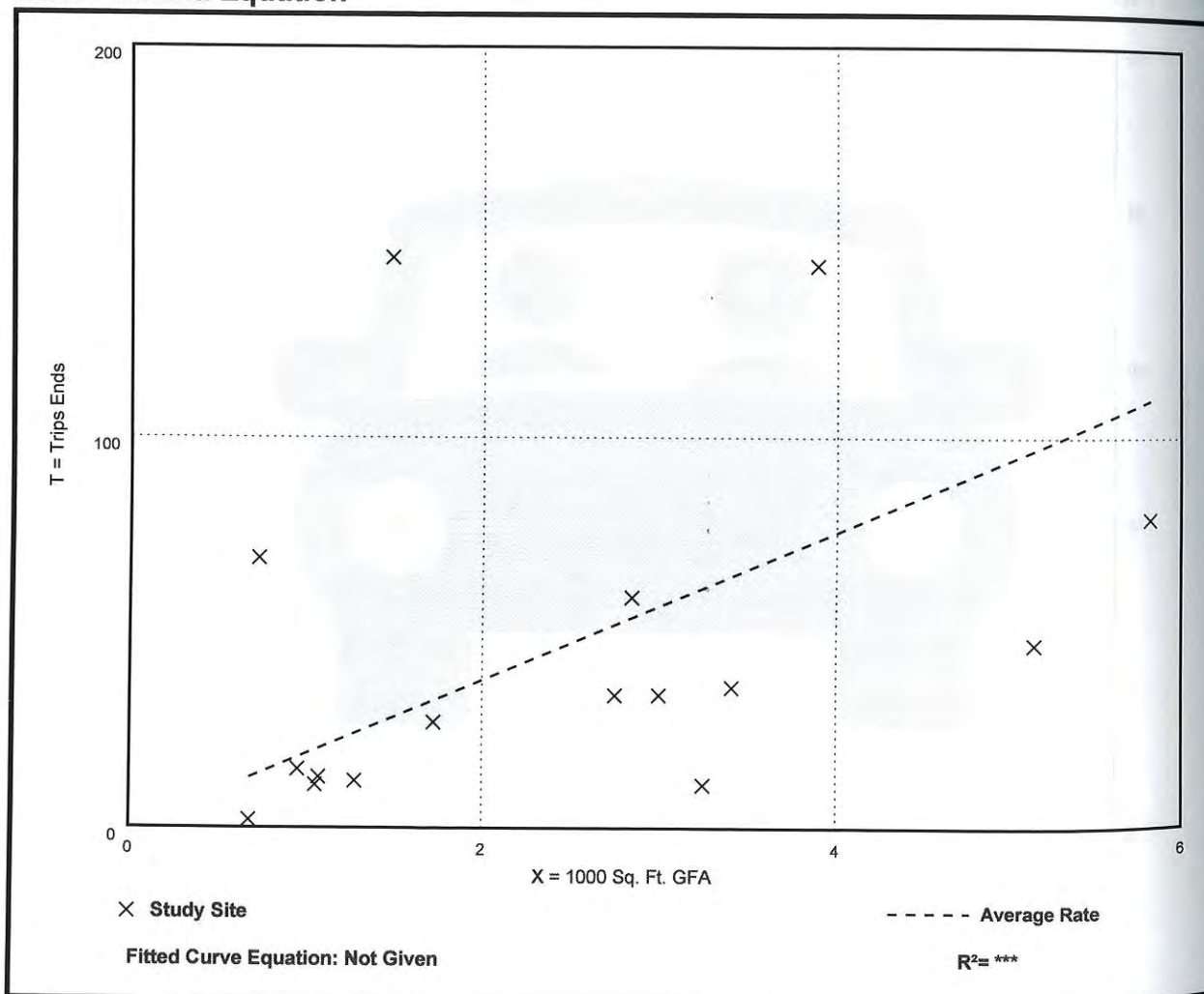
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban
Number of Studies: 16
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
18.92	2.94 - 98.65	21.73

Data Plot and Equation



Marijuana Dispensary (882)

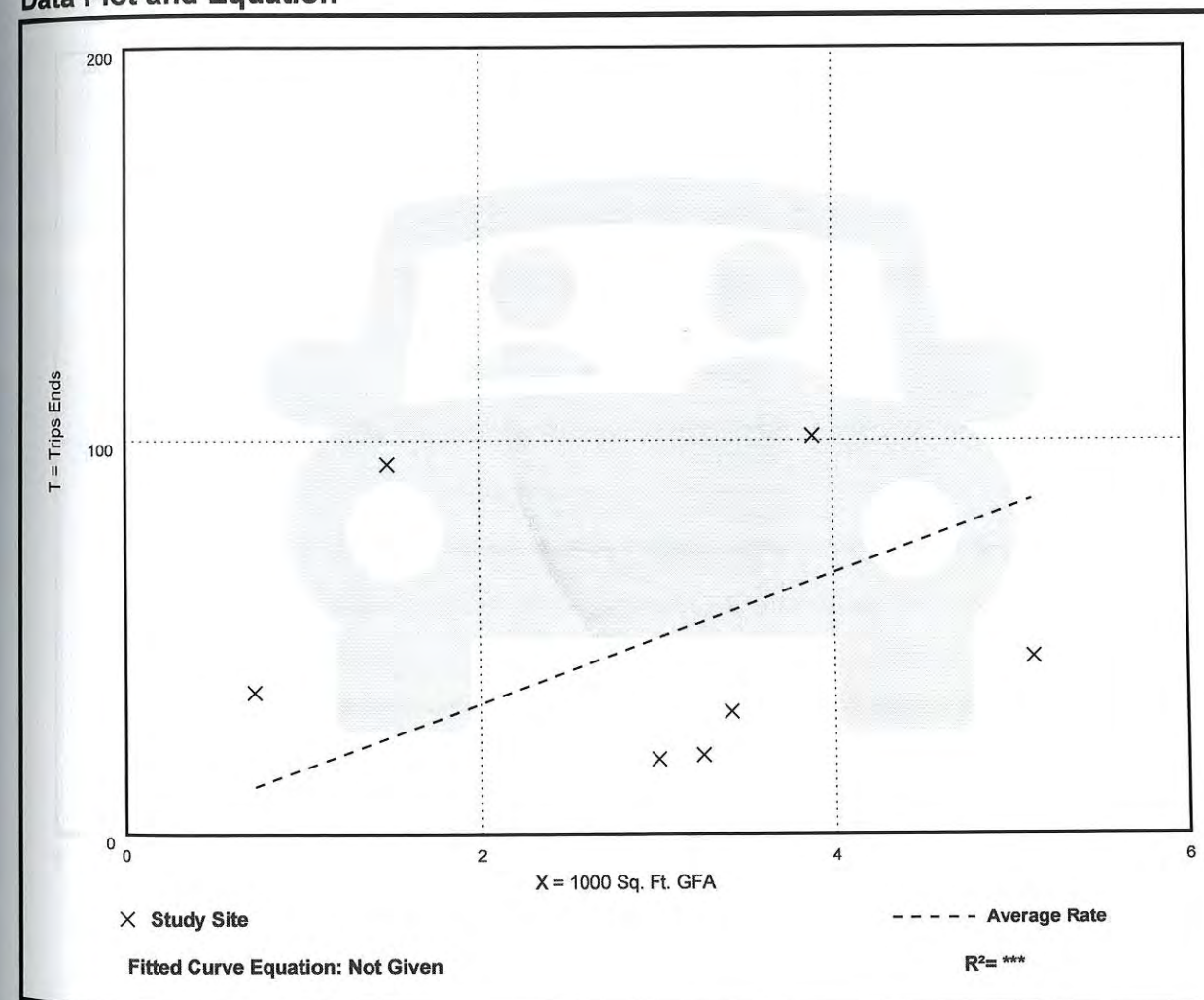
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 7
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 54% entering, 46% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
16.57	6.15 - 63.51	17.63

Data Plot and Equation



Marijuana Dispensary (882)

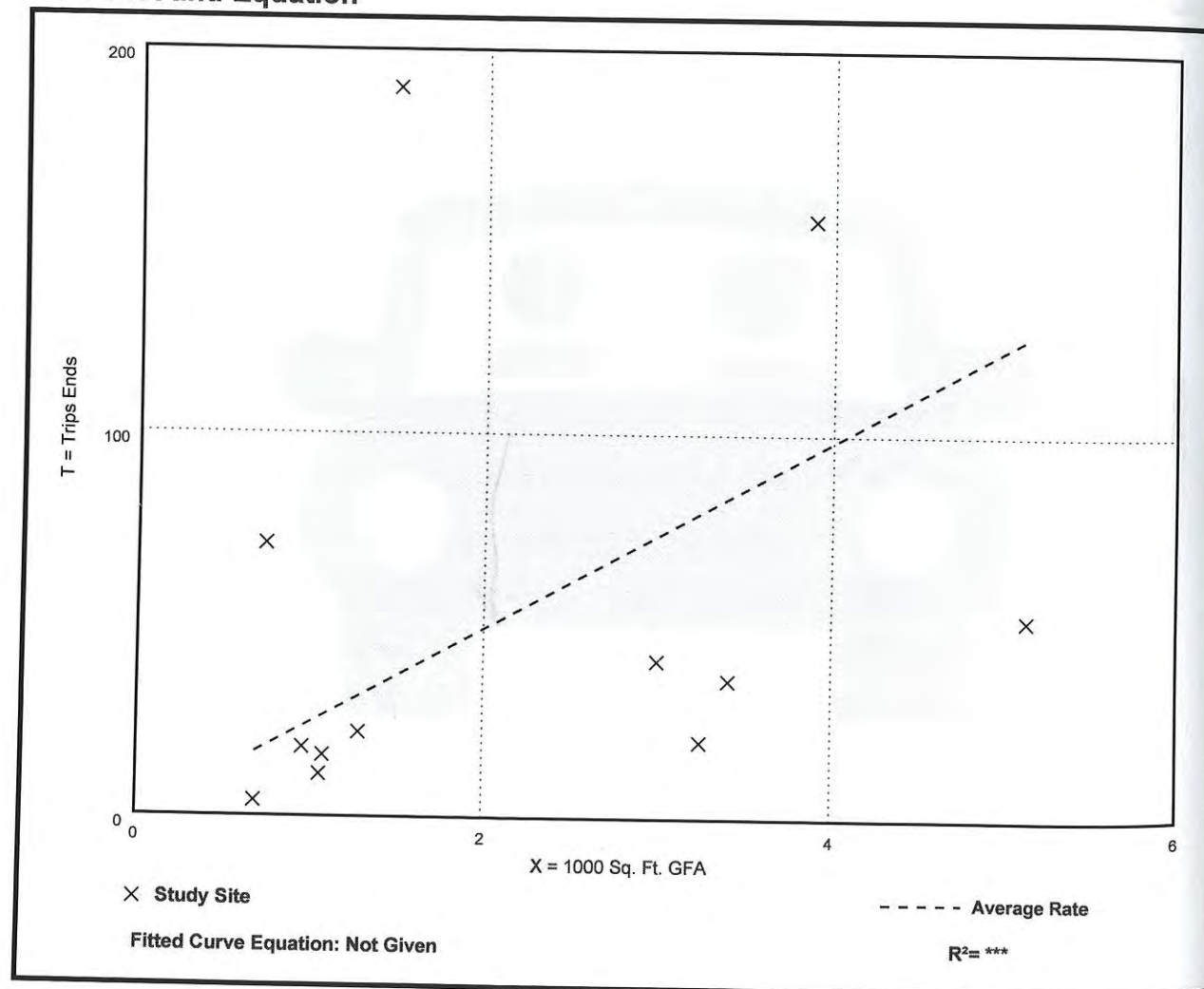
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 12
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: 49% entering, 51% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
24.57	5.88 - 128.38	32.18

Data Plot and Equation



Marijuana Dispensary (882)

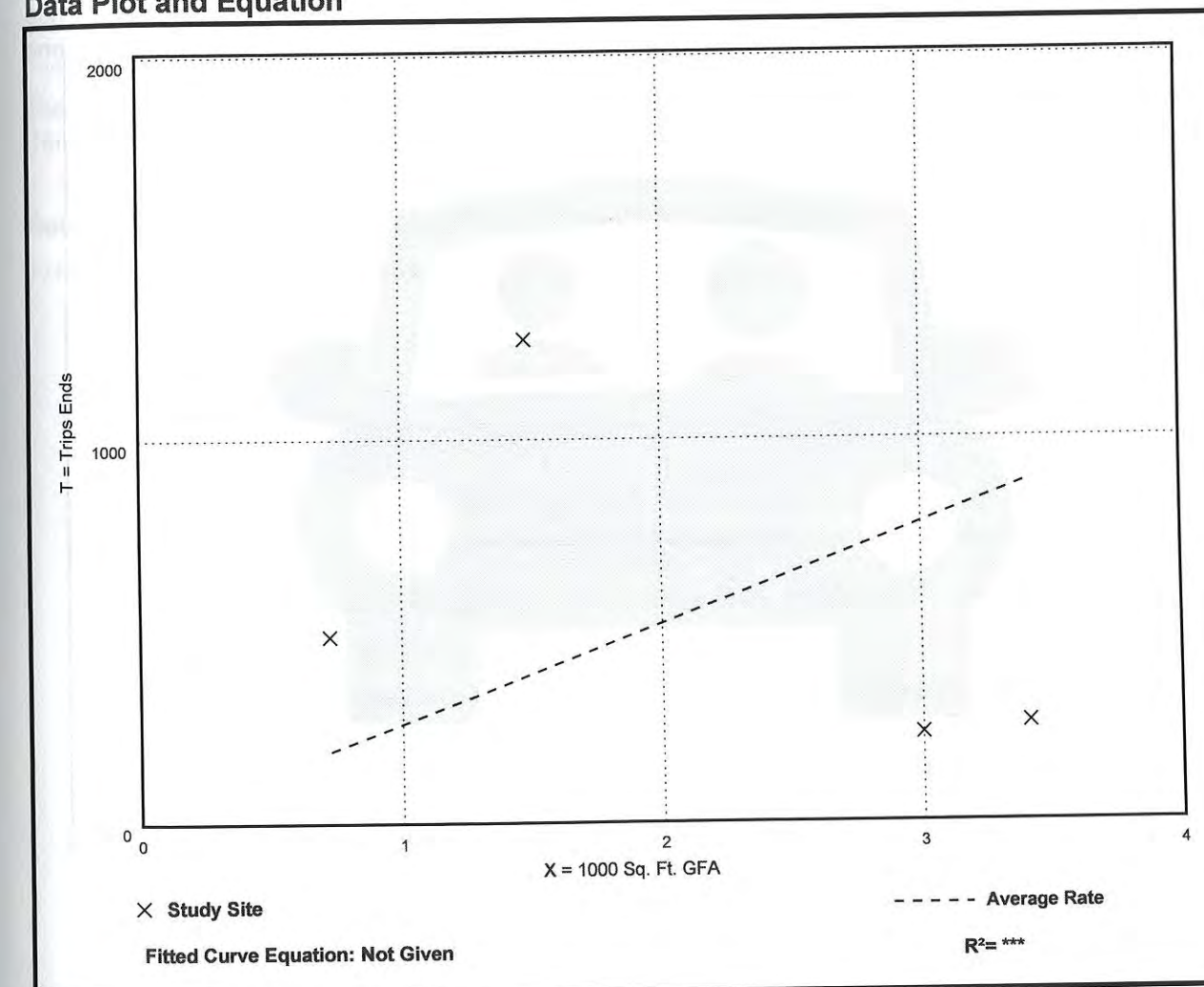
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday

Setting/Location: General Urban/Suburban
Number of Studies: 4
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
259.31	75.34 - 852.03	364.24

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 5

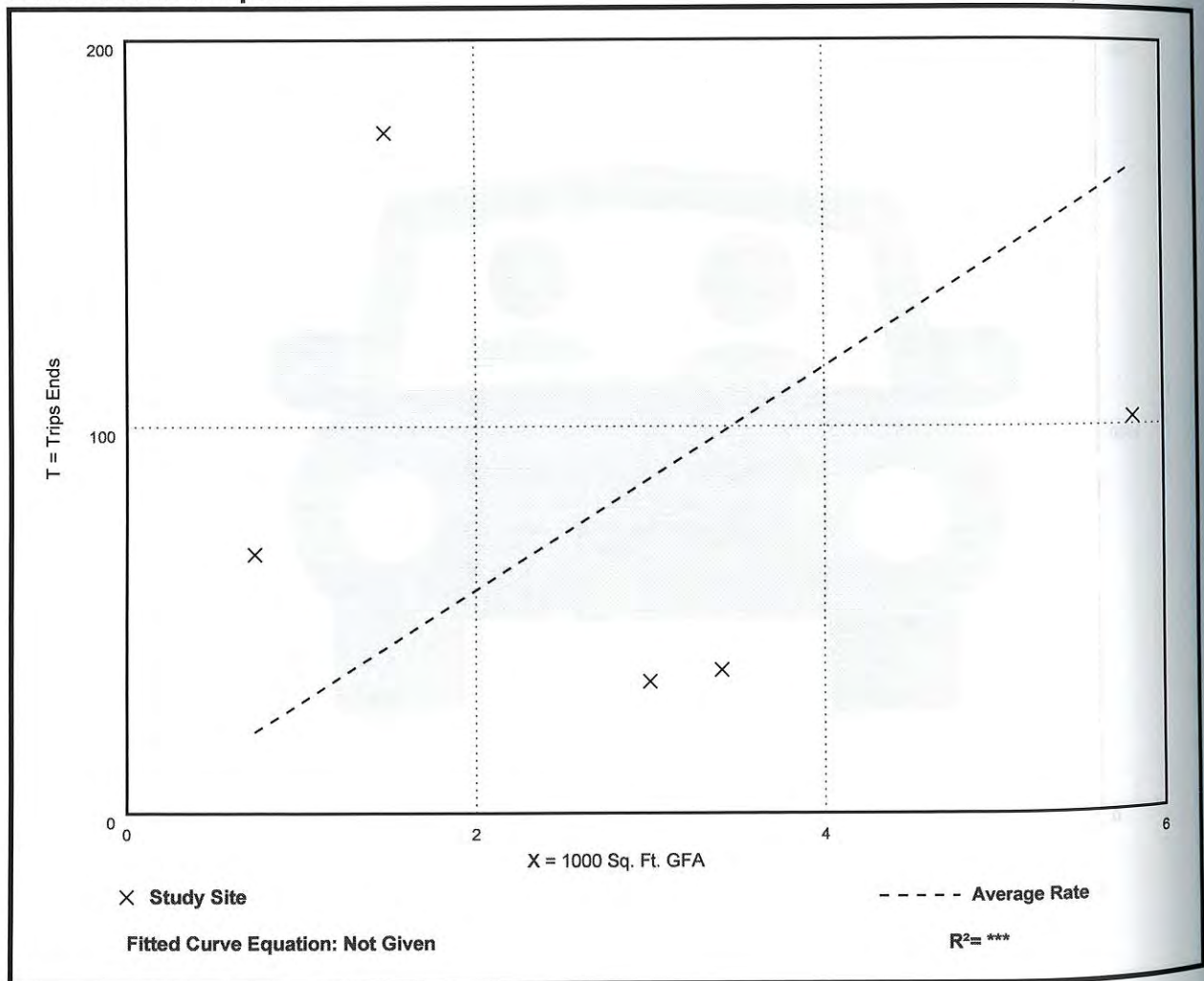
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
28.85	10.85 - 118.92	39.14

Data Plot and Equation



Department of Commerce, Community, and Economic Development
ALCOHOL & MARIJUANA CONTROL OFFICE

[State of Alaska](#) / [Commerce](#) / [Marijuana](#) / [License Search](#) / License #32848

LICENSE NUMBER 32848

[Return to Search Results](#)

License Number: 32848

License Status: Delegated

License Type: Retail Marijuana Store

Doing Business As: Shoreline Cannabis

Business License Number: 2154335

Issue Date:

Effective Date:

Expiration Date:

Email Address: justin.benson121@yahoo.com

Physical Address: 4200 E Snider Rd.
Wasilla, AK 99654
UNITED STATES

Licensees: Lake Landing Investments, LLC [10134482](#)

Entity Officials: Athena Rotzler
Justin Benson

Affiliates: Justin Benson
Athena Rotzler

Onsite Consumption Endorsement

Status:

Approval Date:

Issue Date:

Effective Date:



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

**Department of Commerce, Community,
and Economic Development**

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West Seventh Avenue, Suite 1600
Anchorage, AK 99501
Main: 907.269.0350

June 13, 2023

Lake Landing Investments, LLC
DBA: Shoreline Cannabis
Via: justin.benson121@yahoo.com

Re: Shoreline Cannabis #32848

Dear Lake Landing Investments, LLC:

At the June 1 - 2, 2023 meeting of the Marijuana Control Board in Anchorage, Alaska, the board voted to approve your new marijuana retail store application with delegation to the director. Delegation means that the board has authorized me to issue the license once all outstanding approvals are received.

Attached are post-approval instructions and the pre-inspection checklist, which provide information on your next steps. Please note that the pre-inspection checklist is informational. You will be provided with an individualized checklist at the appropriate time.

Please contact marijuana.licensing@alaska.gov with any questions.

Sincerely,

A handwritten signature in blue ink that reads "Carrie Craig".

Carrie Craig
Records and Licensing Supervisor

For
Joan Wilson, Director

cc: License File
Matanuska – Susitna Borough

From: [License Reviews](#)
To: amco.localgovernmentonly@alaska.gov
Cc: justin.benson121@yahoo.com
Subject: Lake Landing Investments LLC #32848 - Protest
Date: Thursday, June 8, 2023 9:57:00 AM
Attachments: [Lake Landing Investments LLC - License 32848 - Protest Letter.pdf](#)
[Persons to be Heard Form.pdf](#)

Good Morning,

A review of the files relating to the subject business and license application, as they relate to Matanuska- Susitna Borough Code, has been completed. Based on that review, the Matanuska-Susitna Borough hereby takes the following action:

PROTEST the issuance of the license for the following reason(s): No MSB Retail Marijuana Conditional Use Permit Issued, No MSB Business License, Unpaid \$100.00 MSB Review Fee.

Respectfully,

Rick Benedict – Planner II
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct



THE STATE
of ALASKA
GOVERNOR MIKE DUNLEAVY

Department of Commerce, Community, and Economic Development

Alcohol and Marijuana Control Office

550 West 7th Avenue, Suite 1600
Anchorage, AK 99501
Main: 907.269.0350

May 4, 2023

Matanuska-Sustina Borough
Attn: Alex Strawn, Permit Center
VIA Email: alex.strawn@matsugov.us ; license.reviews@matsugov.us

License Number:	32848
License Type:	Retail Marijuana Store
Licensee:	Lake Landing Investments, LLC
Doing Business As:	Shoreline Cannabis
Physical Address:	4200 E Snider Rd. Wasilla, AK 99654
Designated Licensee:	Justin Benson
Phone Number:	907-280-7098
Email Address:	Justin.benson121@yahoo.com

New Application **New Onsite Consumption Endorsement Application (Retail Only)**

AMCO has received a complete application for a marijuana establishment within your jurisdiction. This notice is required under 3 AAC 306.025(d)(2). Application documents will be sent to you separately via ZendTo.

To protest the approval of this application pursuant to 3 AAC 306.060, you must furnish the director **and** the applicant with a clear and concise written statement of reasons for the protest within 60 days of the date of this notice, and provide AMCO proof of service of the protest upon the applicant. If the protest is a “conditional protest” as defined in 3 AAC 306.060(d)(2) and the application otherwise meets all the criteria set forth by the regulations, the Marijuana Control Board may approve the license, but require the applicant to show to the board’s satisfaction that the requirements of the local government have been met before the director issues the license.

3 AAC 306.010, 3 AAC 306.080, and 3 AAC 306.250 provide that the board will deny an application for a new license if the board finds that the license is prohibited under AS 17.38 as a result of an ordinance or election conducted under AS 17.38 and 3 AAC 306.200, or when a local government protests an application on the grounds that the proposed licensed premises are located in a place within the local government where a local zoning ordinance prohibits the marijuana establishment, unless the local government has approved a variance from the local ordinance.

This application will be in front of the Marijuana Control Board at our June 1-2, 2023, meeting.

Sincerely,

Joan Wilson, Director
amco.localgovernmentonly@alaska.gov



Application for Food Establishment Permit

Alaska Department of Environmental Conservation
Division of Environmental Health
Food Safety and Sanitation Program



Permit ID:

Section 1 - GENERAL INFORMATION (All applicants complete entire section - please print).

Purpose (check one) New Information Change Extensive Remodel Change of owner/operator Reactivate

Owner/Business Information	Name of Entity or Owner Responsible for Food Service Lake Landing Investments, LLC dba Shoreline Cannabis		AK Business License # 2154335	
	Business/Corporate Mailing Address PO Box 141463		City Anchorage	State AK
			Zip 99514	
	Business/Corporate Phone 907-575-8521		Email justin.benson121@yahoo.com	
	Owner(s) or Corporate Officer(s) & Title(s) or Responsible Party Justin Benson and Athena Rotzler - members/managers/licensees		Fax	
Type of Entity <input type="checkbox"/> Individual <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Other:				
Establishment Information	Establishment Name Shoreline Cannabis		Physical Location	
	Establishment Mailing Address PO Box 141463		City Anchorage	Nearest Community
	Establishment Phone 907-575-8521		State AK	Zip 99514
	Establishment Physical Address 4200 E Snider Rd.		Fax	Contact Person

SEATING: (Food Service Only) N/A 25 or less 26-100 > 101

TYPE OF OPERATION Please describe the type of facility you plan to open below (i.e. restaurant, bar, grocery store, etc.)

"CONVENIENCE STORE" style
Retail Marijuana Store with no on-site consumption, selling commercially prepackaged marijuana and food products.

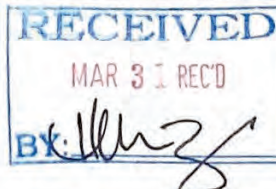
SECTION 2 - NEW OR EXTENSIVELY REMODELED FACILITIES

a. A plan review will be required if your facility has never been permitted by the Alaska's Food Safety and Sanitation Program; has not had an active permit in the last five years; will be extensively remodeled; or is a new construction. If any of these apply, a Plan Review Application is required to process your application. Have you attached the [Plan Review Application](#)? Yes No

SECTION 3 - COMPLETE FOR ALL FOOD ESTABLISHMENTS (Check all that apply)

FOOD SERVICE ESTABLISHMENTS

- a. A copy of your menu will be required. Have you attached a copy of the proposed menu? Yes No
- b. Attach appropriate label, placard, or menu notation for the [consumer advisories](#) if you serve:
 - Wild Mushrooms Unpasteurized juices Farmed halibut, salmon, or sablefish
 - Raw/undercooked animal foods such as beef, shell eggs, lamb, pork, poultry, seafood, and shellfish.
- c. Methods of food preparation (check the one that most closely describes the establishment):
 - Assembly of Ready to Eat Foods Cook and Serve
 - Hot or cold Service for 2 hours or more is done Commercially Prepackaged Marijuana Infused Edibles
 - Complex (Preparation 1 day or more in advance, cooling and reheating is done).
- d. Style of Service: Counter Service Self Service (i.e. buffet line, salad bar) Table Service
 Other:
- e. Do you plan to operate as a [caterer](#)? Yes No
If yes, list all the equipment used to protect food from contamination and maintain product temperature during:
Transportation: _____ Hot or Cold Holding: _____





Plan Review Application
Alaska Department of Environmental Conservation
Division of Environmental Health
Food Safety and Sanitation Program



Permit ID: _____

Section A- General Information (All applicants complete entire section – please print).

Purpose (check one) New Construction Remodel of Existing Structure Reactivation

General Information	Establishment Name: <u>Shoreline Cannabis</u>		Date
	Plan Review Contact Name <u>Justin Benson</u>		
	Phone Number <u>907-575-8521</u>	Email <u>justin.benson121@yahoo.com</u>	
	Address <u>4200 E Snider Rd. Wasilla, AK 99654</u>		
	Operating Days/Hours <u>7 days/wk 8am-12am</u>	Proposed Opening Date <u>7/1/2023</u>	

If you are proposing to build a new food establishment or extensive remodeling of an existing food establishment in Alaska (except in the Municipality of Anchorage), you must submit a **completed Plan Review Packet 30 days prior to construction**. Additional information regarding calculations and drawings can be found in the Plan Review Guide.

Please Note: Failure to provide all the required information may delay the plan review process and permit issuance.

REQUIRED DOCUMENTATION LIST (Include the following in your packet)

- Food Establishment Application Floor Plan
- Fees (Plan Review Fee is Non-Refundable) Plumbing Schematic
- Plot Plan Complete list of equipment (including manufacturer's specifications)

SECTION B – REQUIRED DOCUMENTATION

a. **Potable Water Supply.** Have plans been submitted to the [Drinking Water Program](#) as required by 18 AAC 80?
 Yes* No N/A (Municipal Water Supply) **Specify in comments.**
 Comments:

***Attach a confirmation email or letter from the Drinking Water Program stating that the system has been approved.**

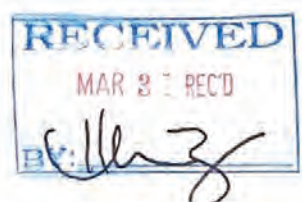
b. **Wastewater Disposal System.** Have plans been submitted to the [Wastewater Program](#) as specified by 18 AAC 72?
 Yes* No N/A (Municipal System) **Specify in comments.**
 Comments:

***Attach a confirmation email or letter from the Wastewater Program stating that the system has been approved.**
 If you have a septic system, please provide the legal description of your property (Lot, Block, etc.)

c. **Solid Waste Disposal.** Please describe how you plan to dispose of your solid waste:
 Please see attached operating plan. Solid waste will be disposed of via landfill. Marijuana waste will be tracked, rendered fully unusable, and disposed of in accordance with AMCO policy and our attached operating plan.

d. **Plot Plan.** Have you included a detailed to scale drawing of the plot plan including: Yes No

- All buildings Outside walk-in cooler(s)/freezer(s) Access for deliveries Oil/Fuel tanks
- Refuse storage site Outside storage areas Sewage disposal system
- Potable water supply Identify nearby roads, other landmarks, and/or give GPS coordinates





THE STATE
of
ALASKA

Department of Commerce, Community, and Economic Development
 Division of Corporations, Business, and Professional Licensing
 PO Box 110806, Juneau, AK 99811-0806
 (907) 465-2550 • Email: corporations@alaska.gov
 Website: corporations.alaska.gov

FOR DIVISION USE ONLY

Web-6/5/2020 12:19:58 PM

Articles of Organization

Domestic Limited Liability Company

1 - Entity Name

Legal Name: Lake Landing Investments, LLC

2 - Purpose

Any Lawful Purpose

3 - NAICS Code

111998 - ALL OTHER MISCELLANEOUS CROP FARMING

4 - Registered Agent

Name: Lance Wells

Mailing Address: 733 West 4th Ave , Suite 308, Anchorage, AK 99501

Physical Address: 733 West 4th Ave , Suite 308, Anchorage, AK 99501

5 - Entity Addresses

Mailing Address: PO BOX 141463, Anchorage, AK 99514

Physical Address: 1540 N. Shoreline Drive, Wasilla, AK 99654

6 - Management

The limited liability company is managed by a manager.

7 - Officials

Name	Address	% Owned	Titles
Jessika Smith			Organizer

Name of person completing this online application

This form is for use by the named entity only. Only persons who are authorized by the above Official(s) of the named entity may make changes to it. If you proceed to make changes to this form or any information on it, you will be certifying under penalty of perjury that you are authorized to make those changes, and that everything on the form is true and correct. In addition, persons who file documents with the commissioner that are known to the person to be false in material respects are guilty of a class A misdemeanor. Continuation means you have read this and understand it.

Name: Jessika Smith



THE STATE
 of ALASKA

Department of Commerce, Community, and Economic Development
 Division of Corporations, Business, and Professional Licensing
 PO Box 110806, Juneau, AK 99811-0806
 (907) 465-2550 • Email: corporations@alaska.gov
 Website: corporations.alaska.gov

FOR DIVISION USE ONLY

Web-3/14/2022 1:03:16 PM

Domestic Limited Liability Company

2022 Biennial Report
 For the period ending December 31, 2021

Due Date: This report along with its fees are due by January 2, 2022

Fees: If postmarked before February 2, 2022, the fee is \$100.00.
 If postmarked on or after February 2, 2022 then this report is delinquent and the fee is \$137.50.

Entity Name: Lake Landing Investments, LLC
Entity Number: 10134482
Home Country: UNITED STATES
Home State/Prov.: ALASKA
Physical Address: 733 w 4th Ave Ste 308, Anchorage, AK.
 99501, anchorage, AK 99501
Mailing Address: PO BOX 141463, ANCHORAGE, AK 99514

Registered Agent information cannot be changed on this form. Per Alaska Statutes, to update or change the Registered Agent information this entity must submit the Statement of Change form for this entity type along with its filing fee.

Name: Lance Wells
Physical Address: 733 WEST 4TH AVE , SUITE 308,
 ANCHORAGE, AK 99501
Mailing Address: 733 WEST 4TH AVE , SUITE 308,
 ANCHORAGE, AK 99501

Officials: The following is a complete list of officials who will be on record as a result of this filing.

- **Provide all officials and required information. Use only the titles provided.**
- **Mandatory Members:** this entity must have at least one (1) Member. A Member must own a %. In addition, this entity must provide all Members who own 5% or more of the entity. A Member may be an individual or another entity.
- **Manager:** If the entity is manager managed (per its articles or amendment) then there must be at least (1) Manager provided. A Manager may be a Member if the Manager also owns a % of the entity.

Full Legal Name	Complete Mailing Address	% Owned	Manager	Member
Justin Benson	PO BOX 141463, ANCHORAGE, AK 99514	60.00	X	X
Athena Rotzler	2440 E. TUDOR RD #913, ANCHORAGE, AK 99507	40.00	X	X

If necessary, attach a list of additional officers on a separate 8.5 X 11 sheet of paper.

Purpose: Any Lawful Purpose

NAICS Code: 111998 - ALL OTHER MISCELLANEOUS CROP FARMING

New NAICS Code (optional):

This form is for use by the named entity only. Only persons who are authorized by the above Official(s) of the named entity may make changes to it. If you proceed to make changes to this form or any information on it, you will be certifying under penalty of perjury that you

are authorized to make those changes, and that everything on the form is true and correct. In addition, persons who file documents with the commissioner that are known to the person to be false in material respects are guilty of a class A misdemeanor. Continuation means you have read this and understand it.

Name: Lance C. Wells, Atty.

Alaska Business License # 2154335

Alaska Department of Commerce, Community, and Economic Development

Division of Corporations, Business, and Professional Licensing
PO Box 110806, Juneau, AK 99811-0806

This is to certify that

Shoreline Cannabis

PO Box 141463, Anchorage, AK 99514

owned by

Lake Landing Investments, LLC

is licensed by the department to conduct business for the period

April 12, 2022 to December 31, 2023
for the following line(s) of business:

42 - Trade



This license shall not be taken as permission to do business in the state without having complied with the other requirements of the laws of the State or of the United States.

This license must be posted in a conspicuous place at the business location.
It is not transferable or assignable.

Julie Sande
Commissioner

Received by AMCO 7.23.22

Shoreline Cannabis
PO Box 141463
Anchorage, AK 99514

Received by AMCO 7.23.22

Alcohol and Marijuana Control Office
550 W 7th Avenue, Suite 1600
Anchorage, AK 99501

marijuana.licensing@alaska.gov
<https://www.commerce.alaska.gov/web/amco>

Phone: 907.269.0350



Alaska Marijuana Control Board

Form MJ-00: Application Certifications

What is this form?

This application certifications form is required for all marijuana establishment license applications. Each person signing an application for a marijuana establishment license must declare that he/she has read and is familiar with AS 17.38 and 3 AAC 306.

This form must be completed and submitted to AMCO’s main office by each proposed licensee (as defined in 3 AAC 306.020(b)(2)) before any license application will be considered complete.

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	License Number:	32848		
License Type:	RETAIL MARIJUANA STORE				
Doing Business As:	Shoreline Cannabis				
Premises Address:	4200 E Snider Rd.				
City:	WASILLA	State:	AK	ZIP:	99654

Section 2 – Individual Information

Enter information for the individual licensee.

Name:	Justin Benson
Title:	member/manager

Section 3 – Other Licenses

Ownership and financial interest in other licenses: Yes No

Do you currently have or plan to have an ownership interest in, or a direct or indirect financial interest in another marijuana establishment license?

If “Yes”, which license numbers (for existing licenses) and license types do you own or plan to own?

LIC#25707- The Hangar - Limited Marijuana Cultivation Facility



Alaska Marijuana Control Board

Form MJ-00: Application Certifications

Section 4 – Certifications

Read each line below, and then sign your initials in the box to the right of each statement:

Initials

I certify that I have not been convicted of a felony in any state or the United States, including a suspended imposition of sentence, for which less than five years have elapsed from the time of the conviction to the date of this application.

JB

I certify that I am not currently on felony probation or felony parole.

JB

I certify that I have not been found guilty of selling alcohol without a license in violation of AS 04.11.010.

JB

I certify that I have not been found guilty of selling alcohol to an individual under 21 years of age in violation of 04.16.051 or AS 04.16.052.

JB

I certify that I have not been convicted of a misdemeanor crime involving a controlled substance, violence against a person, use of a weapon, or dishonesty within the five years preceding this application.

JB

I certify that I have not been convicted of a class A misdemeanor relating to selling, furnishing, or distributing marijuana or operating an establishment where marijuana is consumed within the two years preceding this application.

JB

I certify that my proposed premises is not within 500 feet of a school ground, recreation or youth center, a building in which religious services are regularly conducted, or a correctional facility, as set forth in 3 AAC 306.010(a).

JB

I certify that my proposed premises is not located in a liquor licensed premises.

JB

I certify that I meet the residency requirement under AS 43.23 for a permanent fund dividend in the calendar year in which I am initiating this application.

JB

I certify that all proposed licensees (as defined in 3 AAC 306.020(b)(2)) have been listed on my online marijuana establishment license application. Additionally, if applicable, all proposed licensees have been listed on my application with the Division of Corporations.

JB

I certify that I understand that providing a false statement on this form, the online application, or any other form provided by AMCO is grounds for denial of my application.

JB

Alcohol and Marijuana Control Office
550 W 7th Avenue, Suite 1600
Anchorage, AK 99501

marijuana.licensing@alaska.gov

<https://www.commerce.alaska.gov/web/amco>

Phone: 907.269.0350



Alaska Marijuana Control Board

Form MJ-00: Application Certifications

Read each line below, and then sign your initials in the box to the right of each statement:

Initials

I certify and understand that I must operate in compliance with the Alaska Department of Labor and Workforce Development's laws and requirements pertaining to employees.

JB

I certify and understand that I must operate in compliance with each applicable public health, fire, safety, and tax code and ordinance of this state and the local government in which my premises is located.

JB

Read each line below, and then sign your initials in the box to the right of only the applicable statement:

Initials

Only initial next to the following statement if this form is accompanying an application for a marijuana testing facility license:

I certify that I do not have an ownership in, or a direct or indirect financial interest in a retail marijuana store, a marijuana cultivation facility, or a marijuana products manufacturing facility.

Only initial next to the following statement if this form is accompanying an application for a retail marijuana store, a marijuana cultivation facility, or a marijuana products manufacturing facility license:

I certify that I do not have an ownership in, or a direct or indirect financial interest in a marijuana testing facility license.

JB

All marijuana establishment license applicants:

As an applicant for a marijuana establishment license, I declare under penalty of unsworn falsification that I have read and am familiar with AS 17.38 and 3 AAC 306, and that the online application and this form, including all accompanying schedules and statements, is true, correct, and complete.

Signature of licensee

Justin Benson

Printed name of licensee

SARAH DONAHUE
Notary Public, State of Alaska
Commission # 180101034
My Commission Expires
January 1, 2022

Notary Public in and for the State of Alaska

My commission expires: 2/28/26

Subscribed and sworn to before me this 6th day of July, 2022.



Alcohol and Marijuana Control Office
550 W 7th Avenue, Suite 1600
Anchorage, AK 99501
marijuana.licensing@alaska.gov
<https://www.commerce.alaska.gov/web/amco>
Phone: 907.269.0350

Alaska Marijuana Control Board
Form MJ-00: Application Certifications

What is this form?

This application certifications form is required for all marijuana establishment license applications. Each person signing an application for a marijuana establishment license must declare that he/she has read and is familiar with AS 17.38 and 3 AAC 306.

This form must be completed and submitted to AMCO's main office by each proposed licensee (as defined in 3 AAC 306.020(b)(2)) before any license application will be considered complete.

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	License Number:	32848		
License Type:	RETAIL MARIJUANA STORE				
Doing Business As:	Shoreline Cannabis				
Premises Address:	4200 E Snider Rd.				
City:	WASILLA	State:	AK	ZIP:	99654

Section 2 – Individual Information

Enter information for the individual licensee.

Name:	Athena Rotzler
Title:	member/manager

Section 3 – Other Licenses

Ownership and financial interest in other licenses: Yes No

Do you currently have or plan to have an ownership interest in, or a direct or indirect financial interest in another marijuana establishment license?

If "Yes", which license numbers (for existing licenses) and license types do you own or plan to own?

LIC#25707- The Hangar - Limited Marijuana Cultivation Facility



Alaska Marijuana Control Board
Form MJ-00: Application Certifications

Section 4 – Certifications

Read each line below, and then sign your initials in the box to the right of each statement:

Initials

I certify that I have not been convicted of a felony in any state or the United States, including a suspended imposition of sentence, for which less than five years have elapsed from the time of the conviction to the date of this application.

DS

I certify that I am not currently on felony probation or felony parole.

DS

I certify that I have not been found guilty of selling alcohol without a license in violation of AS 04.11.010.

DS

I certify that I have not been found guilty of selling alcohol to an individual under 21 years of age in violation of 04.16.051 or AS 04.16.052.

DS

I certify that I have not been convicted of a misdemeanor crime involving a controlled substance, violence against a person, use of a weapon, or dishonesty within the five years preceding this application.

DS

I certify that I have not been convicted of a class A misdemeanor relating to selling, furnishing, or distributing marijuana or operating an establishment where marijuana is consumed within the two years preceding this application.

DS

I certify that my proposed premises is not within 500 feet of a school ground, recreation or youth center, a building in which religious services are regularly conducted, or a correctional facility, as set forth in 3 AAC 306.010(a).

DS

I certify that my proposed premises is not located in a liquor licensed premises.

DS

I certify that I meet the residency requirement under AS 43.23 for a permanent fund dividend in the calendar year in which I am initiating this application.

DS

I certify that all proposed licensees (as defined in 3 AAC 306.020(b)(2)) have been listed on my online marijuana establishment license application. Additionally, if applicable, all proposed licensees have been listed on my application with the Division of Corporations.

DS

I certify that I understand that providing a false statement on this form, the online application, or any other form provided by AMCO is grounds for denial of my application.

DS



Alaska Marijuana Control Board

Form MJ-00: Application Certifications

Read each line below, and then sign your initials in the box to the right of each statement:

I certify and understand that I must operate in compliance with the Alaska Department of Labor and Workforce Development's laws and requirements pertaining to employees.

Initials

DS [Signature Box]

I certify and understand that I must operate in compliance with each applicable public health, fire, safety, and tax code and ordinance of this state and the local government in which my premises is located.

DS [Signature Box]

Read each line below, and then sign your initials in the box to the right of only the applicable statement:

Initials

Only initial next to the following statement if this form is accompanying an application for a marijuana testing facility license:

I certify that I do not have an ownership in, or a direct or indirect financial interest in a retail marijuana store, a marijuana cultivation facility, or a marijuana products manufacturing facility.

[Empty Signature Box]

Only initial next to the following statement if this form is accompanying an application for a retail marijuana store, a marijuana cultivation facility, or a marijuana products manufacturing facility license:

I certify that I do not have an ownership in, or a direct or indirect financial interest in a marijuana testing facility license.

DS [Signature Box]

All marijuana establishment license applicants:

As an applicant for a marijuana establishment license, I declare under penalty of unsworn falsification that I have read and am familiar with AS 17.38 and 3 AAC 306, and that the online application and this form, including all accompanying schedules and statements, is true, correct, and complete.

DocuSigned by:

[Signature]

35D02DEA202F4C2

Signature of licensee

Athena Rotzler

Printed name of licensee

SARAH DONAHUE
Notary Public, State of Alaska
Commission # 180101034
My Commission Expires
2/28/26

[Signature] Notary Public in and for the State of Alaska

My commission expires: 2/28/26

Subscribed and sworn to before me this 6th day of July, 2022.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

What is this form?

An operating plan is required for all marijuana establishment license applications. Applicants should review **Title 17.38 of Alaska Statutes** and **Chapter 306 of the Alaska Administrative Code**. This form will be used to document how an applicant intends to meet the requirements of those statutes and regulations. If your business has a formal operating plan, you may include a copy of that operating plan with your application, but all fields of this form must still be completed per 3 AAC 306.020(c).

What must be covered in an operating plan?

Applicants must identify how the proposed premises will comply with applicable statutes and regulations regarding the following:

- Control plan for persons under the age of 21
- Security
- Business records
- Inventory tracking of all marijuana and marijuana product on the premises
- Employee qualification and training
- Health and safety standards
- Transportation and delivery of marijuana and marijuana products
- Signage and advertising

Applicants must also complete the corresponding operating plan supplemental forms (**Form MJ-03, Form MJ-04, Form MJ-05, or Form MJ-06**) to meet the additional operating plan requirements for each license type.

Section 1 – Establishment & Contact Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	MJ License #:	32848		
License Type:	RETAIL MARIJUANA STORE				
Doing Business As:	Shoreline Cannabis				
Premises Address:	4200 E Snider Rd.				
City:	Wasilla	State:	Alaska	ZIP:	99654
Mailing Address:	PO Box 141463				
City:	Anchorage	State:	Alaska	ZIP:	99514
Designated Licensee:	Justin Benson				
Main Phone:	907-575-8521	Cell Phone:	907-575-8521		
Email:	justin.benson121@yahoo.com				



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

Section 2 – Control Plan for Persons Under the Age of 21

2.1. Describe how the marijuana establishment will prevent persons under the age of 21 from gaining access to any portion of the licensed premises and marijuana items:

This is a marijuana retail store. Once legal Id's are checked at the main door, persons 21 years of age and older will be admitted. Upon admittance, they will review the menus with available selections, approach and place their order. Their order will be filled, point of sale system utilized for the sale and the product subsequently given to them in packaging as required. No tours or leisure visits are permitted within the licensed premises areas or any portion of this licensed facility including restricted areas. Any visitor to this part of the licensed premises will have to be able to prove: over 21 years of age via valid ID: State or federal, drivers license, passport etc., and a need to be escorted into any restricted access area. If a need is determined, visitor's identification will be screened, and the visitors log will be filled out. Visitor will wear an identification tag at all times while in the facility. No more than 5 visitors per employee or agent will be permitted in the facility at a time, in accordance with applicable laws and AMCO regulations. All other means of ingress and egress doors to this facility and building will remain locked at all times. No handling of the marijuana will occur except by the licensee, his employees or agents and not by and visitors or customers. All marijuana will be kept in restricted areas where no customers have access to it. Video surveillance will record all entries, exits, points of sale and rooms within this licensed facility with the exception of the rest room which is part of the licensed facility but not a restricted access area.

Section 3 – Security

Restricted Access Areas (3 AAC 306.710):

3.1. Describe how you will prevent unescorted members of the public from entering restricted access areas:

The Applicant requires all visitors to call ahead and establish an appointment at the facility before they arrive. Upon arrival, an employee escort who will request identification from the visitor, complete the visitor's log, and issue a visitor's badge shall greet visitors. Valid forms of identification include an unexpired, unaltered passport; a driver's license or permit; or an identification card of any U.S. state or province or territory of Canada. Anyone without identification and/or under the age of 21 may not enter the retail facility. The designated employee shall record the information pertaining to the visit on a visitor's log and issue a visitor's identification badge before entering the restricted area. Information on the visitor's log includes name, date of birth, current date, time in/out, email address or phone number, and the employee escort's name. The visitor shall wear the badge while on premises. The employee escort is required to remain with the visitor and is responsible for noting the time the visitor leaves and retrieving the visitor's badge. The Visitor Policy shall apply to all facility visitors including, but not limited to, contractors and delivery/transportation drivers. No more than five visitors per escort. All restricted access areas will be clearly marked and remain locked and closed.

3.2. Describe your recordkeeping and processes for admitting visitors into and escorting them through restricted access areas:

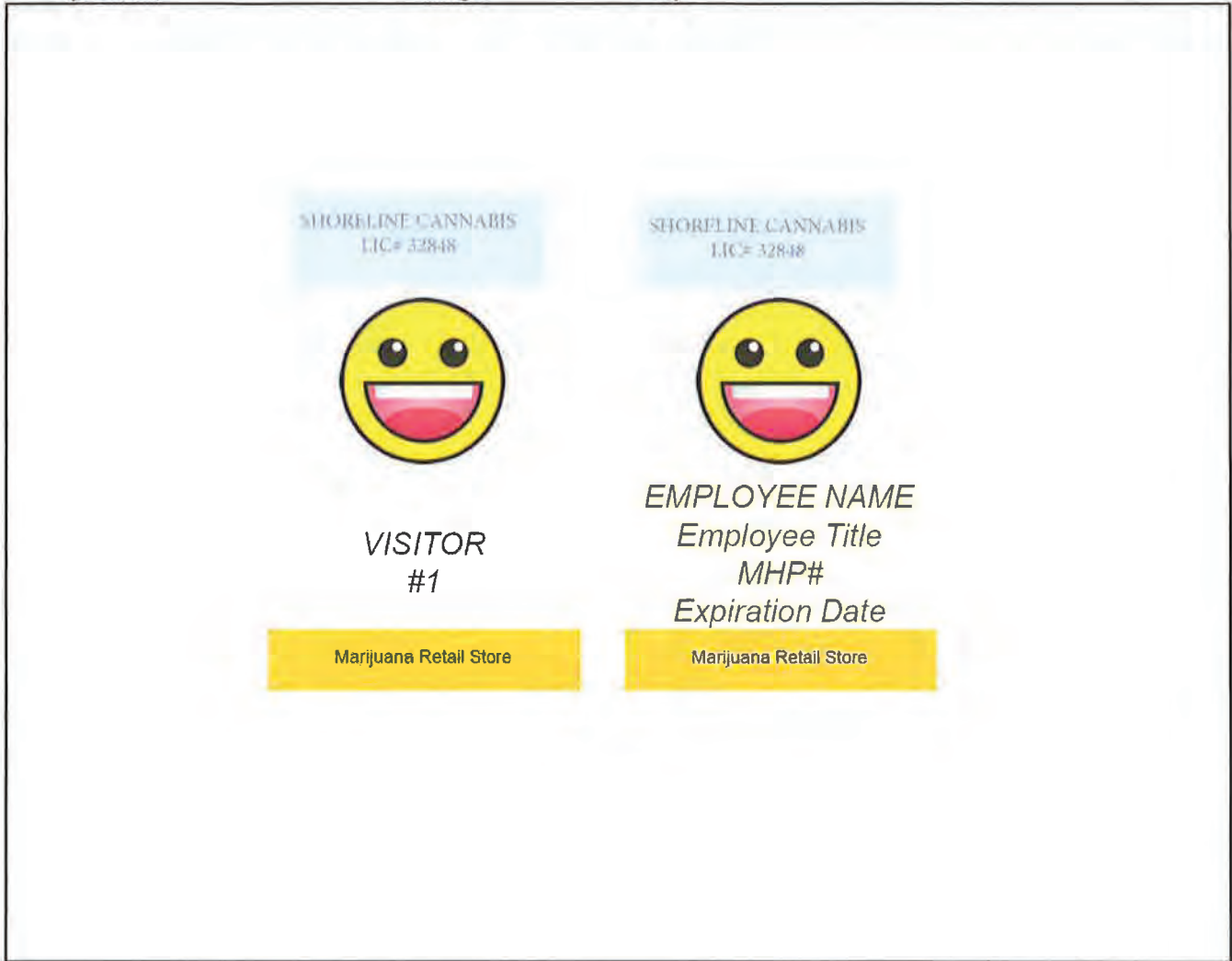
A logbook to record the persons full name, date of visit, time of entry and departure and nature/purpose of visit will be maintained. Visitor's I.D. numbered badges will also be required to be worn at all times while upon the premises. Badges will be returned at the end of said visit and they will be accounted for at the end of each visit as well. The Applicant requires all visitors to call ahead and establish an appointment at the facility before they arrive. Upon arrival, an employee escort who will request identification from the visitor, complete the visitor's log, and issue a visitor's badge shall greet visitors. Valid forms of identification include an unexpired, unaltered passport; a driver's license or permit; or an identification card of any U.S. state or province or territory of Canada. Anyone without identification and/or under the age of 21 may not enter the retail facility. The designated employee shall record the information pertaining to the visit on a visitor's log and issue a visitor's identification badge before entering the restricted area. Information on the visitor's log includes name, date of birth, current date, time in/out, email address or phone number, and the employee escort's name. The visitor shall wear the badge while on premises. The employee escort is required to remain with the visitor and is responsible for noting the time the visitor leaves and retrieving the visitor's badge. The Visitor Policy shall apply to all facility visitors including, but not limited to, contractors and delivery/transportation drivers. No more than five visitors per escort. All restricted access areas will be clearly marked and remain locked and closed until a need for them to be opened is determined.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

3.3. Provide samples of licensee-produced identification badges that will be displayed by each licensee, employee, or agent while on the premises, and of visitor identification badges that will be worn by all visitors while in restricted access areas:



Security Alarm Systems and Lock Standards (3 AAC 306.715):

3.4. Exterior lighting is required to facilitate surveillance. Describe how the exterior lighting will meet this requirement:

Commercial type exterior high lumen output lighting will be provided at all facility exits and entrances and each side of the building. Some of the lighting will be motion sensitive if desired or on at all times. Security cameras will be I.R. capable, and the field of view will cover the approach up to each exterior door. Security cameras will record 24 hours per day, seven days per week, 365 days per year for a minimum of 40 days as per AMCO regulation.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

3.5. An alarm system is required for all license types that must be activated on all exterior doors and windows when the licensed premises is closed for business. Describe the security alarm system for the proposed premises, explain how it will meet all regulatory requirements, and outline your policies and procedures regarding the actions to be taken by a licensee, employee, or agent when the alarm system alerts of an unauthorized breach:

The alarm system that will be in use at the proposed facility will be provided and monitored by, Alarm.com or similar company. The system will be comprised of a main control panels with panic functions for fire, emergency and medical. Hold up alarms (silent alarms), multiple interior motion sensors, door and window sensors for all doors and windows. Motion detectors in all rooms and covering all doors and windows. Internal and external siren. All to be monitored at all times when activated during closed hours. Alarm system controls will be wall-mounted. Any time the facility is left unattended, the alarm system shall be "active". All windows and exits will be monitored 24 hours a day, 7 days a week. The video system will record 24 hours per day, seven days per week, 24 hours per day in excess of 40 days with day, date and time stamps. Motion Detectors are integrated into the security system. In the event of a motion related alarm, Licensee or designated agent will view the camera feed from inside the proposed facility or other location to determine if any further action is necessary. The panic audible alarm button will be used in the event of any perceived security breach as well as silent alarm buttons/switches to be activated in case of hold up or other emergency that may arise. Procedures for a notification of security breach: If facility is staffed, assess situation and take appropriate action. Call 911 if necessary. If the situation allows, remain at facility to assist law enforcement. If facility is vacant. Licensee or authorized agent are to return to facility to assist law enforcement once the area is made safe by law enforcement. Law enforcement will be notified immediately by the alarm monitoring company should the alarm be set-off or for fire or other emergency. They will then respond. All employees, agents of licensee and licensee will cooperate with members of law enforcement. We will notify the Department of Commerce, Community, and Economic Development, Alcohol and Marijuana Control Office as soon as reasonably practical and in any case not more than 24 hours after any unauthorized access to the premises or the establishment's knowledge of evidence or circumstances that reasonably indicate theft, diversion, or unexplained disappearance of marijuana, marijuana products, or money from the licensed premises.

3.6. Describe your policies and procedures for preventing diversion of marijuana or marijuana product, including by employees:

All marijuana product on premises will only be handled by licensee, employees or agents designated by licensee. All will have the required marijuana handler's card. Licensee, employee or agent will be present at transfers of marijuana product to ensure integrity of shipment. All marijuana product on premises will be logged in and tracked in accordance with Franwell/METRC system from seed to sale. Routine internal audits will be conducted periodically. Video cameras will run 24 hours per day, 365 days per year both indoors and outside as previously designated and will be stored for a minimum of 40 days. Should any diversion occur, a review of the video surveillance tapes both from the inside and outside will help to catch any perpetrator and proper action may be taken. Furthermore, the tracking system and recorded weights of marijuana product will detect any change to our marijuana supplies, so that action may immediately be taken which includes notification to AMCO and local law enforcement. All employees including their bags, backpacks, purses etc. will be subject to search as a part of their condition of employment upon suspicion of diversion. Furthermore, employees will have to place all personal belongings into a separate locker when coming to work or lock them within their vehicle or leave them at home. If diversion is determined to have occurred, AMCO enforcement will be notified immediately and no more than 24 hours after the diversion, theft or loss etc. is discovered.

3.7. Describe your policies and procedures for preventing loitering:

Signs will be posted stating a clear message that "No Trespassing" or "No Loitering" is permitted, and that area is video monitored 24/7. Video surveillance of the exterior areas will be available to employees inside the facility. Standard policy is to notify law enforcement of any violation these regulations or of any suspicious activity. There will be no loiterers or trespassers: None.

You must be able to certify the statement below. Read the following and then sign your initials in the box to the right: Initials

3.8. I certify that if any additional security devices are used, such as a motion detector, pressure switch, and duress, panic, or hold-up alarm, to enhance security of the licensed premises, I will have written policies and procedures describing their use.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

Video Surveillance (3 AAC 306.720):

You must be able to certify each statement below. Read the following and then sign your initials in the corresponding box: Initials

3.9. The video surveillance and camera recording system for the licensed premises covers each restricted access area, and both the interior and exterior of each entrance to the facility.

JB

3.10. Each video surveillance recording: is preserved for a minimum of 40 days, in a format that can be easily accessed for viewing (consistent with the Alcohol & Marijuana Control Office's approved format list); clearly and accurately displays the time and date; and is archived in a format that does not permit alteration of the recorded image.

JB

3.11. The surveillance room or area is clearly defined on the Form MJ-02: Premises Diagram that is submitted with this application.

JB

3.12. Surveillance recording equipment and video surveillance records are housed in a designated, locked, and secure area or in a lock box, cabinet, closet or other secure area where access is limited to the licensee(s), an authorized employee, and law enforcement personnel (including an agent of the Marijuana Control Board).

JB

3.13. Describe how the video cameras will be placed to produce a clear view adequate to identify any individual inside the licensed premises, or within 20 feet of each entrance to the licensed premises:

Entrances/exits to and from the facility will have cameras (within 20 feet of each entrance/exit) trained on them from the interior in such a way that faces are easily identified. Facility entrances/exits will also have exterior cameras (within 20 feet of each entrance/exit) to monitor areas around exits to provide a view of the approach to the entrances/exits. All rooms will have cameras as well covering all portions of each room. All cameras will be high definition, mounted at a height sufficient for clear video footage with infrared/night vision capabilities for night viewing and recording.

3.14. Describe the locked and secure area where video surveillance recording equipment and original copies of surveillance records will be housed and stored, and how you will ensure the area is accessible only to authorized personnel, law enforcement, or an agent of the Marijuana Control Board. If you will be using an offsite monitoring service and offsite storage of video surveillance records, your response must include how the offsite facility will meet these security requirements:

All video surveillance will be stored in a digital format on a local device and backed up on a hard drive. Storage will be sized appropriately to maintain at a minimum 40 days of recording, and a digital back-up of all data. Server rack will consist of a wall mountable, lockable cabinet sized appropriately to contain all necessary computer components. The rack will be located within a secure locked room within the proposed facility, ensuring that only authorized personnel are able to access the video surveillance equipment. Its' accessibility will be via password protection and only the licensee, or designated employee will have access to it. It maintains storage for over 40 days and will be accessible to AMCO enforcement and/or law enforcement as well upon request. It is not accessible to the general public.



Form MJ-01: Marijuana Establishment Operating Plan

Section 4 – Business Records

Review the requirements under 3 AAC 306.755. All licensed marijuana establishments must maintain, in a format that is readily understood by a reasonably prudent business person, certain business records.

4.1. I certify that the following business records will be maintained and kept on the licensed premises:

Initials

- a. all books and records necessary to fully account for each business transaction conducted under my license for the current year and three preceding calendar years (records for the last six months must be maintained on the licensed premises; older records may be archived on or off-premises);
- b. a current employee list setting out the full name and marijuana handler permit number of each licensee, employee, and agent who works at the marijuana establishment;
- c. the business contact information for vendors that maintain video surveillance systems and security alarm systems for the licensed premises;
- d. records related to advertising and marketing;
- e. a current diagram of the licensed premises, including each restricted access area;
- f. a log recording the name, and date and time of entry of each visitor permitted into a restricted access area;
- g. all records normally retained for tax purposes;
- h. accurate and comprehensive inventory tracking records that account for all marijuana inventory activity from seed or immature plant stage until the retail marijuana or retail marijuana product is sold to a consumer, to another marijuana establishment, or destroyed;
- i. transportation records for marijuana and marijuana product, as required by 3 AAC 306.750(f); and
- j. registration and inspection reports of scales registered under the Weights and Measures Act, as required by 3 AAC 306.745.

JB
JB
JB
JB
JB
JB
JB
JB
JB
JB

4.2. A marijuana establishment is required to exercise due diligence in preserving and maintaining all required records. Describe how you will prevent records and data, including electronically maintained records, from being lost or destroyed:

All business records will be kept on the premises in a locked file cabinet or safe. These records will be available for inspection upon request. These records include but are not limited to: a current employee list and handler card information, contact information for our vendors and video surveillance and alarm systems, records on advertising and marketing, visitor logs, tax records, premise diagram and transportation records. The digital records will be backed up at the end of each business day. Security camera video will be maintained for 40 days of recording at a minimum. This company will provide any record required to be kept on the licensed premises to an employee of the board upon request. Any records kept off premises will be provided within 3 days of the request. Some of these records may be kept on an external hard drive and maintained within the locked cabinet and/or safe.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

Section 5 – Inventory Tracking of All Marijuana and Marijuana Product

Review the requirements under 3 AAC 306.730. All licensed marijuana establishments must use a marijuana inventory tracking system capable of sharing information with Metrc to ensure all marijuana cultivated and sold in the state, and each marijuana product processed and sold in the state, is identified and tracked from the time the marijuana is propagated from seed or cutting, through transfer to another licensed marijuana establishment, or use in manufacturing a marijuana product, to a completed sale of marijuana or marijuana product, or disposal of the harvest batch of marijuana or production lot of marijuana product.

You must be able to certify each statement below. Read the following and then sign your initials in the corresponding box: Initials

5.1. My marijuana establishment will be using Metrc, and if any other tracking software is used, it will be capable of sharing information with Metrc.

JB

5.2. All marijuana delivered to a marijuana establishment will be weighed on a scale registered in compliance with 3 AAC 306.745.

JB

5.3. My marijuana establishment will use registered scales in compliance with AS 45.75.080 (Weights and Measures Act), as required by 3 AAC 306.745.

JB

Section 6 – Employee Qualification and Training

Review the requirements under 3 AAC 306.700. All licensees, and every employee or agent of the marijuana establishment who sells, cultivates, manufactures, tests, or transports marijuana or a marijuana product, or who checks the identification of a consumer or visitor, must obtain a marijuana handler permit from the board before being licensed or beginning employment at a marijuana establishment.

You must be able to certify each statement below. Read the following and then sign your initials in the corresponding box: Initials

6.1. All licensees, and each employee or agent of the marijuana establishment who sells, cultivates, manufactures, tests, or transports marijuana or marijuana product, or who checks the identification of a consumer or visitor, shall obtain a marijuana handler permit from the board before being licensed or beginning employment at the marijuana establishment.

JB

6.2. Each licensee, employee, or agent who is required to have a marijuana handler permit shall keep that person's marijuana handler permit card in that person's immediate possession (or a valid copy on file on the licensed premises) when on the licensed premises.

JB

6.3. Each licensee, employee, or agent who is required to have a marijuana handler permit shall ensure that that person's marijuana handler permit card is valid and has not expired.

JB

6.4. Describe any in-house training that will be provided to employees and agents (apart from a marijuana handler course):

Aside from the marijuana handler's course and required testing, licensees, employees and agents will be kept current as to any change in regulation from AMCO, law enforcement (state, local or federal) as well as to any industry changes. This will be done monthly at monthly meetings between supervisor's and employees, unless METRC issues a bulletin or AMCO issues an advisory requiring more immediate dissemination of information. In this event, affected employees will be required to read and sign such memos at commencement of 1st shift after advisory or bulletin received. Additional training will also be made available to all employees through applicable media, legal articles, periodicals of trade and updated handler's recertification tests as they become due for recertification as well as any other information that may become available and be applicable. The internet is also a good source for updated information as well and will be utilized. Will subscribe to the AMCO mailing list and open METRC bulletins in timely fashion.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

Section 7 – Health and Safety Standards

Review the requirements under 3 AAC 306.735.

You must be able to certify each statement below. Read the following and then sign your initials in the corresponding box: Initials

- 7.1. I understand that a marijuana establishment is subject to inspection by the local fire department, building inspector, or code enforcement officer to confirm that health or safety concerns are not present. JB
- 7.2. I have policies regarding health and safety standards (including: ensuring a person with an illness or infection does not come into contact with marijuana or marijuana product; good hygienic practices; cleaning and maintenance of equipment and the premises; pest deterrence; chemical storage; sanitation principles; and proper handling of marijuana and marijuana product) and will take all reasonable measures and precautions to ensure that they are met or exceeded. JB
- 7.3. I have policies to ensure that any marijuana or marijuana product that has been stored beyond its usable life, or was stored improperly, is not salvaged and returned to the marketplace. JB
- 7.4. I have policies to ensure that in the event information about the age or storage conditions of marijuana or marijuana product is unreliable, the marijuana or marijuana product will be handled in accordance with 3 AAC 306.735(d). JB

Answer "Yes" or "No" to each of the following questions:

Yes No

- 7.5. Adequate and readily accessible toilet facilities that are maintained and in good repair and sanitary condition are clearly indicated on my Form MJ-02: Premises Diagram.
- 7.6. Convenient handwashing facilities with running water at a suitable temperature are clearly indicated on my Form MJ-02: Premises Diagram.

7.7. If you answered "No" to either 7.5 or 7.6 above, describe how toilet and/or handwashing facilities are made accessible, as required by 3 AAC 306.735(b)(2):

Section 8 – Transportation and Delivery of Marijuana and Marijuana Products

Review the requirements under 3 AAC 306.750.

8.1. Describe how marijuana or marijuana product will be prepared, packaged, and secured for shipment. Include a description of the type of locked, safe, and secure storage compartments to be used in vehicles transporting marijuana or marijuana product:

Marijuana or a marijuana product may only be transported to a licensed marijuana establishment by a licensee or an agent or employee of a licensee. Bulk batch packs of up to 5 pounds may be received. Once received and entered in to METRC, the marijuana will be packaged (if not purchased prepackaged) in a variety of ways. Batches of 1.0 gram packs may be produced as well as 1/8 oz, 1/4oz and 1 ounce packages: cannot exceed 1 ounce. All labeling on all packaging will meet the standards as required for retailers. See attached. All marijuana slated to leave the facility will be placed into a durable, tamper-evident METRC packaging prior to transport. The shipment will be accompanied by the appropriate manifest, and will be verified by the licensee or designated agent before the shipment is permitted to leave. A marijuana establishment shall keep records of all marijuana or marijuana products shipped from or received at that marijuana establishment as required under 3 AAC 306. 755. See cont'd response.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

You must be able to certify each statement below. Read the following and then sign your initials in the corresponding box: Initials

8.2. The marijuana establishment from which a shipment of marijuana or marijuana product originates will ensure that any individual transporting marijuana shall have a marijuana handler permit required under 3 AAC 306.700. JB

8.3. The marijuana establishment that originates the transport of any marijuana or marijuana product will use the marijuana inventory tracking system to record the type, amount, and weight of marijuana or marijuana product being transported, the name of the transporter, the time of departure and expected delivery, and the make, model, and license plate number of the transporting vehicle. JB

8.4. The marijuana establishment that originates the transport of any marijuana or marijuana product will ensure that a complete printed transport manifest on a form prescribed by the board must be kept with the marijuana or marijuana product at all times during transport. JB

8.5. During transport, any marijuana or marijuana product will be in a sealed package or container in a locked, safe, and secure storage compartment in the vehicle transporting the marijuana or marijuana product, and the sealed package will not be opened during transport. JB

8.6. Any vehicle transporting marijuana or marijuana product will travel directly from the shipping marijuana establishment to the receiving marijuana establishment, and will not make any unnecessary stops in between except to deliver or pick up marijuana or marijuana product at any other licensed marijuana establishment. JB

8.7. When the marijuana establishment receives marijuana or marijuana product from another licensed marijuana establishment, the recipient of the shipment will use the marijuana inventory tracking system to report the type, amount, and weight of marijuana or marijuana product received. JB

8.8. The marijuana establishment will refuse to accept any shipment of marijuana or marijuana product that is not accompanied by the transport manifest. JB

Section 9 – Signage and Advertising

Review the requirements under 3 AAC 306.770.

9.1. Describe any signs that you intend to post on your establishment, including quantity, dimensions, graphics, and location on your establishment (photos or drawings may be attached):

Not more than three signs will be used, either attached to the building or within the windows (no marijuana or products shall be visible to the public) and each sign may not exceed 4800 square inches. The sign would depict the name of the facility, address, phone number and/or any logo. The signage including logo would not be enticing towards children.




Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan


9.2. Describe any advertising you intend to distribute for your establishment. Include medium types and business logos (photos or drawings may be attached):

Advertising may consist of local Alaska Leaf magazine, trade magazines, social media, lighters, clothing items or other items of permissible branding, website, business cards, stickers, and/or in collaboration with local and state wide retailers. It would reflect the name of the business, address, phone number, email address and company logo. The logo will not be enticing towards children. This list is merely inclusive but not exhaustive. See Attached Logo.

I declare under penalty of unsworn falsification that this form, including all accompanying schedules and statements, is true, correct, and complete.


Signature of licensee
Justin Benson
Printed name of licensee

SARAH DONAHUE
Notary Public, State of Alaska
Commission # 180101034
My Commission Expires
January 1, 2022 2/28/26


Notary Public in and for the State of Alaska
My commission expires: 2/28/26

Subscribed and sworn to before me this 6th day of July, 2022.



Alaska Marijuana Control Board

Form MJ-01: Marijuana Establishment Operating Plan

(Additional Space as Needed):

3.6 Cont'd Response:

All employees including their bags, backpacks, purses etc. will be subject to search as a part of their condition of employment upon suspicion of diversion. Furthermore, employees will have to place all personal belongings into a separate room when coming to work or lock them within their vehicle or leave them at home.

8.1 Cont'd Response:

In accordance with 3 AAC 306.470, when we package the marijuana , we will either place in a package of 1 ounce or less, in approved packaging for the retail store to sell individually. In accordance with 3 AAC 306.475, the packaging shall have these 5 statements to be on the packaging:

- {1} "Marijuana has intoxicating effects and may be habit forming and addictive.";
- (2) "Marijuana impairs concentration, coordination, and judgment. Do not operate a vehicle or machinery under its influence.";
- (3) "There are health risks associated with consumption of marijuana.";
- (4) "For use only by adults twenty-one and older. Keep out of the reach of children.";
- (5) "Marijuana should not be used by women who are pregnant or breast feeding.".

When marijuana or a marijuana product is transported the marijuana establishment that originates the transport shall use the marijuana inventory tracking system to record the type, amount and weight of marijuana or marijuana product being transported, the name of the transporter, the time of departure and expected delivery, and the make, model, and license plate number of the transporting vehicle. A complete printed transport manifest on a form prescribed by the board must be kept with the marijuana or marijuana product at all times. During transport, the marijuana or marijuana product must be in a sealed package or container and in a locked, safe, and secure storage compartment in the vehicle transporting the marijuana or marijuana product. The sealed package may not be opened during transport. A vehicle transporting marijuana or a marijuana product must travel directly from the shipping marijuana establishment to the receiving marijuana establishment, and may not make unnecessary stops in between except to deliver or pick up marijuana or a marijuana product at another licensed marijuana establishment. When a marijuana establishment receives marijuana or a marijuana product transported in compliance with this section, the recipient of the shipment shall use the marijuana inventory tracking system to report the type, amount, and weight of marijuana or marijuana product received. The recipient shall refuse to accept any shipment of marijuana or marijuana product that is not accompanied by the transport manifest. The locked, safe and secure storage compartment is located behind the rear seat of our transport vehicle and will be bolted or chained in to the vehicle frame. All marijuana product will be contained within this safe. The compartment measures approximately 18" wide x10" tall x 59" long. In the event that the proposed facility's planned transport vehicle is not available, a contract transportation/ security company such as Valkyrie Security & Asset Protection or The Transfer Answer will be utilized to carry out product transfers. It will have the required manifest and disclosures attached to the outside of it as required per regulation. See above.





Alaska Marijuana Control Board Form MJ-02: Premises Diagram

What is this form?

A detailed diagram of the proposed licensed premises is required for all marijuana establishment license applications, per 3 AAC 306.020(b)(8). **All areas designated as the licensed premises of a single license must be contiguous. All diagrams must have the licensed premises area labeled, and outlined or shaded as appropriate.**

What must be submitted with this form?

Applicants must attach multiple diagrams to this form, including (as applicable):

- Diagram 1:**
 a diagram showing only the licensed premises areas that will be ready to be **operational at the time of your preliminary inspection** and license issuance;
- Diagram 2:**
 if different than Diagram 1, a diagram outlining **all areas for which the licensee has legal right of possession** (a valid lease or deed), and clearly showing those areas' relationship to the current proposed licensed premises (*details of any planned expansion areas do not need to be included; a complete copy of Form MJ-14: Licensed Premises Diagram Change must be submitted and approved before any planned expansion area may be added to the licensed premises*);
- Diagram 3:**
 a **site plan or as-built of the entire lot**, showing all structures on the property and clearly indicating which area(s) will be part of the licensed premises;
- Diagram 4:**
 an **aerial photo of the entire lot and surrounding lots**, showing a view of the entire property and surrounding properties, and clearly indicating which area(s) will be part of the licensed premises (*this can be obtained from sources like Google Earth*); and
- Diagram 5:**
 a diagram of the **entire building in which the licensed premises is located**, clearly distinguishing the licensed premises from unlicensed areas and/or premises of other licenses within the building. If your proposed licensed premises is located within a building or building complex that contains multiple business and/or tenants, please provide the addresses and/or suite numbers of the other businesses and/or tenants (*a separate diagram is not required for an establishment that is designating the entire building as a single licensed premises*).

This form, and all necessary diagrams that meet the requirements on Page 2 of this form, must be completed and submitted to AMCO's main office before any new or transfer license application will be considered complete.

Section 1 - Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	MJ License #:	32848		
License Type:	RETAIL MARIJUANA STORE				
Doing Business As:	Shoreline Cannabis				
Premises Address:	4200 E Snider Rd.				
City:	Wasilla	State:	Alaska	ZIP:	99654



Alaska Marijuana Control Board Form MJ-02: Premises Diagram

Section 2 – Required Information

For your security, do not include locations of security cameras, motion detectors, panic buttons, and other security devices. Items marked with a double asterisks (**) are only required for those retail marijuana establishments that are also applying for an onsite consumption endorsement.

The following details must be included in all diagrams:

- License number and DBA
- Legend or key
- Color coding
- Licensed Premises Area Labeled and Shaded, or Outlined as appropriate
- Dimensions
- Labels
- True north arrow

The following additional details must be included in Diagram 1:

- Surveillance room
- Restricted access areas
- Storage areas
- Entrances, exits, and windows
- Walls, partitions, and counters
- Any other areas that must be labeled for specific license or endorsement types
- ** Serving area(s)
- **Employee monitoring area(s)
- **Ventilation exhaust points, if applicable

The following additional details must be included in Diagram 2:

- Areas of ingress and egress
- Entrances and exits
- Walls and partitions

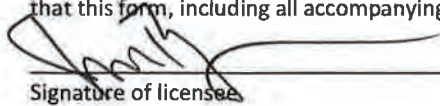
The following additional details must be included in Diagrams 3 and 4:

- Areas of ingress and egress
- Cross streets and points of reference

The following additional details must be included in Diagram 5:

- Areas of ingress and egress
- Entrances and exits
- Walls and partitions
- Cross streets and points of reference

I declare under penalty of unsworn falsification that I have attached all necessary diagrams that meet the above requirements, and that this form, including all accompanying schedules, statements, and depictions is true, correct, and complete.



Signature of licensee
Justin Benson
Printed name of licensee



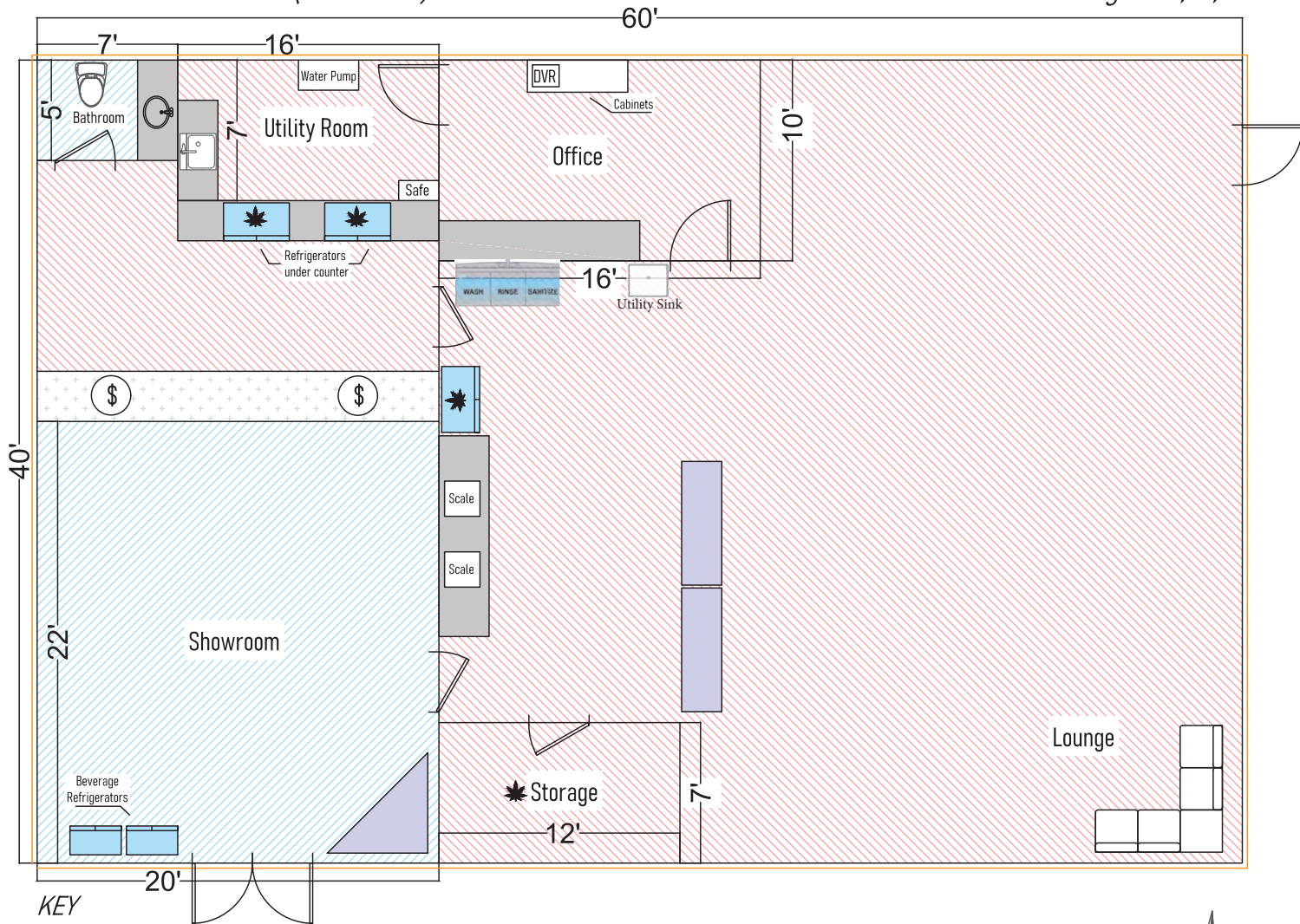

Notary Public in and for the State of Alaska

My commission expires: 2/20/26

Subscribed and sworn to before me this 6th day of July, 2022.

SHORELINE CANNABIS (LIC#32848)

MJ-02 Diagram 1, 2, 5a

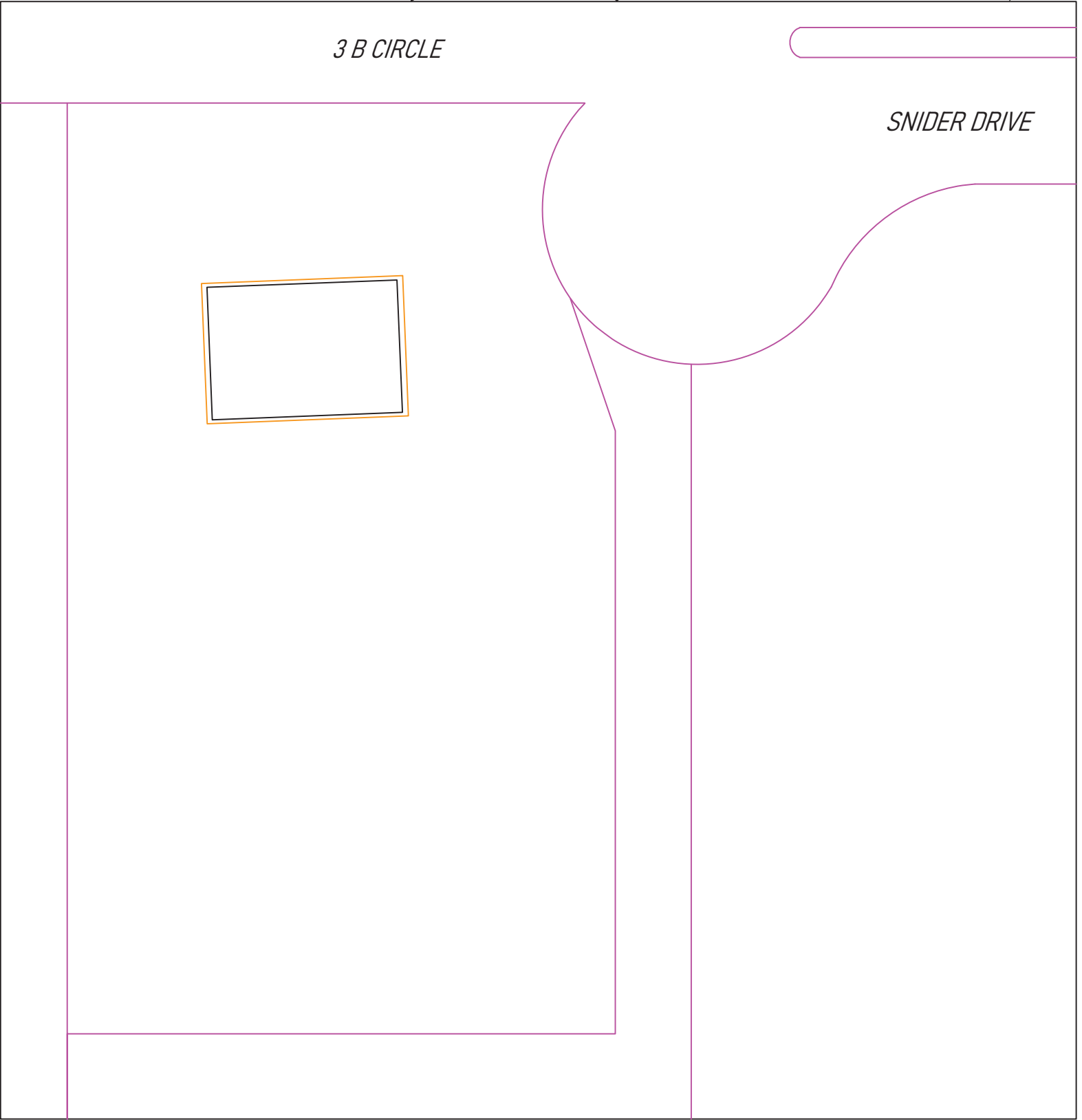


- KEY**
- RESTRICTED ACCESS AREA
 - SHELVING
 - GLASS DISPLAY CASE
 - LICENSED, NOT RESTRICTED
 - TABLE/COUNTER
 - ✱ USED FOR MJ STORAGE
 - LICENSED PREMISES/
RIGHT TO POSSESSION
 - REFRIGERATOR
 - \$ POINT OF SALE



SHORELINE CANNABIS (LIC# 32848)

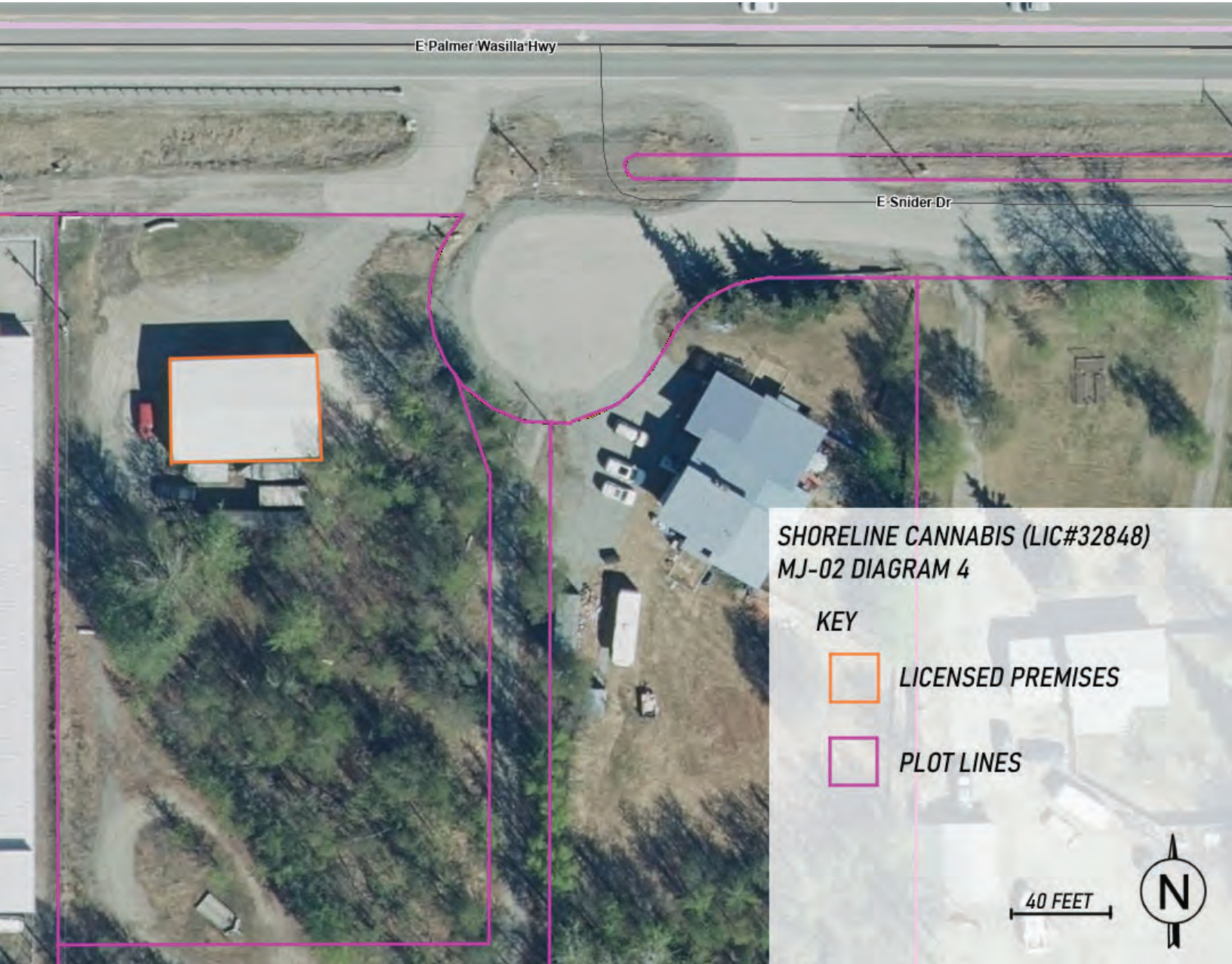
MJ-02 DIAGRAM 3, 5B



KEY

-  PLOT LINES
-  LICENSED PREMISES







Alaska Marijuana Control Board Operating Plan Supplemental Form MJ-03: Retail Marijuana Store

What is this form?

This operating plan supplemental form is required for all applicants seeking a retail marijuana store license and must accompany **Form MJ-01: Marijuana Establishment Operating Plan**, per 3 AAC 306.020(b)(11). Applicants should review **Chapter 306: Article 3** of the **Alaska Administrative Code**. This form will be used to document how an applicant intends to meet the requirements of the statutes and regulations.

If your business has a formal operating plan, you may include a copy of that operating plan with your application, but all fields of this form must still be completed per 3 AAC 306.020 and 3 AAC 306.315(2).

What additional information is required for retail stores?

Applicants must identify how the proposed establishment will comply with applicable regulations regarding the following:

- Prohibitions
- Signage and advertising
- Displays and sales
- Exit packaging and labeling
- Security
- Waste disposal

This form must be completed and submitted to AMCO's main office before any new or transfer application for a retail marijuana store license will be considered complete.

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	MJ License #:	32848		
License Type:	Retail Marijuana Store				
Doing Business As:	Shoreline Cannabis				
Premises Address:	4200 E Snider Rd.				
City:	Wasilla	State:	Alaska	ZIP:	99654



Alaska Marijuana Control Board

Form MJ-03: Retail Marijuana Store Operating Plan Supplemental

Section 2 – Overview of Operations

2.1. Provide an overview of your proposed facility's operations. Include information regarding the intake and flow of marijuana and marijuana product at your premises, and a description of what a standard customer visit to your establishment would entail:

When an Incoming transfer of marijuana or marijuana product arrives at our facility, the transfer agent will be greeted and will have their marijuana handler permit checked by our staff before being granted access to our facility.

All transfers will occur in the secure portion of our facility.

All visitors , including other licensees and transfer agents, will be logged in our visitors log and will be issued a visitors pass to wear prior to being granted access to enter the secure portion of our facility.

Every Incoming transfer will be verified against the manifest; ensuring package tags are with product and match product, and that the quantities and weights manifested are accurate. Once weights, quantities, and package tags have been verified, the manifest will be signed and dated by the receiving manager on duty and the time of acceptance will be noted on the hard copy of the manifest and the transfer will be accepted in METRC. If any variance should exist between the manifested quantity and the actual quantity, every effort will be made to reach the licensee before accepting or rejecting any transfer.

See cont'd response, P. 6.

Section 3 – Prohibitions

Review the requirements under 3 AAC 306.310.

3.1. Describe how you will ensure that the retail marijuana store will not sell, give, distribute, or deliver marijuana or marijuana product to a person who is under the influence of an alcoholic beverage, inhalant, or controlled substance:

All staff members will be privately trained annually and prior to hire in preventing purchases by intoxicated persons under the influence of alcoholic beverages, inhalants, controlled substances as well as spice and other designer drugs. In addition, all employees will have completed the state required marijuana handlers course, passed the written examination in order to receive their current handler's permit (renewals as required).

See cont'd response P. 6.

3.2. I certify that the retail marijuana store will not:

Initials

- a. sell, give, distribute, deliver, or offer to sell, give, distribute, or deliver marijuana or marijuana product in a quantity exceeding the limit set out in 3 AAC 306.355;
- b. sell, give, distribute, deliver, or offer to sell, give, distribute, or deliver marijuana or marijuana product over the internet;
- c. offer or deliver to a consumer, as a marketing promotion or for any other reason, free marijuana or marijuana product, including a sample;
- d. offer or deliver to a consumer, as a marketing promotion or for any other reason, alcoholic beverages, free or for compensation; or
- e. allow a person to consume marijuana or a marijuana product on the licensed premises.

JB
JB
JB
JB
JB

Answer "Yes" or "No" to the following question:

Yes No

3.3. Do you plan to request future approval of the Marijuana Control Board to permit consumption of marijuana or marijuana product in a designated area on the proposed premises?



Alaska Marijuana Control Board

Form MJ-03: Retail Marijuana Store Operating Plan Supplemental

Section 4 – Signage and Advertising

Review the requirements under 3 AAC 306.360 and 3 AAC 306.365. All licensed retail marijuana stores must meet minimum standards for signage and advertising.

You must be able to certify each statement below. Read the following and then sign your initials in the corresponding box: Initials

4.1. I understand and agree to follow the limitations regarding the number, placement, and size of signs on my proposed establishment, set forth in 3 AAC 306.360(a).

JB

4.2. The retail marijuana store will not use giveaway coupons as promotional materials, or conduct promotional activities such as games or competitions to encourage the sale of marijuana or marijuana products.

JB

4.3. All advertising for marijuana or marijuana product will contain the warnings required under 3 AAC 306.360(e).

JB

4.4. I understand and agree to post, in a conspicuous location visible to customers, the notification signs required under 3 AAC 306.365.

JB

4.5. I certify that no advertisement for marijuana or marijuana product will contain any statement or illustration that:

a. is false or misleading;

JB

b. promotes excessive consumption;

JB

c. represents that the use of marijuana has curative or therapeutic effects;

JB

d. depicts a person under the age of 21 consuming marijuana; or

JB

e. includes an object or character, including a toy, a cartoon character, or any other depiction designed to appeal to a child or other person under the age of 21, that promotes consumption of marijuana.

JB

4.6. I certify that no advertisement for marijuana or marijuana product will be placed:

a. within 1,000 feet of the perimeter of any child-centered facility, including a school, childcare facility, or other facility providing services to children, a playground or recreation center, a public park, a library, or a game arcade that is open to persons under the age of 21;

JB

b. on or in a public transit vehicle or public transit shelter;

JB

c. on or in a publicly owned or operated property;

JB

d. within 1,000 feet of a substance abuse or treatment facility; or

JB

e. on a campus for postsecondary education.

JB

Section 5 – Displays and Sales

5.1. Describe how marijuana and marijuana products at the retail marijuana store will be displayed and sold:

Products at our facility will be displayed; (1) hanging on a wall located behind our counter space in a restricted access area and (2) in secured glass cases, which only authorized personnel can access. Customers will not have free access to such display cases. No product is to be touched by anyone other than our employees prior to sale. Customers will consult our staff on which products they intend to purchase. All purchases will be made at our designated Point of Sale (POS) system. Once payment has been issued, the customer will be provided with their packaged products and may exit the building. All products within that purchase will have labeling provided by either the originating licensed cultivation company or SupHerb. The label will include the logo, store name, license number, THC levels (levels provided by a licensed Marijuana Testing Facility), and all warning statements required under 3 AAC 306.345.



Form MJ-03: Retail Marijuana Store Operating Plan Supplemental

Section 6 – Exit Packaging and Labeling

Review the requirements under 3 AAC 306.345.

6.1. Describe how the retail marijuana store will ensure that marijuana and marijuana products sold on its licensed premises will meet the packaging and labeling requirements set forth in 3 AAC 306.345(a):

Products will be packaged in opaque, resealable, child-resistant packaging as described in 3 AAC 306.345 (a). Any and all products to be sold will comply with; 3 AAC 306.470, 3 AAC 306.475, 3 AAC 306.565, 3 AAC 306.570 and 3 AAC 306.345(b).

Upon receipt of any marijuana from a license cultivation facility, staff will be required to inspect such packaging to verify the labeling requirements described in 3 AAC 306.475(a) and 3 AAC 306.570(c). Staff will also make sure to review the labeling information to verify that packaging and potency conforms to regulations set forth in 3 AAC 306.560.

The facility will utilize weight measuring scales in compliance to 3 AAC 306.745 to verify weights of product. Packaging to be resold from a cultivation facility without additional handling from our facility will not be in excess of one ounce in weight and will contain our company logo and license number. Wholesale purchases will be verified to not be in excess of five pounds of product for repackaging.

6.2. Provide a sample label that the retail marijuana store will use to meet the labeling requirements set forth in 3 AAC 306.345(b):

RESPONSE TO QUESTION 6.2: SAMPLE LABEL

SAMPLE LABEL #1

(1) "Marijuana has intoxicating effects and may be habit forming and addictive."

(2) "Marijuana impairs concentration, coordination, and judgment.

Do not operate a vehicle or machinery under its influence."

(3) "There are health risks associated with consumption of marijuana."

(4) "For use only by adults twenty-one and older. Keep out of the reach of children."

(5) "Marijuana should not be used by women who are pregnant or breast feeding."

Retailer: Shoreline Cannabis

Retailer License No. 32848

BARCODE: ■■■■■■■■■■

Cultivator: SOME GROWER, LLC.

Cultivator License No. 12345

OG KUSH BUD 1.0 Grams

Harvest Batch No. 1A34fgh123

Net. Wt: 1.0 GR (0.03527396 OZ)

TEST: THCA: 18.48%, THC 16.6%, CBD: .06%



Alaska Marijuana Control Board

Form MJ-03: Retail Marijuana Store Operating Plan Supplemental

Section 7 – Security

Review the requirements under 3 AAC 306.350 and 3 AAC 306.720.

7.1. Describe the retail marijuana store’s procedures for ensuring a form of valid photographic identification has been produced before selling marijuana or marijuana product to a person, as required by 3 AAC 306.350(a):

All employees will be trained in the recognition of valid and acceptable identification per SOA regulations governing acceptable forms of identification. See 3 AAC 306.350(a)&(b). Employees will take the following steps to ensure valid identification has been produced prior to any entry into the retail store as follows: Make certain ID has not expired and person is over 21 years of age; request ID be removed from wallet or purse or anything with a cover over it; take physical control of the ID; check the date of birth; ensure ID has not been tampered with; look for any material changes to ID. See continued response.

You must be able to certify the statement below. Read the following and then sign your initials in the box to the right: Initials

7.2. The video surveillance and camera recording system for the licensed premises covers each point-of-sale area.

JB

Section 8 – Waste Disposal

Review the requirements under 3 AAC 306.740.

8.1. Describe how you will store, manage, and dispose of any marijuana waste, including expired marijuana or marijuana products, in compliance with any applicable laws. Include details about the material(s) you will mix with ground marijuana waste and the processes that you will use to make the marijuana waste unusable for any purpose for which it was grown or produced:

Prior to deeming marijuana as waste, we will notify the AMCO 3 days in advance in writing. Once the MCB has been notified, product awaiting disposal will be separated and stored in our secure waste storage area. Our secure waste storage is secured and monitored in compliance to 3 AAC 306. 715 and 3 AAC 306. 720, utilizing commercial steel-doors with key code/fingerprint locking mechanisms and high definition surveillance cameras. Upon approval, any marijuana waste, including expired marijuana products will be ground and mixed with organic material consisting of household waste, paper, food, coffee grounds, leaves, grass clippings etc. to produce a final waste product that is no more than 50% marijuana product. Once marijuana product is reconciled to be unusable for any and all intended purposes, we will transfer the waste to our on-site secured dumpster to await final disposal. Upon final disposal, we will record the final destination of said waste, in accordance with 3 AAC 306.740(c)(2), and store these records in our secure office in compliance with 3 AAC 306.755.

You must be able to certify the statement below. Read the following and then sign your initials in the box to the right: Initials

8.2. The retail marijuana store shall give the board at least three days written notice required under 3 AAC 306.740(c) before making marijuana waste unusable and disposing of it.

JB

I declare under penalty of unsworn falsification that this form, including all accompanying schedules and statements, is true, correct, and complete.

Signature of licensee

Justin Benson

Printed name of licensee

SARAH DONAHUE
Notary Public, State of Alaska
Commission # 180101034
My Commission Expires
January 1, 2022

Notary Public in and for the State of Alaska

My commission expires: 2/28/26

Subscribed and sworn to before me this 9th day of July, 2022.



Form MJ-03: Retail Marijuana Store Operating Plan Supplemental

(Additional Space as Needed):

2.1 Response Cont'd:

Incoming marijuana or marijuana products received in bulk will be repackaged physically and within METRC, and will accordingly be labeled before imported into our POS system and becoming available for sale. Each time a bulk package is opened or repackaged, weights will be taken at the beginning and end of the process. Internal logs will be kept and variance due to moisture loss will be kept In Internal logs; adjusted, noted, and accounted for in METRC. Any waste will be noted in waste logs as well, and reported to AMCO via email three days before destroying and disposing of the waste material. Unpackaged quantities of bulk marijuana and/or marijuana product will remain locked in secure storage, consistent with our operating plan. METRC package tags will remain physically attached to the vessel containing bulk marijuana associated with each tag. Incoming marijuana or marijuana product which has been prepackaged prior to it's arrival at our facility will have the labeling double checked for compliance before being made available for retail sale. Product will then be added to inventory within the point of sale system, and may have additional, POS specific, labeling/sku added. Upon entering the establishment, a customer will immediately be asked to present ID. Once their ID has been checked they will select product from a menu, be given an opportunity to view or sniff the product before purchasing. Products will be placed in AMCO compliant exit packaging before leaving our facility. All sales will be entered though our point of sale system, and will be reported through METRC, daily.

Each drawer will be closed at the end of each shift and the proceeds from each shift and day will be verified against accountability reports generated by our POS. At the end of each day, the day will be closed out within our POS. Within 24 hours of the closure of a business day, our sales data will be uploaded to METRC. Routine internal audits will be conducted- verifying accuracy between METRC, our POS, and product on hand. Inventory of prepackaged products will occur each night at the close of the shift and/or each morning before opening on internal forms, i.e. shift reports. Retail operations are anticipated to begin at 10am until as late as 12:00 a.m., 7 days a week.

3.1 Cont'd: Employees will look for signs of Impairment to include but not limited to:

- watery eyes ,
- slurred speech,
- blood shot or red eyes,
- glassy eyes which may have trouble staying open,
- their gait,
- coordination. This list is not exhaustive. If any of the above signs or any others are Identified, they will be asked to leave the premises and no sales will occur. This facility implements a zero tolerance for non-compliant behavior on our licensed premises. Our policy requires that all personnel be trained on how to identify a person who is under the Influence of an alcoholic beverage, inhalant, or controlled substance as set forth above. Any person(s) who are suspected of being in violation of 3 AAC306.310(a)(2) will be asked to vacate the premises and will be notified that non compliance will result in a trespassing charge In which local law enforcement will be notified.

7.1 Cont'd response:

A book/pamphlet of all legal ID's for all 50 states will also be used to include Canada should any questions arise surrounding its authenticity. If questions surround its authenticity, age verification etc. the person will not be admitted in to the facility and will be told to leave the premises Immediately.



Alaska Marijuana Control Board

Form MJ-07: Public Notice Posting Affidavit

What is this form?

A public notice posting affidavit is required for all marijuana establishment license applications, per 3 AAC 306.020(b)(10). As soon as practical after initiating a marijuana establishment license application, an applicant must give notice of the application to the public by posting a true copy of the application for ten (10) days at the location of the proposed licensed premises and one other conspicuous location in the area of the proposed premises, per 3 AAC 306.025(b)(1).

This form must be completed and submitted to AMCO's main office before any new or transfer license application will be considered complete.

Section 1 - Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	License Number:	32848
License Type:	RETAIL MARIJUANA STORE		
Doing Business As:	Shoreline Cannabis		
Premises Address:	4200 E Snider Rd.		
City:	Wasilla	State:	Alaska
		ZIP:	99654

Section 2 - Certification

I certify that I have met the public notice requirement set forth under 3 AAC 306.025(b)(1) by posting a copy of my application for the following 10-day period at the location of the proposed licensed premises and at the following conspicuous location in the area of the proposed premises:

Start Date: April 13, 2022

End Date: May 4, 2022

Other conspicuous location: 3 Bears Bulletin Board @ 4 Corners: 8151 Palmer-Wasilla Hwy. Palmer, Ak 99645

I declare under penalty of unsworn falsification that this form, including all accompanying schedules and statements, is true, correct, and complete.

Signature of licensee

Justin Benson

Printed name of licensee



Notary Public in and for the State of Alaska

My commission expires: 2/28/26

Subscribed and sworn to before me this 6th day of July, 2022.



Alcohol and Marijuana Control Office
550 W 7th Avenue, Suite 1600
Anchorage, AK 99501
marijuana.licensing@alaska.gov
<https://www.commerce.alaska.gov/web/amco>
Phone: 907.269.0350

Alaska Marijuana Control Board
Form MJ-08: Local Government Notice Affidavit

What is this form?

A local government notice affidavit is required for all marijuana establishment license applications with a proposed premises that is located within a local government, per 3 AAC 306.025(b)(3). As soon as practical after initiating a marijuana establishment license application, an applicant must give notice of the application to the public by submitting a copy of the application to each local government and any community council in the area of the proposed licensed premises. For an establishment located inside the boundaries of city that is within a borough, both the city and the borough must be notified.

This form must be completed and submitted to AMCO's main office before any new or transfer license application will be considered complete.

Section 1 - Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	License Number:	32848		
License Type:	RETAIL MARIJUANA STORE				
Doing Business As:	Shoreline Cannabis				
Premises Address:	4200 E Snider Rd.				
City:	Wasilla	State:	Alaska	ZIP:	99654

Section 2 - Certification

I certify that I have met the local government notice requirement set forth under 3 AAC 306.025(b)(3) by submitting a copy of my application to the following local government (LG) official(s) and community council (if applicable):

Local Government(s): Mat-Su Borough Date Submitted: 7/13/2021
 Name/Title of LG Official 1: Lonnie R. McKechnie CMC, Borough Clerk Name/Title of LG Official 2: Alex Strawn, Planning & Land Use Director
 Community Council: South Lakes Community Council Date Submitted: (inactive)
(Municipality of Anchorage and Matanuska-Susitna Borough only)

I declare under penalty of unsworn falsification that this form, including all accompanying schedules and statements, is true, correct, and complete.

[Signature]
Signature of licensee
Justin Benson
Printed name of licensee



[Signature]
Notary Public in and for the State of Alaska
My commission expires: 2/28/2026

Subscribed and sworn to before me this 15th day of July, 2022.

Alcohol and Marijuana Control Office
550 W 7th Avenue, Suite 1600
Anchorage, AK 99501
marijuana.licensing@alaska.gov
<https://www.commerce.alaska.gov/web/amco>
Phone: 907.269.0350



Alaska Marijuana Control Board

Form MJ-09: Statement of Financial Interest

What is this form?

A statement of financial interest completed by each proposed licensee (as defined in 3 AAC 306.020(b)(2)) is required for all marijuana establishment license applications, per 3 AAC 306.020(b)(4). A person other than a licensee may not have direct or indirect financial interest (as defined in 3 AAC 306.015(e)(1)) in the business for which a marijuana establishment license is issued, per 3 AAC 306.015(a).

This form must be completed and submitted to AMCO's main office by each proposed licensee before any license application will be considered complete.

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	License Number:	32848
License Type:	RETAIL MARIJUANA STORE		
Doing Business As:	Shoreline Cannabis		
Premises Address:	4200 E Snider Rd.		
City:	WASILLA	State:	AK
		ZIP:	99654

Section 2 – Individual Information

Enter information for the individual licensee.

Name:	Athena Rotzler		
Title:	member/manager		
SSN:	██████████	Date of Birth:	██████████

Alcohol and Marijuana Control Office

550 W 7th Avenue, Suite 1600

Anchorage, AK 99501

marijuana.licensing@alaska.gov

<https://www.commerce.alaska.gov/web/amco>

Phone: 907.269.0350



Alaska Marijuana Control Board

Form MJ-09: Statement of Financial Interest

Section 3 – Certifications

I certify that no person other than a proposed licensee listed on my marijuana establishment license application has a direct or indirect financial interest, as defined in 3 AAC 306.015(e)(1), in the business for which a marijuana establishment license is being applied for.

I further certify that any ownership change shall be reported to the board as required under 3 AAC 306.040.

I understand that my fingerprints will be used to check the criminal history records of the Federal Bureau of Investigation (FBI), and that I have the opportunity to complete or challenge the accuracy of the information contained in the FBI identification record.

The procedures for obtaining a change, correction, or updating an FBI identification record are set forth in Title 28, CFR, 16.34.

I declare under penalty of unsworn falsification that this form, including all accompanying schedules and statements, is true, correct, and complete.

DocuSigned by:

35D62DEA202F4CZ

Signature of licensee

Athena Rotzler

Printed name of licensee

SARAH DONAHUE
Notary Public, State of Alaska
Commission # 18010103
My Commission Expires
2/28/26

My commission expires: 2/28/26

Subscribed and sworn to before me this 6th day of July, 2022

Alcohol and Marijuana Control Office
550 W 7th Avenue, Suite 1600
Anchorage, AK 99501

marijuana.licensing@alaska.gov

<https://www.commerce.alaska.gov/web/amco>

Phone: 907.269.0350



Alaska Marijuana Control Board

Form MJ-09: Statement of Financial Interest

What is this form?

A statement of financial interest completed by each proposed licensee (as defined in 3 AAC 306.020(b)(2)) is required for all marijuana establishment license applications, per 3 AAC 306.020(b)(4). A person other than a licensee may not have direct or indirect financial interest (as defined in 3 AAC 306.015(e)(1)) in the business for which a marijuana establishment license is issued, per 3 AAC 306.015(a).

This form must be completed and submitted to AMCO's main office by each proposed licensee before any license application will be considered complete.

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Lake Landing Investments, LLC	License Number:	32848		
License Type:	RETAIL MARIJUANA STORE				
Doing Business As:	Shoreline Cannabis				
Premises Address:	4200 E Snider Rd.				
City:	WASILLA	State:	AK	ZIP:	99654

Section 2 – Individual Information

Enter information for the individual licensee.

Name:	Justin Benson				
Title:	member/manager				
SSN:	██████████	Date of Birth:	██████████		



Alaska Marijuana Control Board

Form MJ-09: Statement of Financial Interest

Section 3 - Certifications

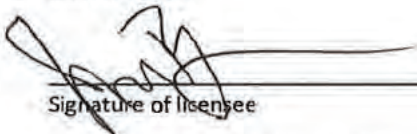
I certify that no person other than a proposed licensee listed on my marijuana establishment license application has a direct or indirect financial interest, as defined in 3 AAC 306.015(e)(1), in the business for which a marijuana establishment license is being applied for.

I further certify that any ownership change shall be reported to the board as required under 3 AAC 306.040.

I understand that my fingerprints will be used to check the criminal history records of the Federal Bureau of Investigation (FBI), and that I have the opportunity to complete or challenge the accuracy of the information contained in the FBI identification record.

The procedures for obtaining a change, correction, or updating an FBI identification record are set forth in Title 28, CFR, 16.34.


I declare under penalty of unsworn falsification that this form, including all accompanying schedules and statements, is true, correct, and complete.



Signature of licensee

Justin Benson

Printed name of licensee



SARAH DONAHUE Notary Public in and for the State of Alaska
Notary Public, State of Alaska
Commission # 180101034
My Commission Expires ~~January 1, 2022~~ My commission expires: 2/28/26

Subscribed and sworn to before me this 6th day of July, 2022.

ALASKA NOTARIES
FRONTIERSMAN
AFFIDAVIT OF PUBLICATION

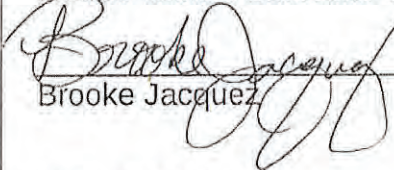
See Proof on Next Page

5751 E. MAYFLOWER CT.
Wasilla, AK 99654
(907) 352-2250 ph
(907) 352-2277 fax

UNITED STATES OF AMERICA, STATE OF ALASKA, THIRD DIVISION BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, THIS DAY PERSONALLY APPEARED BEFORE Brooke Jacquez WHO, BEING FIRST DULY SWORN, ACCORDING TO LAW, SAYS THAT SHE IS THE LEGAL AD CLERK OF THE PUBLISHED AT WASILLA AND CIRCULATED THROUGH OUT MATANUSKA SUSITNA BOROUGH, IN SAID DIVISION THREE AND STATE OF ALASKA AND THAT THE ADVERTISEMENT, OF WHICH THE ANNEXED IS A TRUE COPY, AND THAT THE RATE CHARGED THEREIN IS NOT IN EXCESS OF THE RATE CHARGED PRIVATE INDIVIDUALS, WAS PUBLISHED ON THE FOLLOWING DAYS:

PUBLICATION DATES:
15 Apr 2022, 22 Apr 2022, 29 Apr 2022

Notice Name: Shoreline Cannabis



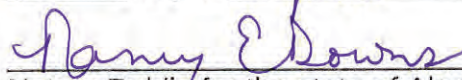
Brooke Jacquez

VERIFICATION

STATE OF ALASKA
MATANUSKA-SUSITNA BOROUGH

Signed or attested before me on this

29th day of April, A.D. 2022.



Notary Public for the state of Alaska
Justin Benson

NANCY E. DOWNS
Notary Public
State of Alaska
My Commission Expires
August 25, 2023

Lake Landing Investments, LLC is applying under 3 AAC 306.300 for a new Retail Marijuana Store License, License #32848, doing business as Shoreline Cannabis, located at 4200 E Snider Rd. Wasilla, AK, 99654, United States.

Interested persons may object to the application by submitting a written statement of reasons for the objection to their local government, the applicant, and the ALCOHOL & MARIJUANA CONTROL OFFICE (AMCO) not later than 30 days after the director has determined the application to be complete and has given written notice to the local government. Once an application is determined to be complete, the objection deadline and application information will be posted on AMCO's website at <https://www.commerce.alaska.gov/web/amco>. Objections should be sent to AMCO at marijuana.licensing@alaska.gov or to 550 W 7th Ave. Suite 1600, Anchorage, AK 99501.

Frontiersman

Publish Dates: 4/15/22, 4/22/22, 4/29/22

CORRESPONDENCE

From: [Brenda Butler](#)
To: [Rick Benedict](#)
Cc: [Justin Benson](#); [Jana Weltzin](#)
Subject: Re: FW: DOT&PF CUP Comment Letter - Smoke Out Point, Shoreline Cannabis
Date: Wednesday, May 29, 2024 3:09:46 PM
Attachments: [Shoreline Cannabis_2024-05-28.pdf](#)
[Engineer Letter.pdf](#)
[Site Plan - ALTERNATE Snider Dr Access.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Please find the attached Engineer letter, Site plan and Alternate Snider Dr access site plan for Shoreline Cannabis.

Let us know if there is anything else you need.

Thank you!

On Mon, May 13, 2024 at 2:45 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good afternoon,

Please see comments received from ADOT because of public notice for Shoreline Cannabis's CUP application.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Huling, Kristina N (DOT) <kristina.huling@alaska.gov>

Sent: Monday, May 13, 2024 1:02 PM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Cc: Baski, Sean M (DOT) <sean.baski@alaska.gov>; Beckwith, Morris R (DOT) <morris.beckwith@alaska.gov>; Bosin, Anna D (DOT) <anna.bosin@alaska.gov>; Brad Sworts <Brad.Sworts@matsugov.us>; Rearden, Devki (DOT) <devki.rearden@alaska.gov>; Walsh, Matthew H (DOT) <matthew.walsh@alaska.gov>

Subject: DOT&PF CUP Comment Letter - Smoke Out Point, Shoreline Cannabis

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Rick,

Attached are DOT&PF agency comments for the Smoke Out Point and Shoreline Cannabis Conditional Use Permits.

Thank you,

Kristina Huling

Mat-Su Area Planner | 907.269.0509

Alaska DOT&PF, Anchorage; Planning

--

**** Please REPLY ALL when responding to this Email****

Brenda Butler

JDW Counsel

Senior Paralegal, Notary Public
& Accounts Payable/Receivable

901 Photo Avenue, Second Floor

Anchorage, Alaska 99503

Phone: 907-231-3750

Fax: 360-483-3750

brenda@jdwcounsel.com

info@jdwcounsel.com

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Think green, please don't print unnecessarily

From: [Jana Weltzin](#)
To: [Rick Benedict](#)
Cc: [Justin Benson](#); [Brenda Butler](#)
Subject: Re: Shoreline Cannabis CUP - Public Hearing & Public Notice
Date: Thursday, May 16, 2024 9:49:08 AM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick - sounds great - Justin is working on revised site plan with his engineer and we should have something for you soon! Justin - pls send to Rick and us as soon as you get it done. thanks!

Jana D. Weltzin, Esq.

JDW, LLC

Principal Owner

901 Photo Avenue

Anchorage, Alaska 99503

jana@jdwcounsel.com

907-231-3750 Office Line

630-913-1113 Cell

*Licensed in Alaska and Arizona

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On Thu, May 16, 2024 at 8:45 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hello Jana,

The packet is expected to be finalized and ready for distribution on Monday, June 10.

Is there any follow-up on the comments the Borough's PD&E department provided concerning drainage on the property resulting from the new driveway? If we cannot resolve

this by the hearing date, a condition of approval will be recommended to the PC that the recommended action be completed before the operation opens for business.

Thank you,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Jana Weltzin <jana@jdwcounsel.com>
Sent: Wednesday, May 15, 2024 3:57 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Justin Benson <justin.benson121@yahoo.com>; Brenda Butler <brenda@jdwcounsel.com>
Subject: Re: Shoreline Cannabis CUP - Public Hearing & Public Notice

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Thanks Rick - we will get payment submitted to you - question, when do you think the staff report will be available for review? thx!

Jana D. Weltzin, Esq.

JDW, LLC

Principal Owner

901 Photo Avenue

Anchorage, Alaska 99503

jana@jdwcounsel.com

907-231-3750 Office Line

630-913-1113 Cell

*Licensed in Alaska and Arizona

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On Wed, May 15, 2024 at 2:39 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good afternoon,

The conditional use permit application for Shoreline Cannabis has been distributed for comments. In accordance with the requirements of MSB 17.03 – Public Notification, the applicant shall pay the cost of mailings or advertisements required by the ordinance specific to that action. The Matanuska-Susitna Borough must receive payment **before** the public hearing. Please be advised of the following charges:

Advertising:	\$90.00
Mailing:	<u>11.10</u>
TOTAL DUE:	\$101.10

The advertisement was published in the May 1, 2024, edition of the Frontiersman. In addition, notifications were mailed to all properties within 600 feet of the subject property and Midway Estates Subdivision.

The public hearing with the Planning Commission is scheduled for **June 17, 2024**. Public hearings begin at **6:00 p.m.** and are held in the public meeting hall located on the first floor of the Mat-Su Borough building. Attending or being represented at that meeting would be in your best interest.

Please contact me should you have any questions or require additional information.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: [Brenda Butler](#)
To: [Rick Benedict](#)
Cc: [Justin Benson](#); [Jana Weltzin](#); [Randi Baker](#)
Subject: Re: Shoreline Cannabis Conditional Use Permit Application
Date: Tuesday, April 9, 2024 11:10:20 AM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

This is wonderful news. The same proposed retail hours are acceptable if the PC takes issue, we have no problem ensuring that the residents are not negatively affected by the retail store.

Thank you and have a wonderful day!

On Tue, Apr 9, 2024 at 10:53 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hi Brenda,

This application has been deemed complete and scheduled for the June 17th PC public hearing.

Concerning a previous conversation we had on a separate marijuana retail, the PC may take issue with the proposed operational hours of 8 a.m. to midnight, Monday through Friday, due to the proximity of the use to residential uses immediately to the east and south.

The application suggested that operational hours are a moving target. Is your client open to considering operational hours from 10am until 10pm Sunday through Thursday, and 10am until Midnight Friday and Saturday?

Thank you,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Brenda Butler <brenda@jdwcounsel.com>
Sent: Wednesday, April 3, 2024 4:20 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Justin Benson <justin.benson121@yahoo.com>; Jana Weltzin <jana@jdwcounsel.com>; Randi Baker <randi@jdwcounsel.com>

Subject: Re: Shoreline Cannabis Conditional Use Permit Application

[**EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.**]

Good Afternoon Rick,

Please find the attached updated narrative, site plans and DOT driveway permit to address the items in your 3.6.2024 RFAI.

Thank you and have a wonderful evening!

On Thu, Mar 7, 2024 at 11:29 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hello Brenda,

Upon review of the application materials for Shoreline Cannabis, further information is required and/or needs amending. Please see the attached request for additional information.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Brenda Butler <brenda@jdwounsel.com>

Sent: Thursday, February 15, 2024 4:01 PM

To: Rick Benedict <Rick.Benedict@matsugov.us>; Peggy Horton <Peggy.Horton@matsugov.us>

Cc: Justin Benson <justin.benson121@yahoo.com>; Jana Weltzin <jana@jdwounsel.com>; Randi Baker <randi@jdwounsel.com>

Subject: Shoreline Cannabis Conditional Use Permit Application

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick and Peggy,

Please find the attached application and supporting documents for Retail Marijuana Store conditional use permit.

The \$1500.00 application fee will be paid via the MSB eCommerce site using the AMCO license number 32848 immediately after this submission.

Please confirm receipt of this email submission and all 9 of its attachments.

Thank you and have a wonderful evening.

--

***** Please REPLY ALL when responding to this Email*****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
Phone: 907-231-3750
Fax: 360-483-3750
brenda@jdwcounsel.com
info@jdwcounsel.com

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Think green, please don't print unnecessarily

--

***** Please REPLY ALL when responding to this Email*****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
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Think green, please don't print unnecessarily

From: [Rick Benedict](#)
To: [Brenda Butler](#)
Cc: [Jana Weltzin](#); [Justin Benson](#)
Subject: FW: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Wednesday, May 1, 2024 3:34:00 PM

Good afternoon,

The MSB PD&E commented on this application concerning pavement improvements related to the new driveway from Snider Drive, stormwater run-off, and drainage concerns. Please consider their feedback in the chained email below and make the necessary changes to the application narrative and site plans to address these issues.

Should the updated application narrative and site plans not be received in time for PD&E follow-up review before the PC meeting, conditions of approval will be recommended. Those proposed conditions of approval will require designing and constructing a retention basin or similar drainage feature to retain the increased runoff on the subject property before beginning operations at the site.

Please let me know if you have any questions.

Thank you,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Daniel Dahms <Daniel.Dahms@matsugov.us>
Sent: Wednesday, May 1, 2024 11:25 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

Rick,

The applicant should update the site plan to show all of the proposed improvements including pavement. Since the construction has turn existing gravel surfaces into paved surfaces, the stormwater runoff generated from the site has increased. To account for this, a retention basin or similar drainage feature should be designed and constructed on the site to retain the increased runoff.

Daniel Dahms, PE
Department of Public Works

Pre-Design and Engineering Division

From: Daniel Dahms

Sent: Wednesday, May 1, 2024 11:21 AM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>

Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

Rick,

PD&E supports access from the facility onto Snider Drive as shown on driveway permit D2736.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Rick Benedict <Rick.Benedict@matsugov.us>

Sent: Thursday, April 25, 2024 10:06 AM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Justin Benson, on behalf of Shoreline Cannabis

LOCATION: 4200 E. Snider Drive, Wasilla, AK 99654; Tax ID# 5274B03L007A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before **Friday, May 31, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: [Rick Benedict](#)
To: [Justin Benson](#)
Cc: [Jana Weltzin](#); [Brenda Butler](#)
Subject: FW: DOT&PF CUP Comment Letter - Smoke Out Point, Shoreline Cannabis
Date: Monday, May 13, 2024 2:45:00 PM
Attachments: [5-13-24 DOT&PF CUP Comment Letter - Smoke Out Point LLC, Shoreline Cannabis LLC.pdf](#)

Good afternoon,

Please see comments received from ADOT because of public notice for Shoreline Cannabis's CUP application.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Huling, Kristina N (DOT) <kristina.huling@alaska.gov>
Sent: Monday, May 13, 2024 1:02 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Baski, Sean M (DOT) <sean.baski@alaska.gov>; Beckwith, Morris R (DOT) <morris.beckwith@alaska.gov>; Bosin, Anna D (DOT) <anna.bosin@alaska.gov>; Brad Sworts <Brad.Sworts@matsugov.us>; Rearden, Devki (DOT) <devki.rearden@alaska.gov>; Walsh, Matthew H (DOT) <matthew.walsh@alaska.gov>
Subject: DOT&PF CUP Comment Letter - Smoke Out Point, Shoreline Cannabis

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Rick,

Attached are DOT&PF agency comments for the Smoke Out Point and Shoreline Cannabis Conditional Use Permits.

Thank you,

Kristina Huling

Mat-Su Area Planner | 907.269.0509
Alaska DOT&PF, Anchorage; Planning



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

Department of Transportation and Public Facilities

Division of Project Delivery
Anchorage Field Office

4111 Aviation Avenue
P.O. Box 196900
Anchorage, AK 99519-6900
Main: 907-269-0520
Fax: 907-269-0521
dot.alaska.gov

May 13, 2024

Rick Benedict, Planner II
Development Services Division
Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645

[Sent Electronically]

Re: Conditional Use Permit Review

Dear Mr. Benedict:

The Alaska Department of Transportation and Public Facilities (DOT&PF) Central Region has reviewed the following conditional use permits and have the following comments:

- **CUP M10302 – Conditional Use Permit for Marijuana Related Facilities – MSB 17.60 – Lake Landing Investments, LLC DBA Shoreline Cannabis (Palmer-Wasilla Highway)**
 - Please ensure that driveway permit is current.
 - Future access from the Palmer-Wasilla Highway may be limited to right turns in and right turns out only.
 - Future access to property may be limited to Snider Drive only. Please consider this in your site plans.

- **CUP M10261 – Conditional Use Permit for Marijuana Related Facilities – MSB 17.60 – Smoke Out Point LLC, DBA Smoke Out Point (Glenn Highway)**
 - No direct access to the Glenn Highway will be permitted. All access must be through Max Drive.
 - All utilities must access through Max Drive, no utility connections through the Glenn Highway or Glenn Highway right of way.
 - Please ensure that well, fence, septic, and business sign, including any overhang from the sign, are outside of the Glenn Highway right of way.
 - Please be advised that this site is within the corridor of the [Glenn Highway MP 34-42 Reconstruction Project](#) which is in active construction. Further questions about the project can be directed to project manager Ericka Moore at ericka.moore@alaska.gov or (907) 269-0450.

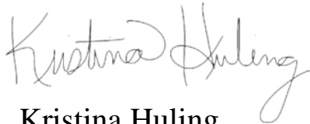
All properties accessing DOT&PF roads must apply to Right of Way for a driveway permit and/or approach road review, subject to provisions listed in 17 AAC 10.020. Any previously issued access permits become invalid once the property undergoes a platting action or change in use and must be reissued.

We recommend the petitioner verify all section line easements and DOT&PF road rights-of-way adjacent to their property. For assistance, the petitioner may contact the Engineering group within the Right of Way section in DOT&PF at (907) 269-0700. The petitioner is liable to remove any improvements within the easements and rights-of-way that impede the operation and maintenance of those facilities even if they are not shown on the plat, so it is in the petitioner's best interest to identify the exact locations and widths of any such easements or rights-of-way before they improve the property.

If any section line easements or road rights-of-way exist within the bounds of their plat, we recommend the petitioner dedicate them. If there is an existing right-of-way or easement, the petitioner is unable to develop that portion of the property yet continues to pay property taxes on it; dedicating will remove that cost to the petitioner.

If there are any questions regarding these comments please feel free to contact me at (907) 269-0509 or kristina.huling@alaska.gov.

Sincerely,



Kristina Huling
Mat-Su Area Planner, DOT&PF

cc: Sean Baski, Highway Design Chief, DOT&PF
Matt Walsh, Property Management Supervisor, Right of Way, DOT&PF
Devki Rearden, Engineering Associate, DOT&PF
Morris Beckwith, Right of Way, DOT&PF
Brad Sworts, Pre-Design & Engineering Div. Manager, MSB
Anna Bosin, Traffic & Safety Engineer, DOT&PF

From: [Rick Benedict](#)
To: "Brenda Butler"
Cc: [Justin Benson](#); [Jana Weltzin](#); [Randi Baker](#)
Subject: RE: Shoreline Cannabis Conditional Use Permit Application
Date: Thursday, March 7, 2024 11:29:00 AM
Attachments: [ADA Parking Regulations.pdf](#)
[RFAI 3-6-24.pdf](#)

Hello Brenda,

Upon review of the application materials for Shoreline Cannabis, further information is required and/or needs amending. Please see the attached request for additional information.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Brenda Butler <brenda@jdw Counsel.com>
Sent: Thursday, February 15, 2024 4:01 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>; Peggy Horton <Peggy.Horton@matsugov.us>
Cc: Justin Benson <justin.benson121@yahoo.com>; Jana Weltzin <jana@jdw Counsel.com>; Randi Baker <randi@jdw Counsel.com>
Subject: Shoreline Cannabis Conditional Use Permit Application

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick and Peggy,

Please find the attached application and supporting documents for Retail Marijuana Store conditional use permit.

The \$1500.00 application fee will be paid via the MSB eCommerce site using the AMCO license number 32848 immediately after this submission.

Please confirm receipt of this email submission and all 9 of its attachments.

Thank you and have a wonderful evening.

--

**** Please REPLY ALL when responding to this Email****

Brenda Butler
JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
Phone: 907-231-3750

Fax: 360-483-3750

brenda@jdwcounsel.com

info@jdwcounsel.com

The author of this email is not an attorney. This communication does not constitute legal advice and should not be construed as such. The information contained in this message is privileged and confidential. It is intended only to be read by the individual or entity named above or their designee. If the reader of this message is not the intended recipient, you are on notice that any distribution of this message, in any form is strictly prohibited. If you have received this message in error, please immediately notify the sender by telephone at 630-913-1113 and delete or destroy any copy of this message. Thank you.

Think green, please don't print unnecessarily



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

March 7, 2024

Justin Benson
PO Box 141463
Anchorage, AK 99514

SUBJECT: Conditional Use Permit Application for Marijuana Retail Facility – Request for Required Information

LOCATION: 4200 E Snider Drive, Tax ID #5274B03L007A

Dear Mr. Benson,

Borough staff has reviewed the application material and the site plan(s) submitted on February 20, 2024, for a Conditional Use Permit to operate a Marijuana Retail Facility under MSB 17.60 on the above-referenced property. It has been determined that the following information needs to be provided and/or clarified to process this request:

1. Site Plan: The site plan is insufficient. Please review page two of the application, which shows all the requirements for a site plan (i.e. to-scale, distance to property lines, existing/proposed structures, etc.).
 - a. *The distances from all sides of the retail facility to the nearest position of all current lot lines. Per MSB 17.60.160, front, side, and rear setback distances must be met, and the distances identified on the site plan. Setback distances were noted to the side lot lines. However, the front and rear setback distances were not.*
 - b. *Drainage plan – identify the drainage patterns of the subject parcel on the provided site plans. Arrows pointing toward water drainage are one acceptable means to identify drainage patterns.*
 - c. *Update the site plan to satisfy ADA parking requirements regarding van-accessible spaces and signage.*
2. Provide a narrative to describe the distance in feet to the nearest school grounds according to MSB 17.60.150(B)(1) and (C).
3. Update the application narrative and site plan to identify how the proposed use will meet ADA parking space requirements according to MSB 17.603170(C). See the provided ADA informational guide concerning van-accessible parking and signage requirements.

4. Provide a state-issued driveway permit to access the East Palmer-Wasilla Highway right-of-way, as the submitted site plans depicted.
5. Provide a narrative describing the proposed retail facility's construction materials and colors.

Once an application has been completed, staff will begin the public notice process. Should you have any questions or require additional information, please contact me at the above mailing address, phone: (907) 861-8527, or email: rick.benedict@matsugov.us. Thank you for your time and consideration on this matter.

Respectfully,

Rick Benedict

Current Planner
Matanuska-Susitna Borough

Cc:
Attorney Jana Weltzin, via email

Agency Comments

From: [Huling, Kristina N \(DOT\)](#)
To: [Rick Benedict](#)
Cc: [Baski, Sean M \(DOT\)](#); [Beckwith, Morris R \(DOT\)](#); [Bosin, Anna D \(DOT\)](#); [Brad Sworts](#); [Rearden, Devki \(DOT\)](#); [Walsh, Matthew H \(DOT\)](#)
Subject: DOT&PF CUP Comment Letter - Smoke Out Point, Shoreline Cannabis
Date: Monday, May 13, 2024 1:03:53 PM
Attachments: [5-13-24 DOT&PF CUP Comment Letter - Smoke Out Point LLC, Shoreline Cannabis LLC.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Rick,

Attached are DOT&PF agency comments for the Smoke Out Point and Shoreline Cannabis Conditional Use Permits.

Thank you,

Kristina Huling

Mat-Su Area Planner | 907.269.0509
Alaska DOT&PF, Anchorage; Planning



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

Department of Transportation and Public Facilities

Division of Project Delivery
Anchorage Field Office

4111 Aviation Avenue
P.O. Box 196900
Anchorage, AK 99519-6900
Main: 907-269-0520
Fax: 907-269-0521
dot.alaska.gov

May 13, 2024

Rick Benedict, Planner II
Development Services Division
Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645

[Sent Electronically]

Re: Conditional Use Permit Review

Dear Mr. Benedict:

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 - All utilities must access through Max Drive, no utility connections through the Glenn Highway or Glenn Highway right of way.
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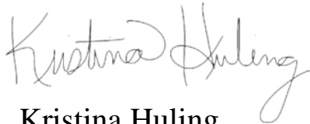
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If there are any questions regarding these comments please feel free to contact me at (907) 269-0509 or kristina.huling@alaska.gov.

Sincerely,



Kristina Huling
Mat-Su Area Planner, DOT&PF

cc: Sean Baski, Highway Design Chief, DOT&PF
Matt Walsh, Property Management Supervisor, Right of Way, DOT&PF
Devki Rearden, Engineering Associate, DOT&PF
Morris Beckwith, Right of Way, DOT&PF
Brad Sworts, Pre-Design & Engineering Div. Manager, MSB
Anna Bosin, Traffic & Safety Engineer, DOT&PF

From: [Fire Code](#)
To: [Rick Benedict](#)
Cc: [Jeffrey Anderson](#)
Subject: FW: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Thursday, April 25, 2024 4:03:42 PM
Attachments: [image001.png](#)

A plan review has been approved for Shoreline Cannabis on 8/24/2023. We are pending a final inspection before submitting a notice of compliance to AMCO.



NOTE: 13 AAC 50.027 prohibits the beginning of any construction, repair, remodel, addition or change of occupancy of any structure regulated by the Fire Marshal until plans and specifications have been reviewed and approved.

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 10:06 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Justin Benson, on behalf of Shoreline Cannabis

LOCATION: 4200 E. Snider Drive, Wasilla, AK 99654; Tax ID# 5274B03L007A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

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[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](http://www.matsugov.us)

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Respectfully,

Rick Benedict – Current Planner

Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct



Matanuska-Susitna Borough

Development Services Division

Request for Review

Contact: Phone:

Due Date:

Project:

Special Considerations

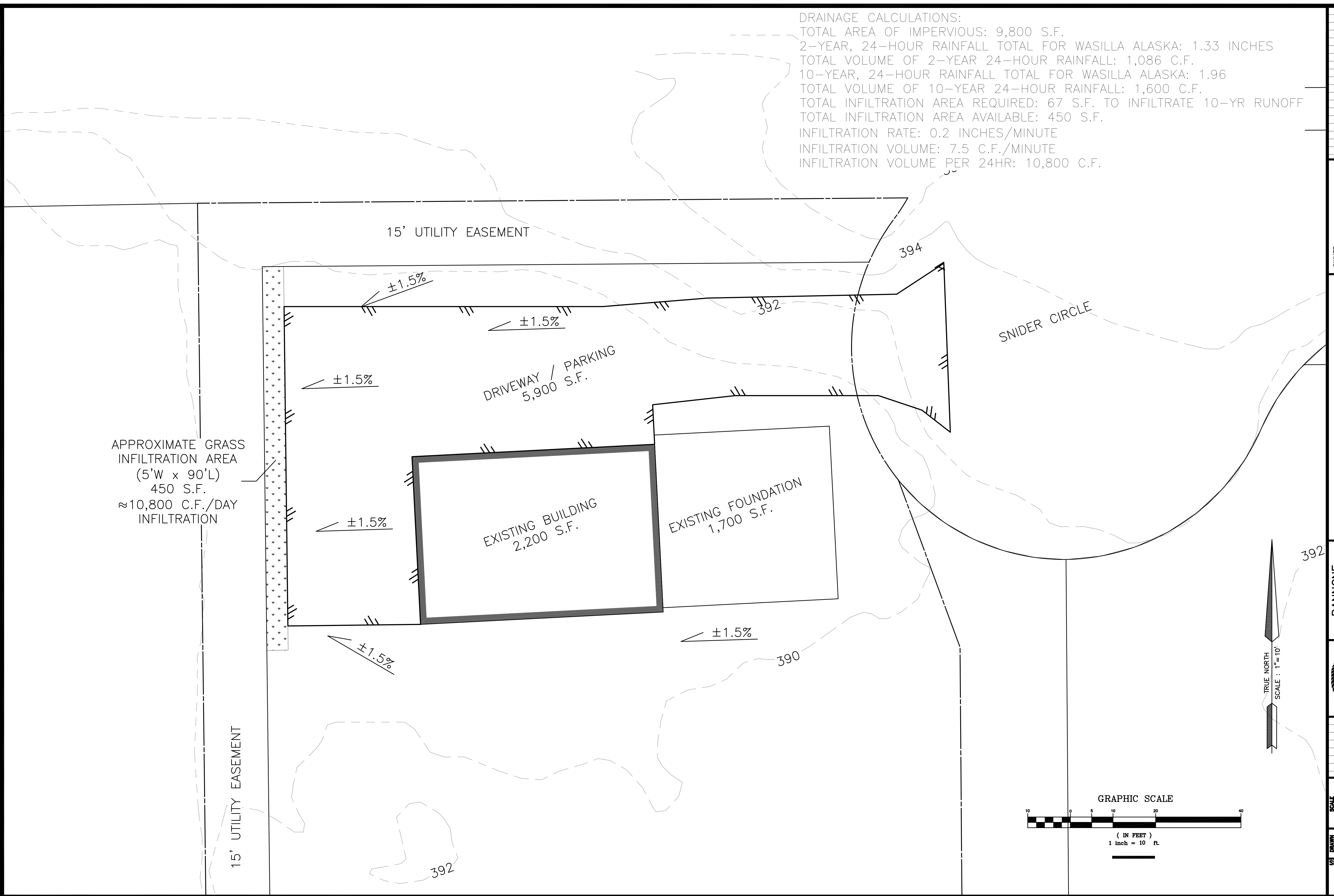
Reviewed By: Date:

No Comment:

Comments:

NOTES

DRAINAGE CALCULATIONS:
 TOTAL AREA OF IMPERVIOUS: 9,800 S.F.
 2-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.33 INCHES
 TOTAL VOLUME OF 2-YEAR 24-HOUR RAINFALL: 1,086 C.F.
 10-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.96
 TOTAL VOLUME OF 10-YEAR 24-HOUR RAINFALL: 1,600 C.F.
 TOTAL INFILTRATION AREA REQUIRED: 67 S.F. TO INFILTRATE 10-YR RUNOFF
 TOTAL INFILTRATION AREA AVAILABLE: 450 S.F.
 INFILTRATION RATE: 0.2 INCHES/MINUTE
 INFILTRATION VOLUME: 7.5 C.F./MINUTE
 INFILTRATION VOLUME PER 24HR: 10,800 C.F.



OWNER:
 NAME
 COMPANY
 ADDRESS
 CITY

SITE DRAINAGE PLAN
 MIDWAY EST UNIT #1 RSB, BLOCK 3, LOT 7A
 4200 E. SNIDER DRIVE

PANNONE ENGINEERING SERVICES LLC
 P.O. BOX 100217
 ANCHORAGE, AK 99510
 T: (907) 272-8218
 F: (907) 272-8211



REVISIONS

NO.	DESCRIPTION

SCALE	P.L.D. NO.	PERMIT NO.

DRAWN	CHECKED	GRID	DATE

Pannone Engineering Services LLC

Steven R. Pannone, Principal
Registered Professional Engineer
E-mail: steve@panengak.com

Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer, Alaska 99645

C.O.
Morgan Hall
Justin Benson

Subject: 4200 E Snider Road
Stormwater Runoff

This is a drainage narrative pertaining to the subject lot.
The subject lot on 4200 E Snider Road has a surface layer of well drained NFS gravel. The proposed development on the site will re-purpose the existing buildings. The existing storm water runoff from the lot flows to the west towards a vegetative buffer easement and is infiltrated into the ground before it leaves the gravel area. Assuming the infiltrative area surrounding the proposed development/impervious area is 5' wide on the west side of the building/parking lot and does not reach any lot line, all runoff from a 10-year 24-hour storm event will be infiltrated with excess capacity.

DRAINAGE CALCULATIONS:
TOTAL AREA OF IMPERVIOUS: 9,800 S.F.
2-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.33 INCHES
TOTAL VOLUME OF 2-YEAR 24-HOUR RAINFALL: 1,086 C.F.
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INFILTRATION VOLUME PER 24HR: 10,800 C.F.

Sincerely,



28 May 2024
Steven R. Pannone, PE, F. ASCE
Owner/Civil Engineer

Mailing: P.O.Box 1807, Palmer, AK 99645
Telephone: (907) 745-8200 FAX: (907) 745-8201

From: [Daniel Dahms](#)
To: [Rick Benedict](#)
Cc: [Brad Sworts](#); [Jamie Taylor](#); [Tammy Simmons](#)
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Wednesday, May 1, 2024 11:25:24 AM

Rick,

The applicant should update the site plan to show all of the proposed improvements including pavement. Since the construction has turn existing gravel surfaces into paved surfaces, the stormwater runoff generated from the site has increased. To account for this, a retention basin or similar drainage feature should be designed and constructed on the site to retain the increased runoff.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Daniel Dahms
Sent: Wednesday, May 1, 2024 11:21 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

Rick,

PD&E supports access from the facility onto Snider Drive as shown on driveway permit D2736.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 10:06 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Justin Benson, on behalf of Shoreline Cannabis

LOCATION: 4200 E. Snider Drive, Wasilla, AK 99654; Tax ID# 5274B03L007A

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[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

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Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: [Daniel Dahms](#)
To: [Rick Benedict](#)
Cc: [Brad Sworts](#); [Jamie Taylor](#); [Tammy Simmons](#)
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Wednesday, May 1, 2024 11:21:10 AM

Rick,

PD&E supports access from the facility onto Snider Drive as shown on driveway permit D2736.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 10:06 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Justin Benson, on behalf of Shoreline Cannabis

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Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: [Permit Center](#)
To: [Rick Benedict](#)
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Friday, April 26, 2024 11:13:35 AM

No comments from the Permit Center.

Brandon Tucker

Permit Technician

[Matanuska-Susitna Borough Permit Center](#)

350 E Dahlia Ave

Palmer AK 99645

P (907) 861-7871

F (907) 861-8158

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 10:06 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

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An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before **Friday, May 31, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough

(907)861-8527 direct

From: [Rick Benedict](#)
To: [Brenda Butler](#)
Cc: [Jana Weltzin](#); [Justin Benson](#)
Subject: FW: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Wednesday, May 1, 2024 3:34:00 PM

Good afternoon,

The MSB PD&E commented on this application concerning pavement improvements related to the new driveway from Snider Drive, stormwater run-off, and drainage concerns. Please consider their feedback in the chained email below and make the necessary changes to the application narrative and site plans to address these issues.

Should the updated application narrative and site plans not be received in time for PD&E follow-up review before the PC meeting, conditions of approval will be recommended. Those proposed conditions of approval will require designing and constructing a retention basin or similar drainage feature to retain the increased runoff on the subject property before beginning operations at the site.

Please let me know if you have any questions.

Thank you,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Daniel Dahms <Daniel.Dahms@matsugov.us>
Sent: Wednesday, May 1, 2024 11:25 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

Rick,

The applicant should update the site plan to show all of the proposed improvements including pavement. Since the construction has turn existing gravel surfaces into paved surfaces, the stormwater runoff generated from the site has increased. To account for this, a retention basin or similar drainage feature should be designed and constructed on the site to retain the increased runoff.

Daniel Dahms, PE
Department of Public Works

Pre-Design and Engineering Division

From: Daniel Dahms
Sent: Wednesday, May 1, 2024 11:21 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

Rick,

PD&E supports access from the facility onto Snider Drive as shown on driveway permit D2736.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 10:06 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Justin Benson, on behalf of Shoreline Cannabis

LOCATION: 4200 E. Snider Drive, Wasilla, AK 99654; Tax ID# 5274B03L007A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before **Friday, May 31, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

Public Comments

From: [Rod Cummings](#)
To: [Rick Benedict](#)
Subject: Proposed MRF on E. Snider Drive Tax ID#5274B03L007A
Date: Friday, May 31, 2024 6:43:23 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mr. Benedict,

I oppose granting the conditional use permit for the operation of a Marijuana Retail Facility requested by Justin Benson on behalf of Shoreline Cannabis at 4200 E. Snider Drive.

The as-constructed roadway geometry of the approaches from the Palmer-Wasilla Highway and E. Snider Drive to the proposed retail facility is insufficient to accommodate the additional 50 vehicles per hour during peak traffic time that was calculated by Hansen Land Solutions [REF: email from Sam NuquL at HLS, as attached to the application]. The effect of this is that excess traffic will be diverted down E. Snider Drive and through a residential subdivision (Midway Estates). This additional traffic will negatively impact the character of this residential neighborhood. Further, while MSB 17.60.170 states that there must be a *minimum* of one parking space per 350 square feet of net floor area, the proposed 8 parking spaces would clearly be insufficient to accommodate the parking demand of the calculated 50 vehicles per hour during peak traffic times.

Also, with reference to parking, the drawings indicate that the van-accessible parking space proposed on the northeast corner of the building would require customers using that parking space to travel all the way around the building to the southwest entrance to access the retail showroom. This would be a clear violation of the ADA requirements for the indicated location of accessible parking. The other option would be that they would need to enter via the northeast door and then travel through the warehouse/stock/storage area of the facility before entering the retail showroom. This does not seem like an appropriate accessible path for customers entering the retail facility, and would likely also be a violation of the ADA.

Additionally, even if it is assumed that the north arrow on the facility configuration diagram(s) included in the application is reversed [REF: MJ-02 Diagram 1, 2, 5a], and the public entrance to the showroom would actually be near the van-accessible parking space at the northeast corner of the facility, the drawings show that even the *minimum* number of parking spaces extend beyond the building to the west. Any vehicles parked in these spaces would block access to any traffic (deliveries, etc.) headed to the door in the south west corner of the facility.

This location (4200 E. Snider Drive) is clearly not appropriate for the intended use as a Marijuana Retail Facility.

Thank you,

Rod Cummings
4330 E. Snider Drive

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



3 1103B3AL005A
JOHNSON JOE A & NANCY K
PO BOX 876410
WASILLA AK 99687-6410

The Matanuska-Susitna Borough Planning Commission will consider the following:

Justin Benson, on behalf of Shoreline Cannabis, applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive (Tax ID# 5274B03L007A).

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on Monday, June 17, 2024, at 6:00 p.m. in the Borough Assembly Chambers at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission, and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking “All Public Notices & Announcements.” For additional information, contact Rick Benedict, Current Planner, at (907) 861-8527. Provide written comments by e-mail to rick.benedict@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk’s office, and at various libraries within the borough.

Comments are due on or before May 31, 2024, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report but will be provided to the Commission at the meeting.

Name: Joe & Nancy Johnson Mailing Address: PO Box 876410, Wasilla, 99687

Location/Legal Description of your property: 4300 Snider Dr. (Lot 3 BL5A)

Comments: We are opposed to a cannabis retail shop in our neighborhood.

① There are two cannabis shops approx 1 mile west of here and 1 cannabis shop approx a mile east. There are enough in this area.

② Concern for reduced property values because of this type of business in the neighborhood.

③ Although this has become a more commercial area, there are still single family residences here with minors residing here.

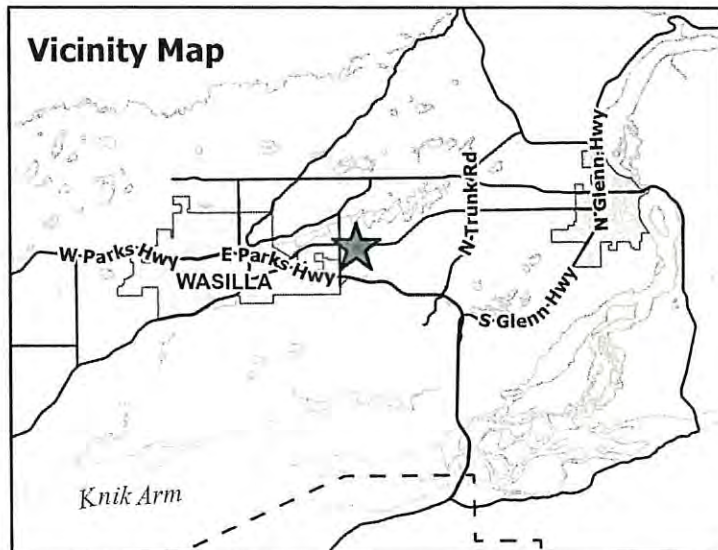
④ We prefer NOT to have the smell of pot wafting through the neighborhood while we are out enjoying our limited summer days in our yards.



5274B03L007A



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.



From: [James Christopher](#)
To: [Rick Benedict](#)
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Wednesday, May 1, 2024 1:35:56 PM
Attachments: [MSB No Comments 17.60.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

Please see ENSTARS attached letter with no comments.

Thank you,

Jimmy Christopher
Right of Way Agent
ENSTAR Natural Gas Company, LLC
O: (907) 334-7944
C: (614) 623-3466

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 10:06 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

CAUTION: This email originated outside of ENSTAR/TSU. Do not click links or open attachments unless you recognize the sender and know the content is safe. If you are not sure, use the "Report Phish" button or contact enstar.helpdesk@enstarnaturalgas.com

APPLICANT: Justin Benson, on behalf of Shoreline Cannabis

LOCATION: 4200 E. Snider Drive, Wasilla, AK 99654; Tax ID# 5274B03L007A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

Application materials may be viewed online at www.matsugov.us by clicking on 'All Public Notices & Announcements'. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before **Friday, May 31, 2024**, and will be included in the Planning

Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

May 1, 2024

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following conditional use permit request and has no comments or recommendations.

- **MARIJUANA RELATED FACILITIES
(MSB 17.60)**

If you have any questions, please feel free to contact me at 334-7944 or by email at james.christopher@enstarnaturalgas.com.

Sincerely,

A handwritten signature in cursive script that reads "James Christopher".

James Christopher
Right of Way Agent
ENSTAR Natural Gas Company, LLC

DRAFT
PLANNING COMMISSION
RESOLUTION

By: Rick Benedict
Introduced: June 3, 2024
Public Hearing: June 17, 2024
Action:

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. PC 24-08**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A MARIJUANA RETAIL FACILITY AT 4200 E. Snider Drive, TAX ID#5274B03L007A.

WHEREAS, an application has been received from Justin Benson on behalf of Shoreline Cannabis for a conditional use permit for the operation of a marijuana retail facility at 4200 E. Snider Drive, TAX ID#5274B03L007A; and

WHEREAS, MSB 17.60.030(A)(4) requires a conditional use permit for the operation of a marijuana retail facility; and

WHEREAS, unless this type of use is maintained under and in accordance with a lawfully issued permit, marijuana retail facilities are declared to be a public nuisance; and

WHEREAS, the subject parcel is approximately 1.18 acres in size; and

WHEREAS, based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required; and

WHEREAS, the subject parcel is within the boundary of the South Lakes Community Council, which is not active; and

WHEREAS, the subject parcel is part of the Midway Estates subdivision; and

WHEREAS, the applicant has submitted an authorization form signed by the property owner, permitting Shoreline Cannabis to operate as a marijuana retail store within the existing commercial building; and

WHEREAS, the proposed retail facility will be contained within an existing 60' x 40' commercial structure of approximately 2,400 square feet; and

WHEREAS, Borough records indicate that the existing building was constructed around 2001, and

WHEREAS, the subject building has been used commercially since approximately 2001, previously serving as a construction supply store; and

WHEREAS, according to the application material, the building's exterior is beige, with steel side panels, silver metal roofing, black accents, and black doors; and

WHEREAS, the proposed use will access East Palmer-Wasilla Highway and East Snider Drive, for which the applicant has obtained driveway permits from ADOT&PF (#26370) and the Borough's permitting center (#D28736); and

WHEREAS, the Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, shows a "Marijuana Dispensary" of approximately 2,400 square feet in an urban area is expected to

produce approximately 55 trips per weekday PM hour based on the average trip start/end generation rates; and

WHEREAS, uses along the East Palmer-Wasilla Highway frontage are mostly commercial; and

WHEREAS, East Palmer-Wasilla Highway is a state-maintained major arterial roadway capable of handling commercial traffic; and

WHEREAS, East Snider Drive is a Borough-maintained residential roadway with commercial and residential uses along its frontage; and

WHEREAS, East Snider Drive can accommodate light commercial and residential traffic; and

WHEREAS, the proposed use is approximately 268 feet north of the nearest residential structure; and

WHEREAS, the proposed use is approximately 56 feet east of the nearest commercial structure; and

WHEREAS, the area surrounding the subject parcel is a mixture of commercial, industrial, and residential uses; and

WHEREAS, according to the application, the operation will have one metal and plastic advertising sign, 21' x 3', attached to the front of the proposed building; and

WHEREAS, the advertising sign will face the East Palmer-Wasilla Highway and be backlit during operating hours; and

WHEREAS, no advertising signage is proposed along the East Palmer-Wasilla Highway right-of-way; and

WHEREAS, the proposed use is located approximately 57 feet from East Palmer-Wasilla Highway to the north, approximately 47 feet from the western property line, approximately 201 feet from the southern property line, and approximately 57 feet from the eastern property line; and

WHEREAS, on August 24, 2023, the Deputy Fire Marshal for the Central Mat-Su Fire & Life Safety Division issued an approved Plan Review #2024-022 for the commercial structure; and

WHEREAS, the closest school (Cottonwood Creek Elementary School) is approximately 2,910 feet from the proposed use; and

WHEREAS, the State of Alaska Marijuana Control Board meeting conducted June 1-2, 2023, voted to approve Shoreline Cannabis retail marijuana store license #32848 with delegation; and

WHEREAS, the applicant provided a copy of the approved Plan Review #2024-022 to the MSB Development Services Division; and

WHEREAS, according to the application material, the proposed marijuana retail store will not generate noise or odors; and

WHEREAS, the proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday; and

WHEREAS, consumption of marijuana is prohibited at the site; and

WHEREAS, persons under 21 are prohibited from entering the facility; and

WHEREAS, according to the application material, signs will be posted at the proposed use's entrance prohibiting loitering; and

WHEREAS, according to the application material, exterior lighting will be shielded to prevent light pollution; and

WHEREAS, all the required site plans and operational information have been provided by the applicant; and

WHEREAS, according to the application materials, employees of the proposed use will immediately check the identification of all persons who enter the facility; and

WHEREAS, according to the application material, the operation will utilize an alarm and video surveillance system, along with lighting, as part of its security plan; and

WHEREAS, according to the application material, security cameras will be installed in well-lit areas on the interior and exterior of the building facing entrances, exits, and the cashier area; and

WHEREAS, according to the application material, the operation has a security plan, which includes educating employees on all security measures; and

WHEREAS, the commercial structure fully complies with the State of Alaska fire code; and

WHEREAS, the State of Alaska, Alcohol and Marijuana Control Office awarded the operation a marijuana retail store license currently in a delegated status; and

WHEREAS, the MSB Development Services Division received a copy of the delegated approval for the applicant's marijuana retail facility; and

WHEREAS, a marijuana retail facility with an area of 2,400 square feet must provide seven parking spaces, one of which must be ADA-compliant; and

WHEREAS, according to the application material, eight parking spaces will be provided for the proposed use, one of which will comply with ADA requirements; and

WHEREAS, each parking space is twenty feet long and ten feet wide; and

WHEREAS, there are no vertical clearance limitations on-site; and

WHEREAS, the Planning Commission has reviewed this application with respect to standards set forth in MSB 17.60.100, 17.60.150 and 17.60.170; and

WHEREAS, the Planning Commission conducted a public hearing on June 17, 2024, on this matter.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby adopts the aforementioned findings of fact and makes the following conclusions of law supporting approval of Planning Commission Resolution 24-08:

1. The proposed use, with conditions, will not detract from the value, character, and integrity of the surrounding area (MSB 17.60.100(B)(1)).
2. The proposed use, with conditions, will not be harmful to the public health, safety, convenience, and welfare (MSB 17.60.100(B)(2)).
3. Sufficient setbacks, lot area, buffers or other safeguards are being provided (MSB 17.60.100(B)(3)).
4. The application material meets all of the requirements of this chapter (MSB 17.60.100(B)(4)).
5. The proposed use, with conditions, will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).
6. Measures are in place, with conditions, to reduce negative affects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).
7. The proposed use, with conditions, is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).

8. The proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).
9. The applicant has provided documentation demonstrating all applicable licenses pertaining to 3 AAC 306.005 have been obtained (MSB 17.60.150(D)(1)).
10. The applicant has provided documentation demonstrating the proposed use is in full compliance with all applicable fire code (MSB 17.60.150(D)(2)).
11. The proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).
12. The proposed use meets the minimum number of parking spaces for retail facilities (MSB 17.60.170(B)).
13. The proposed use complies with current ADA parking space guidelines (MSB 17.60.170(C)).

BE IT FURTHER RESOLVED, that the Planning Commission finds this application does meet the standards of MSB 17.60 and does hereby approve the conditional use permit for the operation of a marijuana retail facility, with the following conditions:

1. Prior to operating, the applicant shall re-design the parking area or remove one parking spot on the west portion of the parking lot to accommodate emergency vehicles. Parking spaces shall conform to the minimum

requirements of MSB 17.60.170(B) & (C), and modifications must be approved in advance by the MSB Planning Department.

2. Prior to operating, the ADA parking space shall be painted, and the ADA van-accessible sign be mounted to indicate its location. The applicant shall provide the MSB Planning Department proof of completion in the form of colored pictures.
3. The operation shall comply with all applicable federal, state, and local regulations.
4. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the conditional use permit shall be required before any expansion of the conditional use.
5. Borough staff shall be permitted to enter premises subject to this permit to monitor compliance with permit requirements. Such access will, at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times as necessary to monitor compliance. Denial of access to Borough staff shall violate this conditional use permit.

6. On-site consumption of marijuana and marijuana products is prohibited.
7. The hours of operation shall not exceed 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this ___ day of _____, 2024.

C.J. Koan, Chair

ATTEST

KAROL RIESE, Planning Clerk

(SEAL)

YES:

NO:

**PUBLIC HEARING
QUASI-JUDICIAL**

Resolution No. 24-09

Smoke Out Point

PUBLIC HEARING

STAFF REPORT



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

DEVELOPMENT SERVICES DIVISION STAFF REPORT

Date: June 5, 2024

File Number: M10261

Applicant: Anthony Wells, for Smoke Out Point

Property Owner: Scott R. Wells

Request: Planning Commission Resolution 24-09
Conditional Use Permit for the Operation of a Marijuana Retail Facility in accordance with MSB Chapter 17.60 – Conditional Uses

Location: 10600 E. Max Drive
Tax ID# 2209B02L001A

Size of Facility: Approximately 4,800 Square Feet

Reviewed By: Jason Ortiz, Development Services Manager *J. O.*

Staff: Rick Benedict, Current Planner

Staff Recommendation: Approval with conditions

EXECUTIVE SUMMARY

A conditional use permit application has been submitted to operate a marijuana retail facility in a commercial structure of approximately 4,800 square feet at 10600 E. Max Drive. MSB 17.60.030 requires a conditional use permit to operate a marijuana retail facility in the Borough. Unless this type of use is maintained under and in accordance with a lawfully issued permit, a marijuana retail facility is declared to be a public nuisance. Operation of such land uses without a permit is prohibited.

The subject parcel is situated within the Borough’s Core Area. The proposed operation will not produce noise or traffic or process, manufacture, or store hazardous substances exceeding those thresholds described within MSB 17.61.020(A)(1) through (4). Furthermore, the operation will not

generate contaminated water runoff. Therefore, a Core Area Conditional Use Permit is not required based on the information provided within the application packet.

LAND USE

Existing Land Use:

The subject parcel is part of the Bradley Lake #2 Subdivision and within the Gateway Community Council area. The subject parcel is approximately .86 acres in size and is situated north of and adjacent to South Glenn Highway and south of and adjacent to East Max Drive. Two residential structures constructed in the mid-1970s exist on the subject parcel, north of the proposed marijuana retail facility. The applicant proposes to operate from a new 60' x 40' structure. Construction of the structure began in approximately 2021 and was completed in 2023. Before 2021, the subject parcel was used for residential purposes.

The State of Alaska Marijuana Control Board met April 13-14, 2022, and awarded the operation a marijuana retail store license in delegated status. The director of the Alcohol & Marijuana Control Office (AMCO) is authorized to issue the license once the applicant obtains a conditional use permit to operate within the borough.

The applicant proposes East Max Drive as the operations access, for which the Borough has issued a commercial driveway permit. The access route proposed by the applicant is from the eastern portion of East Max Drive via South Colleen Street. South Colleen Street is a Borough-owned and maintained roadway. The eastern portion of East Max Drive was historically used for residential access and not constructed for commercial use. East Max Drive is an unmaintained Borough roadway. The applicant has obtained a Borough general construction permit to improve the eastern portion of East Max Drive from South Colleen Street to the subject property's driveway. Upon completion, the applicant proposes maintaining the improved portion of East Max Drive.

Surrounding Land Use:

The area surrounding the subject parcel comprises a mix of commercial, residential, and vacant uses. The proposed use is approximately 45 feet southeast of the nearest residential structure on the subject parcel and 94 feet east of the nearest commercial structure on the adjacent parcel. An antique store exists to the west, and a seasonal produce market exists to the northeast. Residential uses comprise many remaining north, west, and south uses.

The State of Alaska Department of Transportation (ADOT) is improving South Glenn Highway to the west, northeast, and south adjacent to the subject property as part of the Glenn Highway Reconstruction Project (MP 34-42). ADOT is in Phase 2 of the project, which extends East Bradley Lake Avenue and adds a signaled intersection where the roadway will meet at South Glenn Highway to the northeast of the subject property. The project will add travel lanes to South Glenn Highway, totaling two lanes each in the southbound and northbound directions. Phase 2 will also remove access to South Colleen Street from South Glenn Highway.

Upon completion of the Glenn Highway project, the applicant proposes advertising access to the use via the new Glenn Highway/East Bradley Lake Avenue signaled intersection to South Colleen Street, then to East Max Drive. South Glenn Highway is a state-maintained major arterial roadway capable of handling commercial traffic.

REVIEW OF APPLICABLE CRITERIA AND FINDINGS

MSB 17.03 – Public Notification

On May 10, 2024, 25 notices were mailed to all property owners within a 600-foot radius of the use, to landowners within the Bradley Lake #2 Subdivision, and the Gateway Community Council. The notification for the permit application was published in the Frontiersman newspaper on May 1, 2024. The application material was emailed to internal and outside agencies and posted on the Borough website for public review on April 24, 2024. Comments were received from ADOT and the Mat-Su Borough's Pre-Design & Engineering Department (MSB PD&E). No comments were received from the Gateway Community Council. One neutral response was received from the public concerning how traffic will flow on East Max Drive after the completion of the Glenn Highway Reconstruction Project.

Section 17.60.100 General Standards

(A) *A conditional use may be approved only if it meets with the requirements of this section in addition to any other standards required by this chapter:*

(B) *In granting a conditional use permit, the planning commission must make the following findings:*

(1) *the conditional use will preserve or not detract from the value, character, and integrity of the surrounding area;*

Findings of Fact:

1. The subject parcel is part of the Bradley Lake #2 Subdivision.
2. The subject parcel is within the boundary of the Gateway Community Council.
3. The subject parcel is approximately .86 acres in size.
4. The applicant has submitted an authorization form signed by the property owner, permitting Smoke Out Point to operate as a marijuana retail store within the new commercial building.
5. The proposed retail facility will be contained within a new 60' x 40' two-story commercial structure of approximately 4,800 square feet.
6. According to the application material, approximately 3,195 square feet of net floor space are licensed for marijuana retail sales.
7. According to the application material, the building proposed for marijuana retail sales was completed in 2023.
8. According to the application material, two pre-existing residential structures are located north of the proposed operation on the subject parcel.
9. According to Borough records, the pre-existing residential structures were constructed in the mid-1970s.
10. According to the application material, one residential structure located northwest of the use will remain on the property, and the second located northeast of the use will be demolished by the end of July 2024.
11. According to the application material, the building's exterior is beige and tan, with steel side panels and metal roofing.

12. The proposed use will access East Max Drive, for which the applicant has obtained a commercial driveway permit from the Borough's permitting center (#D29385).
13. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.
14. According to the application material, the operation will advertise the access route to the facility on its website and popular mapping platforms.
15. According to the application material, a sign will be installed at the exit of the subject parcel directing traffic to South Colleen Street and discouraging left turns.
16. The applicant has obtained a general construction permit (#C29230) from the Borough to improve the eastern portion of East Max Drive from the intersection of South Colleen Street to the subject parcel's driveway.
17. According to the application material, the operation will maintain the improved portion of East Max Drive from the intersection at South Colleen Street to the subject parcel's driveway.
18. East Max Drive is a Borough roadway that, upon improvement, will be acceptable for commercial use, according to a review by MSB PD&E.
19. Uses along East Max Drive are a mix of commercial and residential.
20. The area surrounding the subject parcel comprises a mix of commercial, residential, and vacant uses.
21. An antique store exists west of the proposed use on the adjacent parcel, and a seasonal produce market exists to the northeast.
22. Residential uses comprise many remaining north, west, and south uses.
23. The proposed use is approximately 45 feet southeast of the nearest residential structure on the subject parcel and 94 feet east of the nearest commercial structure on the adjacent parcel.
24. According to the application material, the operation will have one free-standing metal, aluminum, and fiberglass advertising sign, 5'2" W x 7'7" L, at the southeast corner of the subject parcel adjacent to South Glenn Highway.
25. According to the application material, the advertising sign will be backlit during operating hours and off when closed.
26. According to the application material, the advertising sign will be visible from South Glenn Highway and promote access to the facility from South Colleen Street.
27. No advertising signage is proposed along the East Max Drive.
28. According to the application material, the proposed marijuana retail store will not generate noise or odors.
29. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
30. The proposed use is approximately 25 feet north of the South Glenn Highway right-of-way, approximately 53 feet east of the western property line, approximately 128 feet south

of the East Max Drive right-of-way, and approximately 51 feet west of the South Glenn Highway right-of-way.

31. Consumption of marijuana is prohibited at the site.
32. According to the application, signs will be posted at the proposed use's entrance prohibiting loitering.
33. The application material states that exterior lighting will be downward-directional and shielded to prevent light pollution.

Conclusion of Law: Based on the above findings, the proposed use will not detract from the value, character, and integrity of the surrounding area (MSB 17.60.100(B)(1)).

(2) that granting the conditional use permit will not be harmful to the public health, safety, convenience, and welfare;

Findings of Fact:

1. The proposed use will access East Max Drive, for which the applicant has obtained a commercial driveway permit from the Borough's permitting center (#D29385).
2. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.
3. The applicant has obtained a general construction permit (#C29230) from the Borough to improve the eastern portion of East Max Drive from the intersection of South Colleen Street to the subject parcel's driveway.
4. According to the application material, the operation will maintain the improved portion of East Max Drive from the intersection at South Colleen Street to the subject parcel's driveway.
5. East Max Drive is a Borough roadway that, upon improvement, will be acceptable for commercial use, according to a review by MSB PD&E.
6. According to the application material, a sign will be installed at the exit of the subject parcel directing traffic to South Colleen Street and discouraging left turns.
7. According to the application material, the operation will have one free-standing metal, aluminum, and fiberglass advertising sign, 5'2" W x 7'7" L, at the southeast corner of the subject parcel adjacent to South Glenn Highway.
8. According to the application material, the advertising signage will not be installed or overhang the South Glenn Highway right-of-way.
9. According to the application material, the advertising sign will be visible from South Glenn Highway and promote access to the facility from South Colleen Street.
10. ADOT is in Phase 2 of the project, which extends East Bradley Lake Avenue and adds a signaled intersection where the roadway will meet at South Glenn Highway to the northeast of the subject property.
11. Phase 2 of the Glenn Highway Reconstruction Project will remove access to South Colleen Street from South Glenn Highway.

12. According to the application material, the applicant proposes to advertise access to the use via the signaled intersection at South Glenn Highway and East Bradley Lake Avenue when Phase 2 of the Glenn Highway Reconstruction Project is complete.
13. According to the application material, the operation will advertise the access route to the facility on it's website and popular mapping platforms.
14. South Glenn Highway is a state-maintained major arterial roadway capable of handling commercial traffic.
15. According to the application material, the proposed marijuana retail store will not generate noise or odors.
16. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
17. Consumption of marijuana is prohibited at the site.
18. Persons under 21 are prohibited from entering the facility.
19. According to the application material, employees will immediately check the identification of all persons who enter the facility to verify their age.
20. According to the application, signs will be posted at the proposed use's entrance prohibiting loitering.
21. The application material states that exterior lighting will be downward-directional and shielded to prevent light pollution.
22. According to the application material, the operation will utilize an alarm and video surveillance system, along with lighting, as part of its security plan.
23. According to the application materials, the operation has a security plan, which includes educating employees on all security measures.
24. On October 5, 2021, the State of Alaska Fire Marshal issued an approved Full Plan Review (#2021Anch1557) for the commercial structure.
25. The commercial structure fully complies with the State of Alaska fire code.

Conclusion of Law: Based on the above findings, the proposed use will not be harmful to public health, safety, convenience, and welfare (MSB 17.60.100(B)(2)).

(3) that sufficient setback, lot area, buffers, or other safeguards are being provided to meet the conditions listed in subsections (B)(1) through (3) of this section; and

Findings of Fact:

1. The subject parcel is approximately .86 acres in size.
2. The proposed use is approximately 45 feet southeast of the nearest residential structure on the subject parcel and 94 feet east of the nearest commercial structure on the adjacent parcel.
3. The proposed use is approximately 25 feet north of the South Glenn Highway right-of-way, approximately 53 feet east of the western property line, approximately 128 feet south of the East Max Drive right-of-way, and approximately 51 feet west of the South Glenn Highway right-of-way.

4. According to the application material, the advertising sign will be visible from South Glenn Highway and promote access to the facility from South Colleen Street.
5. According to the application material, the applicant proposes to advertise access to the use via the signaled intersection at South Glenn Highway and East Bradley Lake Avenue when Phase 2 of the Glenn Highway Reconstruction Project is complete.
6. According to the application material, the operation will advertise the access route to the facility on its website and popular mapping platforms.
7. According to the application material, a sign will be installed at the exit of the subject parcel directing traffic to South Colleen Street and discouraging left turns.

Conclusion of Law: Based on the above findings, sufficient setbacks, lot area, buffers, and other safeguards are being provided (MSB 17.60.100(B)(3)).

(4) the conditional use fulfills all other requirements of this chapter pertaining to the conditional use in this section.

Finding of Fact:

1. All the required site plans and operational information have been provided by the applicant.

Conclusion of Law: Based on the above findings, the application material meets all the requirements of this chapter (MSB 17.60.100(B)(4)).

Section 17.60.150 General Standards for Marijuana Related Facilities

(A) In addition to the standards set forth by MSB 17.60.100, the planning commission shall weigh factors which contribute or detract from the development of a safe, convenient, and attractive community, including, but not limited to:

(1) any potential negative effect upon other properties in the area due to such factors as noise and odor.

Findings of Fact:

1. The proposed retail facility will be contained within a new 60' x 40' two-story commercial structure of approximately 4,800 square feet.
2. The proposed use is approximately 45 feet southeast of the nearest residential structure on the subject parcel and 94 feet east of the nearest commercial structure on the adjacent parcel.
3. The area surrounding the subject parcel comprises a mix of commercial, residential, and vacant uses.
4. According to the application material, the proposed marijuana retail store will not generate noise or odors.
5. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
6. Consumption of marijuana is prohibited at the site.
7. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.

Conclusion of Law: Based on the above findings, the proposed use will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).

- (2) *the effectiveness of measures to reduce negative effects upon adjacent properties by:*
- (a) *increased property line and right-of-way buffers;*
 - (b) *planted berms and landscaping;*
 - (c) *site and building design features which contribute to the character of the surrounding area.*

Findings of Fact:

1. The subject parcel is approximately .86 acres in size.
2. The proposed retail facility will be contained within a new 60' x 40' two-story commercial structure of approximately 4,800 square feet.
3. According to the application material, the building's exterior is beige and tan, with steel side panels and metal roofing.
4. According to the application material, a sign will be installed at the exit of the subject parcel directing traffic to South Colleen Street and discouraging left turns.
5. The applicant has obtained a general construction permit (#C29230) from the Borough to improve the eastern portion of East Max Drive from the intersection of South Colleen Street to the subject parcel's driveway.
6. According to the application material, the operation will maintain the improved portion of East Max Drive from the intersection at South Colleen Street to the subject parcel's driveway.
7. East Max Drive is a Borough roadway that, upon improvement, will be acceptable for commercial use, according to a review by MSB PD&E.
8. Uses along East Max Drive are a mix of commercial and residential.
9. The area surrounding the subject parcel comprises a mix of commercial, residential, and vacant uses.
10. According to the application material, the operation will have one free-standing metal, aluminum, and fiberglass advertising sign, 5'2" W x 7'7" L, at the southeast corner of the subject parcel adjacent to South Glenn Highway.
11. According to the application material, the advertising sign will be backlit during operating hours and off when closed.
12. According to the application material, the advertising sign will be visible from South Glenn Highway and promote access to the facility from South Colleen Street.
13. According to the application material, the advertising signage will not be installed or overhang the South Glenn Highway right-of-way.
14. No advertising signage is proposed along the East Max Drive.

Conclusion of Law: Based on the above findings, measures are in place to reduce negative affects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).

- (3) *whether the use is compatible with the character of the surrounding area.*

Findings of Fact:

1. The proposed retail facility will be contained within a new 60' x 40' two-story commercial structure of approximately 4,800 square feet.
2. According to the application material, approximately 3,195 square feet of net floor space are licensed for marijuana retail sales.
3. Uses along East Max Drive are a mix of commercial and residential.
4. The area surrounding the subject parcel comprises a mix of commercial, residential, and vacant uses.
5. East Max Drive is a Borough roadway that, upon improvement, will be acceptable for commercial use, according to a review by MSB PD&E.
6. According to the application material, the building's exterior is beige and tan, with steel side panels and metal roofing.
7. The subject parcel is part of the Bradley Lake #2 Subdivision.
8. The subject parcel is within the boundary of the Gateway Community Council.
9. An antique store exists west of the proposed use on the adjacent parcel, and a seasonal produce market exists to the northeast.
10. Residential uses comprise many remaining north, west, and south uses.
11. The proposed use is approximately 45 feet southeast of the nearest residential structure on the subject parcel and 94 feet east of the nearest commercial structure on the adjacent parcel.
12. According to the application material, the proposed marijuana retail store will not generate noise or odors.
13. The proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
14. Consumption of marijuana is prohibited at the site.
15. The application material states that exterior lighting will be downward-directional and shielded to prevent light pollution.

Conclusion of Law: Based on the above findings, the proposed use is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).

(B) At the time of their establishment, marijuana related conditional uses shall meet the following requirements and not be located within:

- (1) One thousand feet of school grounds;*

(C) Separation distances referenced in subsection (B) of this section are measured in a direct line between the closest point of the facility within which the marijuana facility is located, and the closest point on the lot or parcel of land upon which any of the above itemized uses are located.

Finding of Fact:

1. The closest school (Amazing Grace Academy) is approximately 9,088 feet from the proposed use.

Conclusion of Law: Based on the above finding, the proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).

(D) Prior to final approval of the permit the applicant shall provide written documentation demonstrating that:

(1) all applicable licenses have been obtained as required by 3 AAC 306.005.

Findings of Fact:

1. The State of Alaska Marijuana Control Board met April 13-14, 2022, and awarded the operation a marijuana retail store license in delegated status.
2. The director of the Alcohol & Marijuana Control Office (AMCO) is authorized to issue the license once the applicant obtains a conditional use permit to operate within the borough.
3. The MSB Development Services Division received a copy of the delegated approval for the applicant's marijuana retail facility.

Conclusion of Law: Based on the above findings, the applicant provided a copy of documents demonstrating that all applicable licenses pertaining to 3 AAC 306.005 have been obtained (MSB 17.60.150(D)(1)).

(2) from the fire marshal having jurisdiction, that the proposed conditional use is in full compliance with applicable fire code, including but not limited to AS 18.70.010 through 18.70.160, Fire Protection, and 13 AAC 50.025 through 50.080, Fire Code.

Findings of Fact:

1. On October 5, 2021, the State of Alaska Fire Marshal issued an approved Full Plan Review (#2021Anch1557) for the commercial structure.
2. The commercial structure fully complies with the State of Alaska fire code.
3. The applicant provided a copy of the approved Full Plan Review (#2021Anch1557) to the MSB Development Services Division.

Conclusion of Law: Based on the above findings, the proposed use is in full compliance with all applicable fire code (MSB 17.60.150(D)(2)).

Section 17.60.170 Standards for Marijuana Retail Facilities

(A) Marijuana retail facilities shall only be approved upon finding by the commission that the proposed facility is located on a parcel that is appropriate for commercial use. At a minimum, the commission shall consider:

- (1) proximity of the proposed use to existing businesses;*
- (2) proximity to parcels developed for residential use; and*
- (3) whether roads associated with the proposed use have been, or will be, appropriate for commercial use.*

Findings of Fact:

1. The Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, shows a "Marijuana Dispensary" of approximately 3,195 square feet in an urban area is expected

to produce approximately 75 trips per weekday PM hour based on the average trip start/end generation rates.

2. According to the application material, approximately 3,195 square feet of net floor space are licensed for marijuana retail sales.
3. The proposed use will access East Max Drive, for which the applicant has obtained a commercial driveway permit from the Borough's permitting center (#D29385).
4. Based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required.
5. Uses along East Max Drive are a mix of commercial and residential.
6. The applicant has obtained a general construction permit (#C29230) from the Borough to improve the eastern portion of East Max Drive from the intersection of South Colleen Street to the subject parcel's driveway.
7. According to the application material, the operation will maintain the improved portion of East Max Drive from the intersection at South Colleen Street to the subject parcel's driveway.
8. East Max Drive is a Borough roadway that, upon improvement, will be acceptable for commercial use, according to a review by MSB PD&E.
9. East Max Drive is not maintained by the Borough.
10. South Colleen Street is a Borough-owned and maintained roadway.
11. According to the application material, the applicant proposes advertising access to the marijuana retail facility from the eastern portion of East Max Drive via South Colleen Street.
12. According to the application material, a sign will be installed at the exit of the subject parcel directing traffic to South Colleen Street and discouraging left turns.
13. According to the application material, the advertising sign will be visible from South Glenn Highway and promote access to the facility from South Colleen Street.
14. South Glenn Highway is a state-maintained major arterial roadway capable of handling commercial traffic.
15. The proposed use is approximately 45 feet southeast of the nearest residential structure on the subject parcel and 94 feet east of the nearest commercial structure on the adjacent parcel.
16. The area surrounding the subject parcel comprises a mix of commercial, residential, and vacant uses.

Discussion: On April 26, 2024, staff received one neutral comment from a local resident resulting from a public notice. The respondent was concerned about the future traffic access pattern for the proposed use once the Glenn Highway Reconstruction Project (MP 34-42) is complete. According to ADOT's website, the Glenn Highway Reconstruction Project (MP 34-42) will be completed by approximately September 2025. The respondent stated they did not object to a marijuana retail facility opening in the area, provided customers use South Colleen Street to access East Max Drive.

The operation was issued a commercial driveway permit by the Borough, and a construction permit was obtained to improve the eastern portion of East Max Drive from South Colleen Street to the subject property's driveway. East Max Drive is not a Borough-maintained roadway. The applicant proposes access to the marijuana retail facility from the eastern portion of East Max Drive via South Colleen Street and maintaining that portion of the improved roadway.

The applicant proposes installing signage visible from South Glenn Highway to promote the access plan and use online mapping applications and its website to provide access information to the public. The applicant also proposes to install a sign at the subject property's exit directing customers towards South Colleen Street.

Staff recommends conditions of approval that 1) the applicant shall notify the Borough when improvements to East Max Drive are complete, 2) the applicant shall maintain the improved portion of East Max Drive for commercial use, 3) signs shall be maintained on the subject property directing traffic to access/egress points, and 4) the operation shall maintain mapping applications and its website with the approved access plan as described in the application materials.

Conclusion of Law: Based on the above findings, and with conditions, the proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).

(B) The minimum number of parking spaces for retail facilities shall be one space per 350 square feet of net floor area. Each parking space shall be at least: 20 feet in length, ten feet wide, and have a vertical clearance of at least seven feet.

Findings of Fact:

1. According to the application material, approximately 3,195 square feet of net floor space are licensed for marijuana retail sales.
2. A marijuana retail facility with an area of 3,195 square feet must provide nine parking spaces, one of which must be ADA-compliant.
3. According to the application material, ten parking spaces will be provided for the proposed use, one of which will comply with ADA requirements.
4. According to the application material, each parking space is twenty feet long and ten feet wide.
5. According to the application material, no vertical clearance limitations are on site.

Conclusion of Law: Based on the above findings, the proposed use meets the minimum number of parking spaces for retail facilities (MSB 17.60.170(B)).

(C) Parking spaces shall be provided to comply with current Americans with Disabilities Act (ADA) guidelines.

Findings of Fact:

1. A marijuana retail facility with an area of 3,195 square feet must provide nine parking spaces, one of which must be ADA-compliant.
2. According to the application material, ten parking spaces will be provided for the proposed use, one of which will comply with ADA requirements.
3. ADA guidelines require one van-accessible parking space, 11 feet wide with a five-foot-wide parking aisle, for every 1 to 25 spaces.

Discussion: On June 3, 2024, staff conducted a site visit to the location of the proposed marijuana retail store. Staff observed that the ADA parking space had not been painted to designate its location, and the required ADA van-accessible sign had not been mounted. In addition, ADA surfaces were not smooth and level. Current ADA guidelines require the surface of accessible spaces and access aisles to be smooth, stable, and virtually level in all directions to ensure safe use for people with disabilities. Staff recommends conditions of approval that, prior to operating, the applicant shall have the ADA parking stall and access aisle painted and compliant with the current ADA guidelines, and the ADA van-accessible sign be mounted to indicate its location.

Conclusion of Law: Based on the above findings, and with conditions, the proposed use complies with current ADA parking space guidelines (MSB 17.60.170(C)).

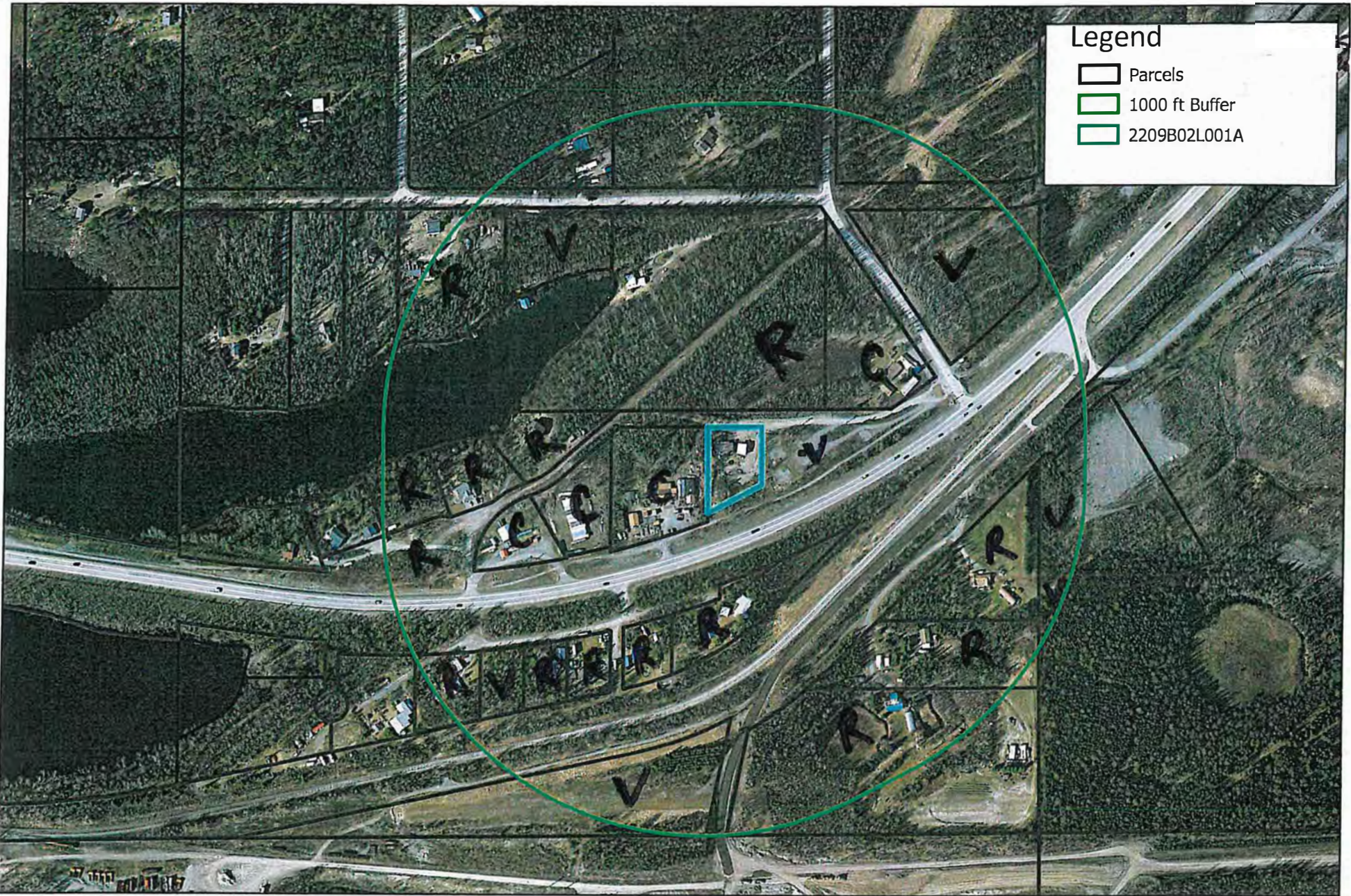
STAFF RECOMMENDATIONS

Staff recommends approving the Conditional Use Permit to operate a marijuana retail facility, approximately 3,195 square feet in size, at 10600 E. Max Drive, Tax ID #2209B02L001A. The proposed use meets all the standards in MSB 17.60.100, 17.60.150, and 17.60.170. Staff recommends approval of this permit with the following conditions:

1. Prior to operating, the applicant shall notify the Borough upon completion of improvements to East Max Drive. Provide evidence of compliance to Planning staff.
2. Prior to operating, the applicant shall have the ADA parking stall and access aisle painted and compliant with the current ADA guidelines, including mounting the ADA van-accessible sign to indicate its location. Provide evidence of compliance to Planning staff.
3. The operation shall comply with all applicable federal, state, and local regulations.
4. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the Conditional Use Permit shall be required prior to any expansion of the conditional use.
5. Borough staff shall be permitted to enter premises subject to this permit to monitor compliance with permit requirements. Such access will at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times as necessary to monitor compliance. Denial of access to borough staff shall be a violation of this conditional use permit.
6. On-site consumption of marijuana and marijuana products is prohibited.
7. The hours of operation shall not exceed 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
8. The applicant shall maintain the improved portion of East Max Drive for commercial use.
9. Signs directing traffic to access/egress routes appropriate for commercial use shall be maintained on the subject property, as described in the application materials.
10. The operation shall maintain online mapping applications and its website with the proposed access/egress plan described in the application materials.

If the Planning Commission chooses to deny this application, findings for denial must be prepared by the Commission.

MAPS



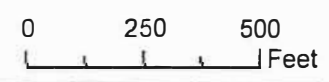
Legend

- Parcels
- 1000 ft Buffer
- 2209B02L001A

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1000' Buffer Map for 2209B02L001A



C- Commercial V- Vacant
R- Residential



Matanuska-Susitna Borough



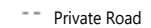
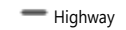
Legend

ParcelViewer

Road Mileposts



Roads



Alaska Railroad



Mat-Su Borough Boundary



Address Numbers



Parcels



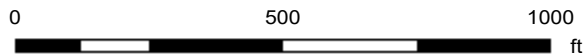
Section Lines



1 : 9028



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WGS_1984_Web_Mercator_Auxiliary_Sphere

Date: 05/09/24



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Notes

Access Plan and Traffic Flow (General Public)



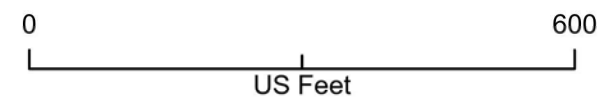
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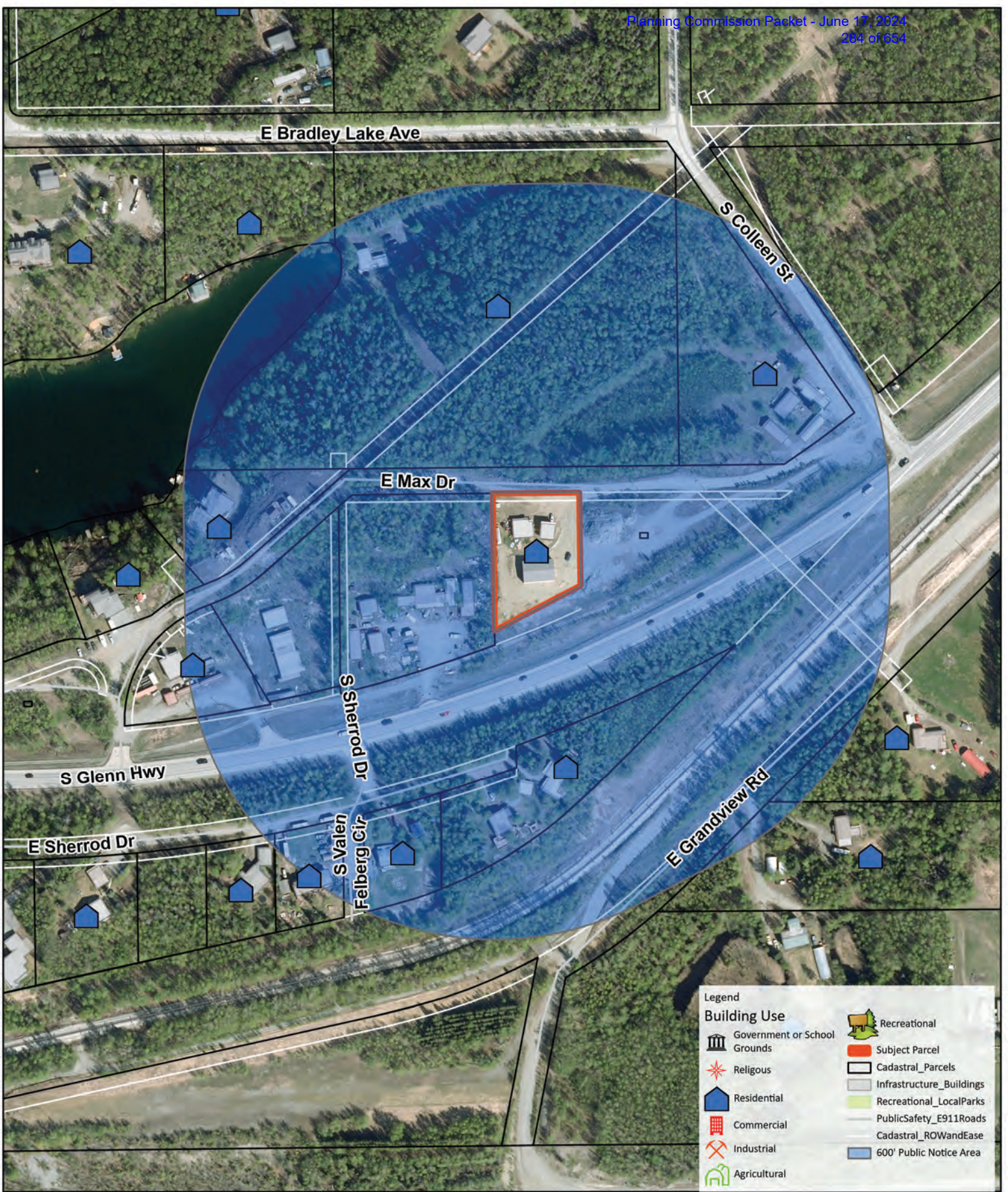
-  Subject Parcel
-  Cadastral_Parcels



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Bare Earth Map
MSB Tax# 2209B02L001A





Legend

Government or School Grounds	Recreational
Religious	Subject Parcel
Residential	Cadastral_Parcels
Commercial	Infrastructure_Buildings
Industrial	Recreational_LocalParks
Agricultural	PublicSafety_E911Roads
	Cadastral_ROWandEase
	600' Public Notice Area

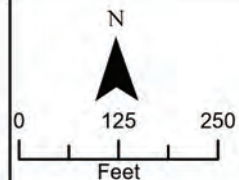
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600' Public Notice Area

MSB Tax #2209B02L001A

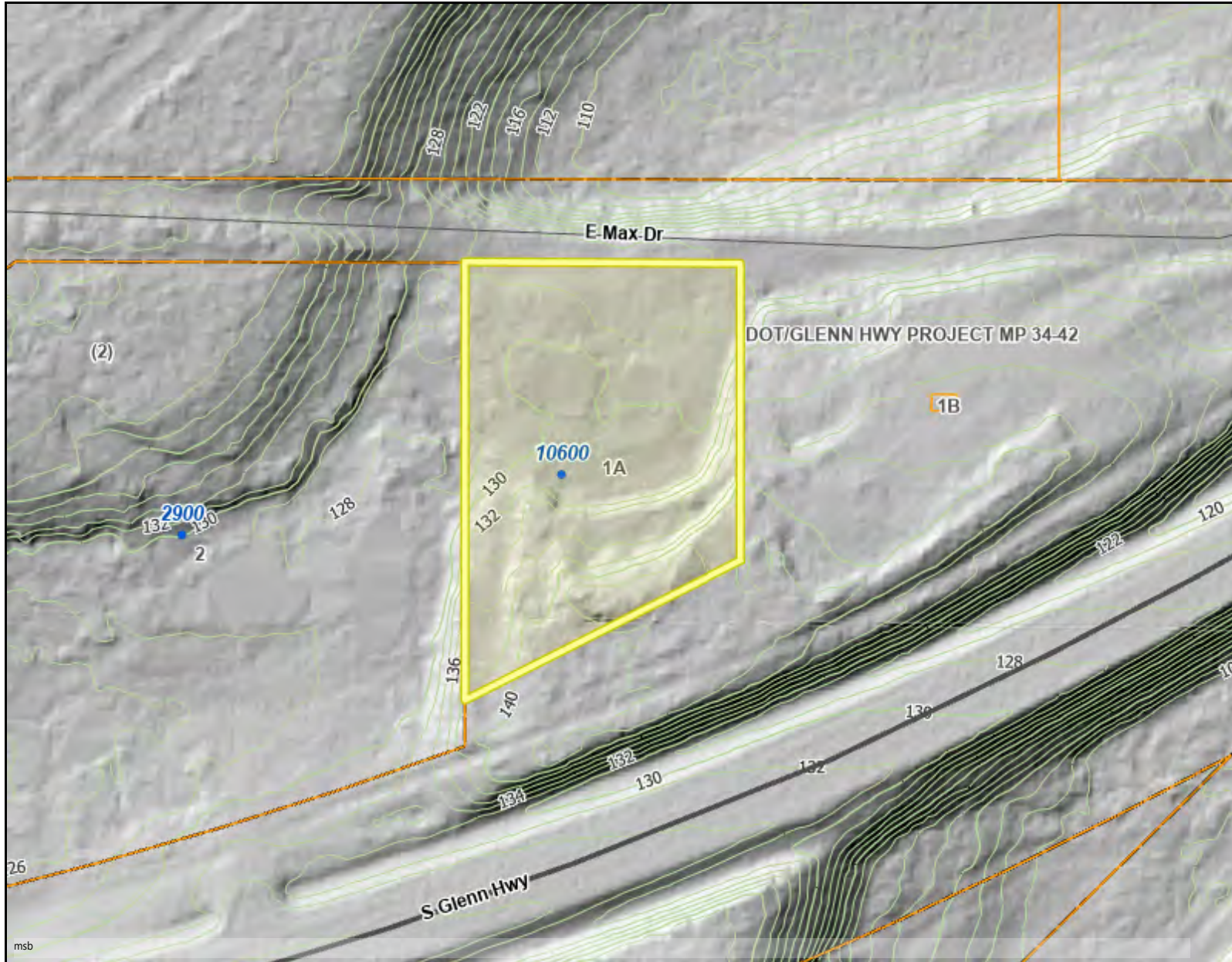
Map Produced by MSB IT/GIS Division: 6/5/2024



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2019 Hillshade with Contours



Legend

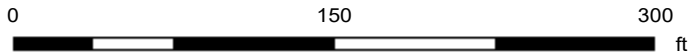
ParcelViewer

- Roads
 - Highway
 - Minor Road
- Alaska Railroad
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- ROW and Easements
 - ROW Road
 - ROW RR
- Section Lines

1 : 2257



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WGS_1984_Web_Mercator_Auxiliary_Sphere

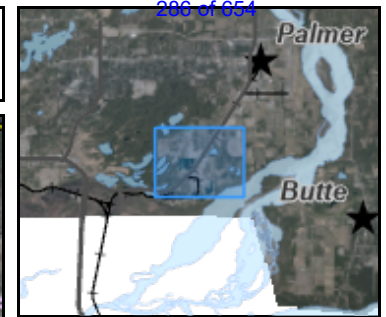
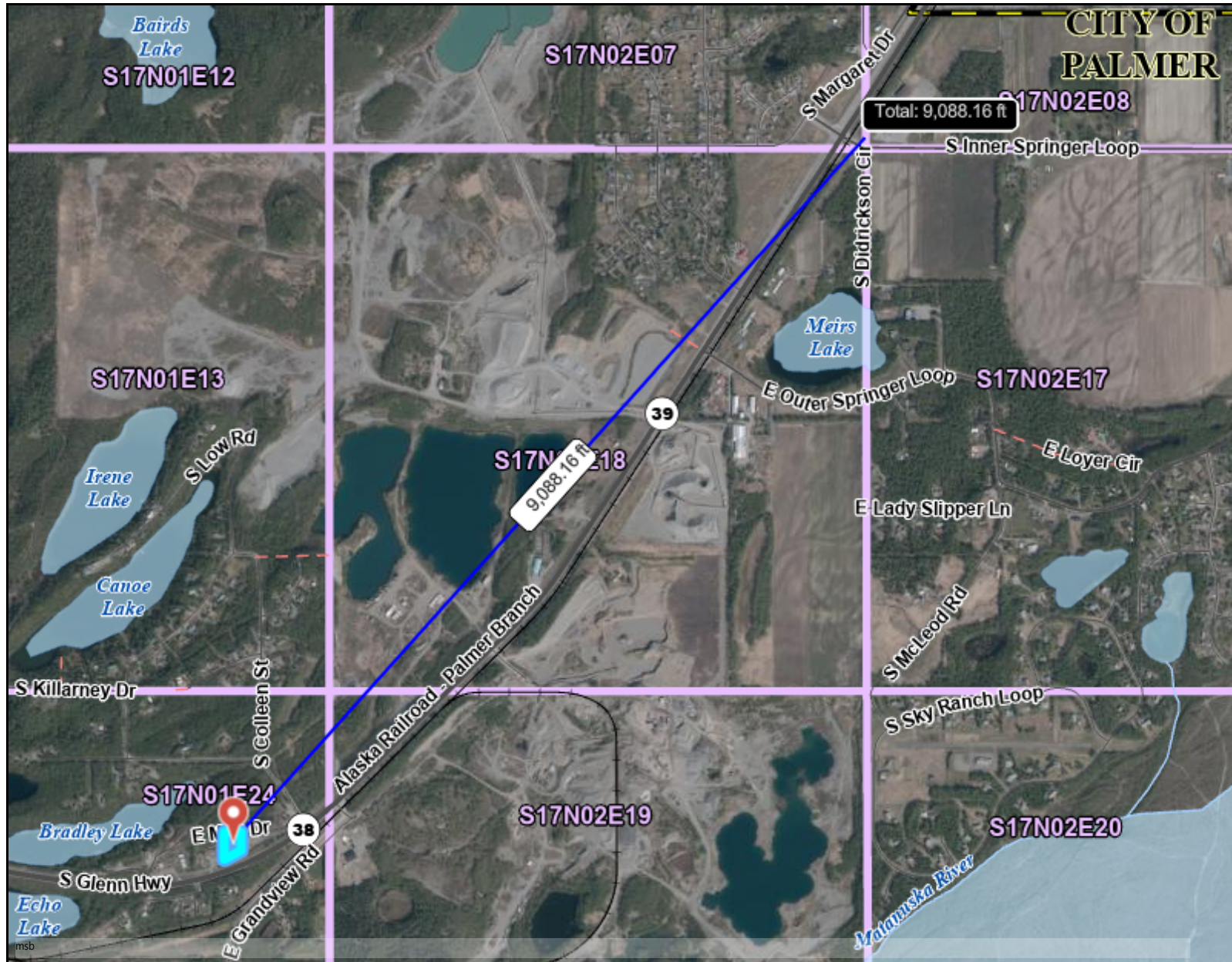
Date: 06/06/24

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Notes



Distance from nearest school (Amazing Grace Academy)



Legend

ParcelViewer

Road Mileposts

Roads

- Highway
- Medium Road
- Minor Road
- Private Road
- Not Constructed

Alaska Railroad

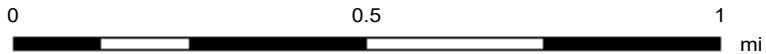
Mat-Su Borough Boundary

Incorporated Cities

Section Lines

1 : 36112

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Notes

PUBLIC NOTICING



Matanuska-Susitna Borough

www.matsugov.us

MATANUSKA-SUSITNA BOROUGH NOTICE OF PUBLIC MEETINGS

MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION AGENDA

All meetings of recognized boards, committees, and commissions of the Borough are open to the public and are held at Borough offices, 350 E. Dahlia Ave., Palmer, AK, unless specified otherwise. Three or more Assembly Members may be present at advertised public meetings of federal, state, and local governments or other entities. Meetings are scheduled as follows:

BOARD	DATE	TIME	LOCATION
Abbreviated Plat	05/22/24	8:30 am	Assembly Chambers
MVP Transportation Technical Committee	05/22/24	1:00 pm	Assembly Chambers
Waterbody Setback Advisory Board	05/22/24	5:00 pm	Mat-Su Borough Employee Break Room
Greater Butte RSA No. 26 Drive Around	05/28/24	10:00 am	Butte Fire Station
Abbreviated Plat	05/29/24	8:30 am	Assembly Chambers
Greater Willow RSA No. 20 Board of Supervisors	05/29/24	7:00 pm	Willow Public Library
Library Board	05/31/24	1:00 pm	Big Lake Public Library & Zoom Meeting ID: 872 6110 4122 Passcode: 044178
Joint Assembly/School Board Committee On School Issues	06/03/24	12:00 pm	MSBSD Central Office
Planning Commission Special Meeting Re: Internal Process For Reviewing and Issuing Conditional Use Permits (To Participate Telephonically Call 855-290-3803)	06/03/24	4:30 pm	Assembly Chambers
Planning Commission (To Participate Telephonically Call 855-290-3803)	06/03/24	6:00 pm	Assembly Chambers
Big Lake RSA No. 21 Ride Around Road Inspection	06/04/24	10:00 am	Big Lake Lions Club
Assembly Special Meeting Re: Clerk's Evaluation (To Provide Public Comment Telephonically Call 855-225-2326)	06/04/24	4:00 pm	Assembly Chambers
Assembly Regular Meeting (To Provide Public Comment Telephonically Call 855-225-2326)	06/04/24	6:00 pm	Assembly Chambers
Abbreviated Plat	06/05/24	8:30 am	Assembly Chambers
Talkeetna Sewer & Water SSA No. 36 Board of Supervisors	06/05/24	1:00 pm	Talkeetna Library Conference Room

If you would like further information on any of these meetings or are interested in serving on any of the advisory boards, please call the Borough Clerk's Office at 907-861-8683, Monday through Friday, 8 a.m. to 5 p.m. The Borough's website address is: <https://www.matsugov.us/publicmeetings>

Disabled persons needing reasonable accommodation in order to participate at a Borough Board/Commission meeting should contact the Borough ADA Coordinator at 907-861-8432 at least one week in advance of the meeting.

The Community Council meetings scheduled are: (Community Councils are not agencies or subgroups of the Borough. There may be a quorum of Mat-Su Borough advisory boards in attendance at community council meetings.)

Glacier View Community Council	05/23/24	6:00 pm	Glacier View School
Big Lake Community Council Board Meeting	05/28/24	6:00 pm	Big Lake Family Restaurant
Tanaina Community Council	05/28/24	7:00 pm	Sleepy Hollow Golf Course
Sutton Community Council	05/29/24	7:00 pm	Sutton Public Library & Zoom Meeting ID: 938 1463 4307 Passcode: 614331
North Lakes Community Council (nlakes.cc)	05/30/24	7:00 pm	Boys & Girls Club & Zoom Meeting ID: 896 0473 7544 Passcode: 982374
Fishhook Community Council Board Meeting	06/03/24	6:00 pm	St Herman's Church
Talkeetna Community Council	06/03/24	7:00 pm	Talkeetna Library & Zoom Meeting ID: 450 310 5937 Passcode: 610720
Willow Area Community Organization	06/05/24	7:00 pm	Willow Community Center

Publish Date: May 22, 2024

0524-38

REGULAR MEETING

6:00 p.m.

June 3, 2024

Ways you can participate in the meetings:

IN PERSON: You will have 3 minutes to state your oral comment

IN WRITING: You can submit written comments to the Planning Commission Clerk at msb.planning.commission@matsugov.us

Written comments are due at noon on the Friday prior to the meeting.

TELEPHONIC TESTIMONY:

- Dial 1-855-290-3803; you will hear "joining conference" when you are admitted to the meeting.
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised."
- When it is your turn to testify, you will hear, "Your line has been unmuted."
- State your name for the record, spell your last name, and provide your testimony.

OBSERVE: observe the meeting via the live stream video at:

- <https://www.facebook.com/MatSuBorough>
- Matanuska-Susitna Borough - YouTube

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

II. APPROVAL OF AGENDA

III. PLEDGE OF ALLEGIANCE

IV. CONSENT AGENDA

A. MINUTES

Regular Meeting Minutes: May 20, 2024

B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS

Resolution 24-08 A Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive Tax ID# 5274B03L007A. Public Hearing: June 17, 2024 (Applicant: Justin Benson, on behalf of Shoreline Cannabis; Staff: Rick Benedict, Current Planner)

Resolution 24-09 A Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 10600 E. Max Drive Tax ID# 2209B02L001A. Public Hearing: June 17, 2024 (Applicant: Anthony Wells, on behalf of Smoke Out Point; Staff: Rick Benedict, Current Planner)

Resolution 24-11 A Conditional Use Permit in accordance with MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher By Bad Gramm3r. The facility is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The new location is on Tax ID # 6932000L002. Public Hearing: June 17, 2024 (Applicant: Teresa Zell; Staff: Peggy Horton, Current Planner)

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

Resolution 24-13 A Resolution of the Matanuska-Susitna Borough Planning Commission recommending repeal of MSB 17.48 Mobile Home Park Ordinance in its entirety.

V. COMMITTEE REPORTS

VI. AGENCY/STAFF REPORTS

VII. PUBLIC HEARING: LAND USE CLASSIFICATIONS

VIII. AUDIENCE PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)

IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS

(*Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.*)

X. PUBLIC HEARING: LEGISLATIVE MATTERS

XI. CORRESPONDENCE & INFORMATION

XII. UNFINISHED BUSINESS

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

A. Upcoming Planning Commission Agenda Items

XV. DIRECTOR AND COMMISSIONER COMMENTS

XVI. ADJOURNMENT (*Mandatory Midnight*)

Publish Date: May 22, 2024

0524-35



Edna DeVries, Mayor
(907) 861-8682 - Work
(907) 795-8133 - Cell
Edna.DeVries@matsugov.us

Tim Hale, #1
(907) 590-8243
TimHaleDistrict1@gmail.com

Stephanie Nowers, #2
(907) 831-6299
StephanieNowersDistrict2@gmail.com

Dee McKee, #3
(907) 373-3630
Dee.McKee@matsugov.us

Robert Yundt, #4
(907) 232-8340
robbyundtmsb@gmail.com

Bill Gamble, #5
(907) 232-0103
Bill.Gamble@matsugov.us

Dmitri Fonov, #6
(907) 861-8546
fonov@matsugov.us

Ron Bernier, #7
(907) 354-7877
Ron.Bernier@matsugov.us



Matanuska-Susitna Borough

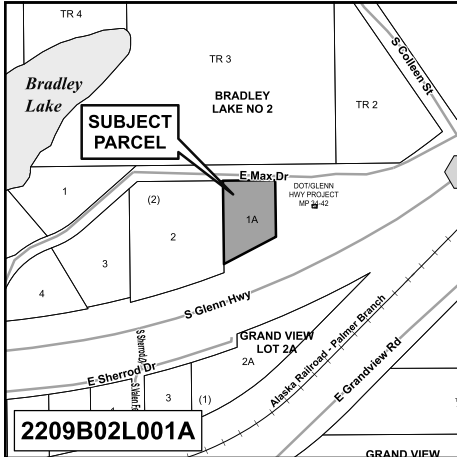
www.matsugov.us

PUBLIC NOTICE

Anthony Wells, on behalf of Smoke Out Point, applied for a Conditional Use Permit under MSB 17.60 - Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 10600 E. Max Drive (Tax ID# 2209B02L001A).

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, June 17, 2024, at 6:00 p.m.** in the Borough Assembly Chambers at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission, and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking "All Public Notices & Announcements." For additional information, contact Rick Benedict, Current Planner, at (907) 861-8527.



Provide written comments by e-mail to rick.benedict@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **May 31, 2024**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report but will be provided to the Commission at the meeting.

Publish Date: May 1, 2024

0524-05

-ABANDONED VEHICLES SUBJECT TO DISPOSAL-

The following abandoned vehicles are subject to disposal by the Matanuska-Susitna Borough's Solid Waste Division. The vehicles were tagged as abandoned in the Matanuska-Susitna Borough right-of-way at the listed locations. You have the right to appeal pursuant to MSB 10.12.090.

Impound#: 3626
Vehicle Description: Tan Nissan Stanza **LIC:** Not Available
VIN: Not Available
MSB ROW Location: Polaris Ln, Wasilla, Alaska
Place of Impoundment: 1201 N 49th State St, Palmer, AK 99645

Impound#: 3081
Vehicle Description: 1999 Gray Dodge Truck 1500 **LIC:** HCB737
VIN: 1B7HF13Z2XJ564125
MSB ROW Location: Northshore Dr. Wasilla Alaska
Place of Impoundment: 1201 N 49th State St, Palmer, AK 99645

The vehicles will be disposed of by auction or auto wrecker on or after May 26th, 2024.

FOR MORE INFORMATION, call the MSB Solid Waste Division at (907) 861-7600.

Publish Date: May 1, 2024

0524-10

ABBREVIATED PLAT AGENDA ASSEMBLY CHAMBERS 350 EAST DAHLIA AVENUE, PALMER

REGULAR MEETING 8:30 A.M. May 8, 2024

A. **PATRICIA RSB L/1:** The request is to create two lots from Lot 1, Patricia Subdivision, Plat No. 2005-120, to be known as **LOTS 1A & 1B**, containing 15.366 acres +/- . The property is located south of W. Carmel Road, west of Crocker Creek, and directly north and west of S. Knik Goose Bay Road (Tax ID # 5741000L001); within the N 1/2 Section 4, Township 16 North, Range 02 West, Seward Meridian, Alaska. In the Knik-Fairview Community Council and in Assembly District #5. (Petitioner/Owner: Southcentral Foundation, Staff: Matthew Goddard, Case #2024-056)

Publish Date: May 1, 2024

0524-07

PUBLIC NOTICE

Justin Benson, on behalf of Shoreline Cannabis, applied for a Conditional Use Permit under MSB 17.60 - Conditional Uses for the Operation of a Marijuana Retail Facility. The proposed operation is at 4200 E. Snider Drive (Tax ID# 5274B03L007A).

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, June 17, 2024, at 6:00 p.m.** in the Borough Assembly Chambers at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission, and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking "All Public Notices & Announcements." For additional information, contact Rick Benedict, Current Planner, at (907) 861-8527.



Provide written comments by e-mail to rick.benedict@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **May 31, 2024**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report but will be provided to the Commission at the meeting.

Publish Date: May 1, 2024

0524-06

ELECTION OFFICIALS NEEDED!

For the Mat-Su Borough Regular Election on Tuesday, November 5, 2024

Don't delay, submit your application today!

- The Borough Clerk's Office is recruiting for precinct officials and hand count officials. If you are interested in applying, you must complete and submit an application. Additional information and applications are available online at www.matsugov.us/elections or contact the Borough Clerk's Office at 907-861-8683. In order to serve, you must be a registered voter of the Borough and attend training. Training and compensation are provided.

Publish Date: May 1, 2024

0524-03

MAT-SU ANIMAL CARE & REGULATION

Did you know...?
Within the borough, no person shall own any dog or cat over the age of six months without registering each dog or cat. (MSB 24.10.010)

The Borough animal care and shelter can register your dog or cat for \$15 if the animal is spayed/neutered or for \$30 if the animal is not spayed/neutered. The registration is good for three years.

If you have any questions please call 907-746-5500 or email: animal.care@matsugov.us



Edna DeVries, Mayor
(907) 861-8682 - Work
(907) 795-8133 - Cell
Edna.DeVries@matsugov.us

Tim Hale, #1
(907) 590-8243
TimHaleDistrict1@gmail.com

Stephanie Nowers, #2
(907) 831-6299
StephanieNowersDistrict2@gmail.com

Dee McKee, #3
(907) 373-3630
Dee.McKee@matsugov.us

Robert Yundt, #4
(907) 232-8340
robundtmsb@gmail.com

Bill Gamble, #5
(907) 232-0103
Bill.Gamble@matsugov.us

Dmitri Fonov, #6
(907) 861-8546
fonov@matsugov.us

Ron Bernier, #7
(907) 354-7877
Ron.Bernier@matsugov.us

From: [Rick Benedict](#)
To: [Ben Borg](#)
Cc: [Petra Albecker](#); [Corinne Lindfors](#)
Subject: MSB Page Ad: Smoke Out Point
Date: Wednesday, April 24, 2024 11:35:00 AM
Attachments: [2209B02L001A Ad Layout.pdf](#)
[Newspaper Ad - Smoke Out Point.docx](#)
[Ad Request Form_Smoke Out Point.docx](#)

Hello,

Please see the attached ad, map, and ad request for publication on Wednesday, May 1, 2024.

Thank you!

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct



Certificate of Bulk Mailing – Domestic

Fee for Certificate

Up to 1,000 pieces (1 certificate for total number)
For each additional 1,000 pieces, or fraction thereof
Duplicate Copy

Use
Current
Price List
(Notice 123)

Postage: Mailers must affix meter, PC Postage®, or (uncanceled) postage stamps here in payment of total fee due.



Acceptance employee must cancel postage affixed (by round-date) at the time of mailing.

If payment of total fee due is being paid by Permit Imprint, include the PostalOne!® Transaction Number here: _____

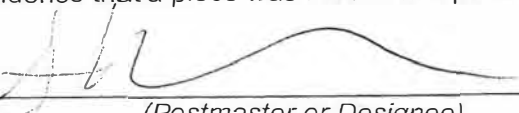
Number of Identical Weight Pieces 25	Class of Mail 1st	Postage for Each Mailpiece Paid <input type="checkbox"/> Verified	Number of Pieces to the Pound 45
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Total Number of Pounds 8.8	Total Postage Paid for Mailpieces \$16.00	Fee Paid 11.10
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Mailed For **Permits** Mailed by  **I. Fodge**

Postmaster's Certification

It is hereby certified that the number of mailpieces presented and the associated postage and fee were verified. This certificate does not provide evidence that a piece was mailed to a particular address.


(Postmaster or Designee)



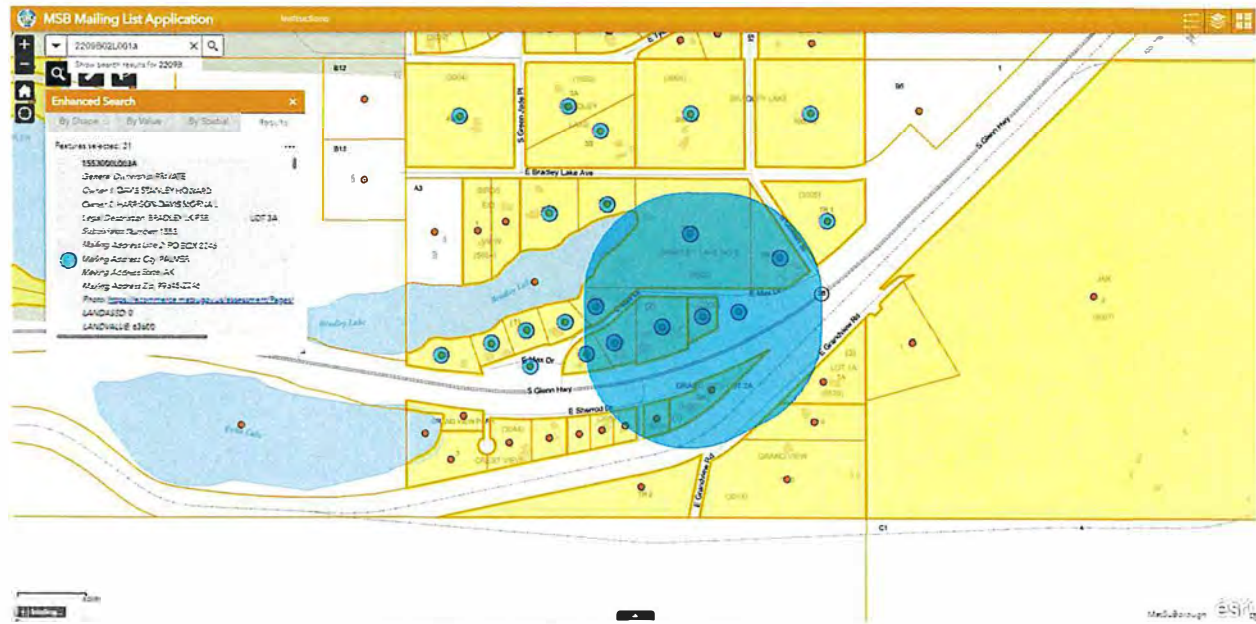
Number	Tax Account	OWNER_1	NAME_2	MAILING_ADDRESS_LINE_B	MAILING_ADDRESS_CITY	MAILING_ADDRESS_STATE	MAILING_ADDRESS_ZIP
1	3005801L002	MORGAN DAVID & JOY		10401 E MAX DR	PALMER	AK	99645
2	3005802L003	ROSENBERG MYRON C		PO BOX 101900	ANCHORAGE	AK	99510-1900
3	3005801L001	RILEY JEFFREY L & HEATHER		10451 E MAX DR	PALMER	AK	99645
4	2209802L001A	WELLS SCOTT R		4128 S GLENN HWY	PALMER	AK	99645-8295
5	3014000T004	MCNEILL ZENNON	WERNER LEAH	11106 SW 43RD AVE	PORTLAND	OR	97219
6	3014802L002	LEWIS DAVID J & KRISTIN		10360 E SHERROD DR	PALMER	AK	99645-8238
7	3005000T001	LUGDUNUM PROPERTIES LLC		PO BOX 461	PALMER	AK	99645-0461
8	4490801L002A	TITUS KYLE & TEAL		10460 E SHERROD DR	PALMER	AK	99645
9	2209802L001B	ALASKA STATE OF	DEPT OF TRANS & PUB FAC	PO BOX 196900	ANCHORAGE	AK	99519-6900
10	3005000T004	ULRICH KENNETH B SR		1486 COUNTY ROAD DB	MOSINEE	WI	54455-9408
11	5579803L001A	WALL FRANKLIN R JR	MEADS WALL PAULA	PO BOX 2052	PALMER	AK	99645-2052
12	3005802L002	LOWE WILLIAM R		115 MONTGOMERY WAY	PALMER	AK	99645-6503
13	3014802L001	GUARD JANUARY M & CHEYENNE		10390 E SHERROD DR	PALMER	AK	99645
14	3014801L003	PANKOWSKI ASHLEY E		10400 E SHERROD DR	PALMER	AK	99645-8239
15	1553000L003A	DAVIS STANLEY HOWARD	HARRISON-DAVIS MORNA L	PO BOX 2246	PALMER	AK	99645-2246
16	1553000L003B	WILLIAMS ROSE M DEC TR		10425 E BRADLEY LAKE AVE	PALMER	AK	99645
17	3004-200000	LOGSDON ONNALIE		PO BOX 3026	VALDEZ	AK	99686-3026
18	3004-400000	RAYMOND HENRY M JR EST		PO BOX 669	PALMER	AK	99645-0669
19	3005000T002	MARCEY JAMES M		PO BOX 1343	PALMER	AK	99645
20	3005000T005	CHAMBERS MATHEW J		10400 E BRADLEY LAKE AVE	PALMER	AK	99645-8205
21	3005801L003	MORGAN DAVID W & JOY A		PO BOX 654	NOME	AK	99762
22	3005801L004	ANDERSON ALAINA		16924 SNOWMOBILE LN	EAGLE RIVER	AK	99577
23	3005801L005	MAGUIRE PAUL A JR		PMB 135 1150 S COLONY WAY STE 3	PALMER	AK	99645-6967
24	3005802L002	LOWE WILLIAM R		2900 S GLENN HWY	PALMER	AK	99645
25		Gateway Community Council		PO Box 578	PALMER	AK	99645

Smoke out

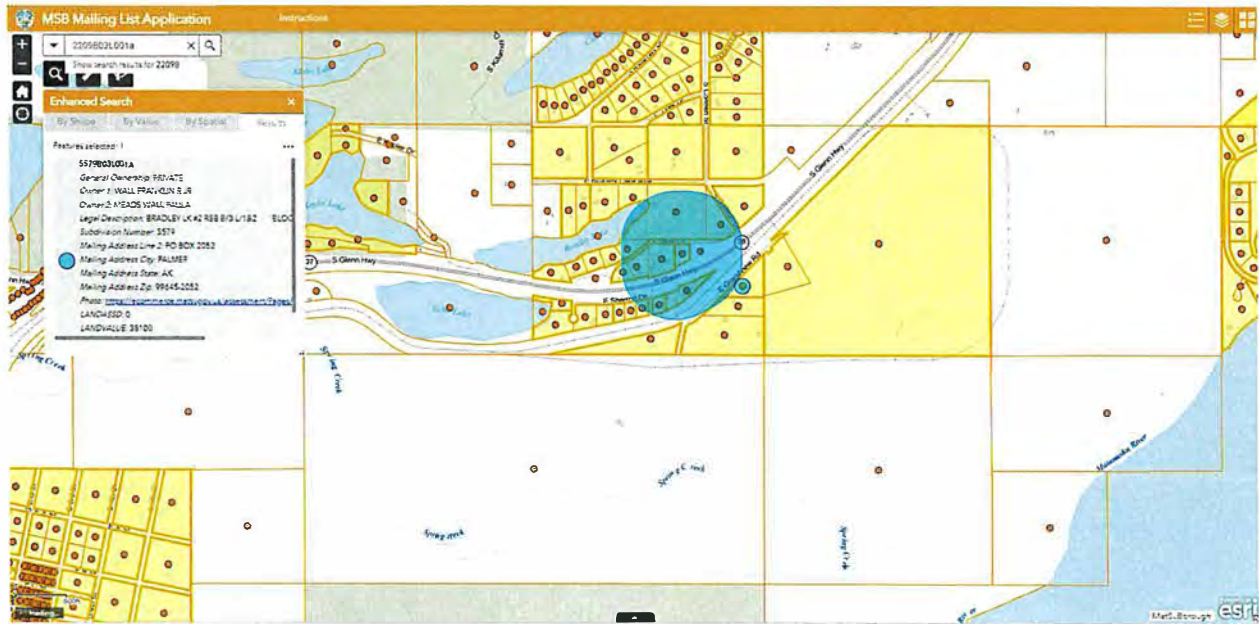
600 Feet Radius



With 1553, 2209, 3004, 3005 Subdivisions



With 5579 subdivision



From: [Rick Benedict](#)
To: [Corinne Lindfors](#)
Cc: [Lacie Olivier](#)
Subject: Public Mailing - Smoke Out Point CUP - Marijuana Retail Facility
Date: Wednesday, April 24, 2024 11:54:00 AM
Attachments: [Public Notice Mailing_Smoke Out Point CUP.docx](#)
[Bradley Lk #2 SubDivision Listing.pdf](#)
[2209B02L001A Main Layout.pdf](#)

Hello Corinne,

A mailing request, please

By Friday, May 10. The notice area is to all property owners within 600 feet of the exterior boundary of the property subject to this application, to all property owners within Bradley Lake #2 Subdivision (list attached), and to the Gateway Community Council at the following address:

Gateway Community Council
PO Box 578
Palmer, AK 99645

Thank you!

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct



MATANUSKA-SUSITNA BOROUGH

Search Again

Subdivision Search ▼ Search

Subdivision Search Listing

Subdivision Number	Subdivision Name	Tax Map	Map	PDF	DXF
1553	BRADLEY LK RSB	WA16			
1553	BRADLEY LK RSB	WA16			
2209	BRADLEY LK #2 RSB B/2 L/1	WA16			
2209	BRADLEY LK #2 RSB B/2 L/1	WA16			
3004	BRADLEY LK	WA16			
3004	BRADLEY LK	WA16			
3004	BRADLEY LK	WA16			
3005	BRADLEY LK #2	WA16			
3005	BRADLEY LK #2	WA16			
3005	BRADLEY LK #2	WA16			
3005	BRADLEY LK #2	WA16			
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3005	BRADLEY LK #2	WA16			
3005	BRADLEY LK #2	WA16			
5579	BRADLEY LK #2 RSB B/3 L/1&2	WA16			

From: [Rick Benedict](#)
To: [Rick Benedict](#)
Bcc: [DEC Agency Reviews](#); ["msb.hpc@gmail.com"](#); ["mearow@matanuska.com"](#); ["row@mtasolutions.com"](#); ["row@enstarnaturalgas.com"](#); ["GCI ROW"](#); [Tom Adams](#); [Jamie Taylor](#); [Brad Sworts](#); [Charlyn Spannagel](#); [Alex Strawn](#); [Jason Ortiz](#); [Corinne Lindfors](#); [Permit Center](#); [Peggy Horton](#); [Fred Wagner](#); [Planning](#); [John Aschenbrenner](#); ["Eric Phillips"](#); [Daniel Dahms](#); [Tammy Simmons](#); [Peggy Horton](#); [License Reviews](#); ["amco.localgovernmentonly@alaska.gov"](#); [Lesley Norris](#); [Land Management](#); ["lmb@matsugov.us"](#); [Michelle Olsen](#); ["Kyler Hylton \(kyler.hylton@alaska.gov\)"](#); [ben.white@alaska.gov](#); [Huling, Kristina N \(DOT\)](#); [colton.percy@alaska.gov](#); [Brian Davis](#); [Jeffrey Anderson](#); [Fire Code](#); [Chad Cameron Contact](#); [Katrina Kline](#); ["sarah.myers@alaska.gov"](#); ["stephanienowersdistrict2@gmail.com"](#); ["gatewaycommunitycouncil@gmail.com"](#); ["sandytraini@hotmail.com"](#); ["opt.tim.us.breeden@gmail.com"](#); ["stark@mtaonline.net"](#); ["ak.charlie.907@protonmail.com"](#); ["nodrog.yllek@gmail.com"](#); ["tedstuff@hotmail.com"](#); ["marty@valleymarket.com"](#); ["mothers@mtaonline.net"](#)
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Thursday, April 25, 2024 9:43:00 AM

APPLICANT: Anthony Wells, on behalf of Smoke Out Point

LOCATION: 10600 E. Max Drive, Palmer, AK 99645; Tax ID# 2209B02L001A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on [Monday, June 17, 2024, at 6:00 p.m.](#)

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before [Friday, May 31, 2024](#), and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

Site Visit Photos



View to southwest from South Colleen Street, East Max Drive center photo.



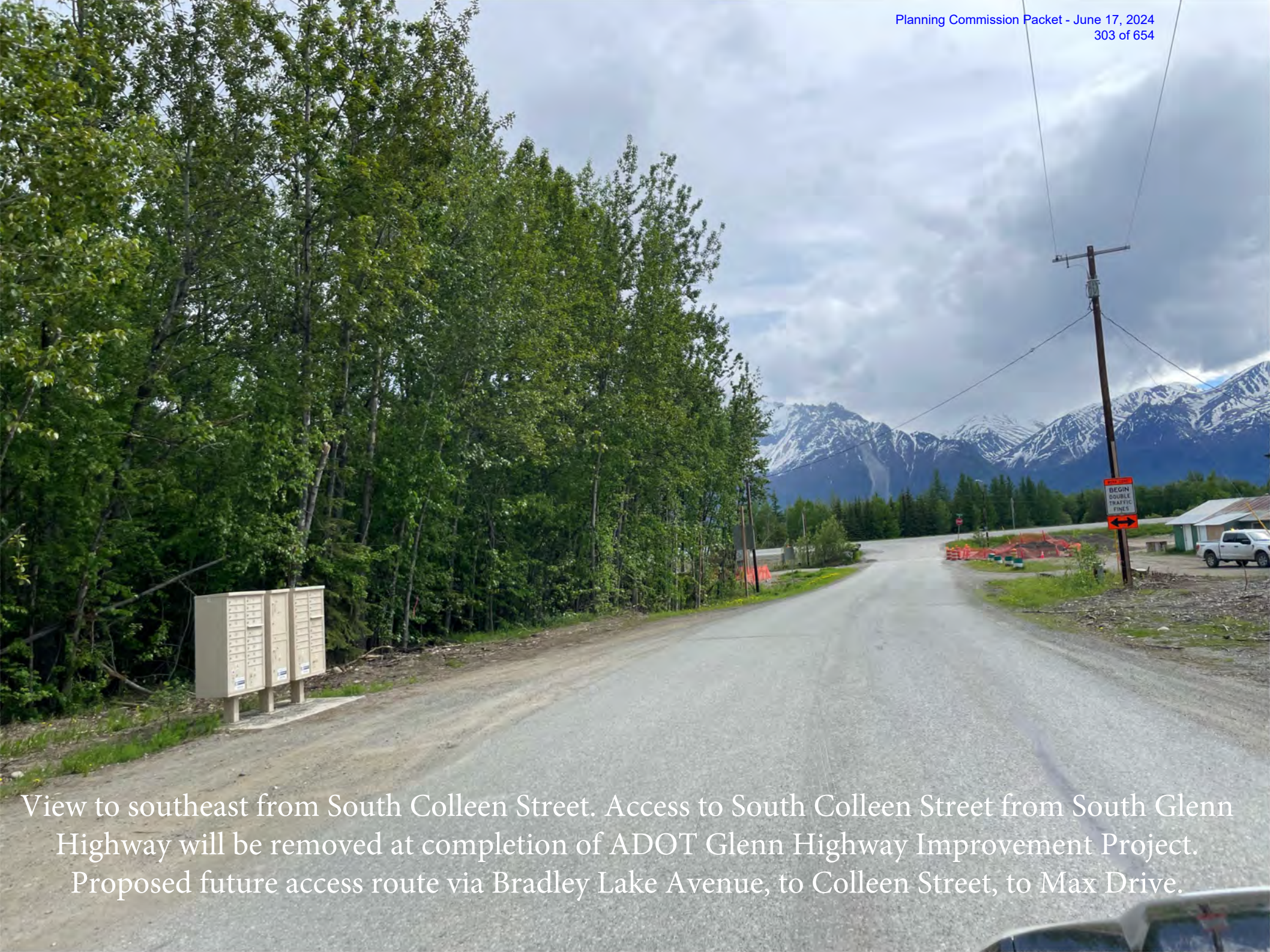
View to northwest from South Colleen Street, proposed future access route via East Bradley Lake Avenue.



View to east from South Colleen Street, proposed future access route via East Bradley Lake Avenue and South Glenn Highway signaled intersection.



View to southeast from future intersection at South Colleen Street, proposed future access route via East Bradley Lake Avenue.



BEGIN
DOUBLE
TRAFFIC
FINES
↔

View to southeast from South Colleen Street. Access to South Colleen Street from South Glenn Highway will be removed at completion of ADOT Glenn Highway Improvement Project. Proposed future access route via Bradley Lake Avenue, to Colleen Street, to Max Drive.



View to southwest from South Colleen Street, East Max Drive center photo.



View of eastern portion of East Max Drive, proposed for improvement for commercial use under Borough issued construction permit.



View of eastern portion of East Max Drive, proposed for improvement for commercial use under Borough issued construction permit.



View of eastern portion of East Max Drive, proposed for improvement for commercial use under Borough issued construction permit. Proposed marijuana retail building center-left.



View to southwest of subject parcel. Proposed marijuana retail building left of photo. Residential structure centered, and planned for demolition. Additional residential structure right of photo and planned to remain in use on subject property.



View to south of subject parcel. Back of proposed marijuana retail building center of photo. Residential structure center left, and planned to remain in use on subject property.



View of northeast portion of the proposed marijuana retail building.



View of the Borough permitted commercial driveway, facing north. Portion of the East Max Drive to be improved pictured in background.



One of three proposed parking areas on the east side of the subject parcel. View to south.



View of southeast portion of the proposed marijuana retail building.



View to the east of the northern portion of the proposed marijuana retail building.



View of the back, western portion of the proposed marijuana retail building.



View looking north from the subject parcel, with back of the proposed marijuana retail building right of photo, and an existing residential structure centered.

View of the front (southeast portion) of the proposed marijuana retail building.





View of East Max Drive looking east, proposed to be improved for commercial use under Borough issued construction permit. ADOT right-of-way pictured right of photo.



View of East Max Drive looking east, proposed to be improved for commercial use under Borough issued construction permit. ADOT right-of-way pictured right of photo.



Intersection of East Max Drive and South Colleen Street looking east. ADOT Glenn Highway Improvement Project will remove access to South Colleen Street from South Glenn Highway. ADOT project expected completion in 2025. Uses access/egress plan will be to left from East Max Drive onto South Colleen Street, north to East Bradley Lake Avenue, east to Glenn Hwy.



Approximate location of future signaled intersection at South Glenn Hwy and East Bradley Lake Avenue. Expected completion in 2025. View to northeast.



View looking southwest from South Glenn Hwy. South Colleen Street/Glenn Hwy intersection pictured. Access to Colleen Street from the Glenn Hwy to be removed according to ADOT Glenn Hwy Improvement Project and completed in 2025.

SITE PLAN



PROPERTY INFORMATION

LEGAL DESCRIPTION:
BRADLEY LAKE SUBDIVISION, BLOCK 2, LOT 1A

PLAT NO.
81-156

STREET ADDRESS:
10600 E. MAX DRIVE, PALMER, ALASKA

SIZE:
0.86 ACRES

P.O. Box 87570, West Hill, Alaska 99687
PH 907.632.6487

10600 E. MAX DR, PALMER, ALASKA

SMOKE OUT POINT

PROPOSED SITE PLAN

REVISIONS:

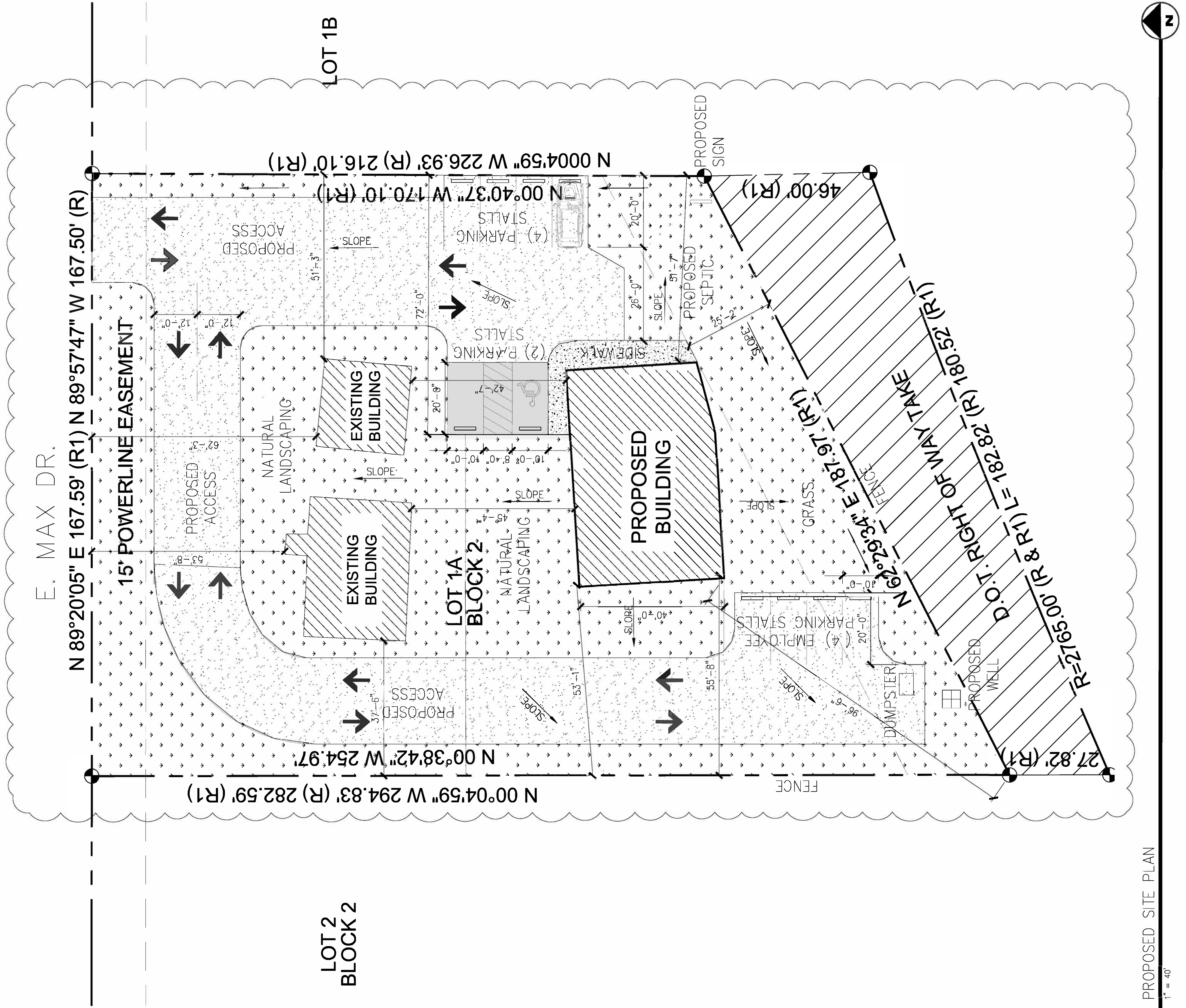
10.7.21 ADDED DIMENSIONS
4.29.22 OWNER REVISIONS
6.7.22 OWNER REVISIONS
6.7.22 OWNER REVISIONS
8.26.22 OWNER REVISIONS
7.14.23 OWNER REVISIONS
2.15.24 OWNER REVISIONS
3.25.24 OWNER REVISIONS
4.9.24 OWNER REVISIONS
5.24.24 MSB REVISIONS

DRAWN BY: MFW
CHECKED BY: MFW
DATE: 5.24.2024
JOB NUMBER: 21126.00

SHEET CONTENTS:
PROPERTY INFO
PROPOSED SITE PLAN

CATEGORY
G

SHEET
1.2



PROPOSED SITE PLAN

1" = 40'

PLOTTING DATE:

XREF:





HANSON LAND SOLUTIONS
305 E. FIREWEED AVE.
PALMER, ALASKA 99645
(907)746-7738
BUSINESS LICENSE #1525



AS-BUILT SURVEY

I HEREBY CERTIFY THAT THIS DOCUMENT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, OF THE FOLLOWING REAL PROPERTY:

**LOT 1A,
BLOCK 2
BRADLEY LAKE NO. 2
(PLAT 68-15)**

PALMER RECORDING DISTRICT

LOCATED WITHIN
NE 1/4 SEC. 24,
T.17N. R.1E.
SM, AK

CONTAINING
0.82 ACRES
MORE OR LESS

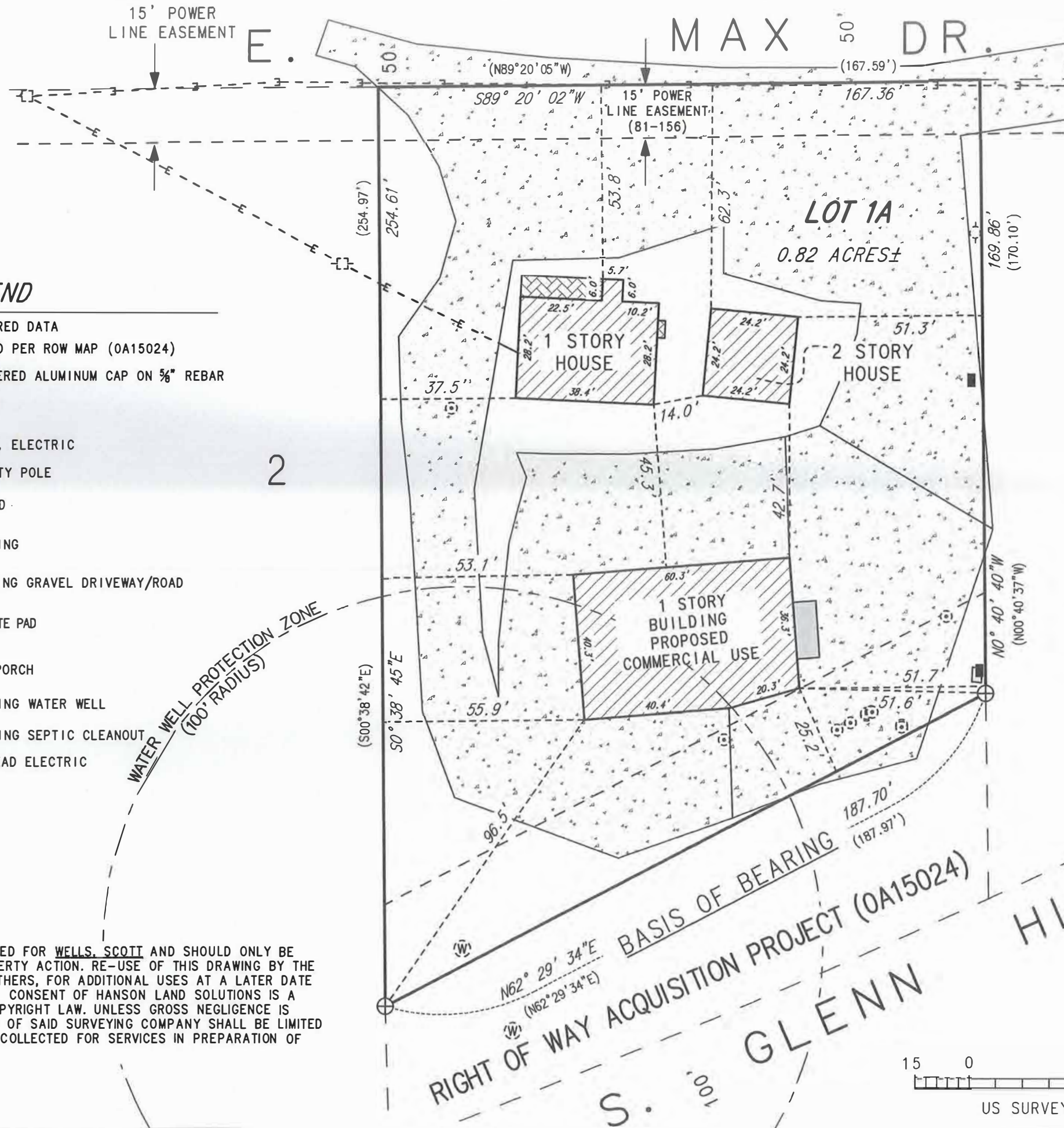
SCALE: 1"=30' JOB: 24-120

DWN:LS FILE: 24-120 AB

CK:CEH 03/06/24 01 OF 01

NOTES

1. THE HEREON REPRESENTED SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. IT IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE.
2. INFORMATION PRESENTED HEREON IS A REPRESENTATION OF VISIBLE IMPROVEMENTS AND CONDITIONS PRESENT AT THE TIME THE SURVEY WAS PERFORMED ON MARCH 01, 2024.
3. DIMENSIONS OBTAINABLE FROM THIS DOCUMENT ARE LIMITED TO THOSE BEARINGS AND GROUND DISTANCES SPECIFICALLY LABELED HEREON. THE DOCUMENT DOES NOT PURPORT TO PRESENT A BASIS FOR SCALING TO DIMENSIONS NOT LABELED HEREON.
4. THIS DOCUMENT IS NOT TO BE USED IN SUPPORT OF ANY NEW CONSTRUCTION.
5. EASEMENTS, COVENANTS AND RESTRICTIONS NOT APPEARING ON THE RECORDED SUBDIVISION PLAT MAY EXIST. DETERMINATION OF THEIR EXISTENCE IS THE RESPONSIBILITY OF THE OWNER.
6. THIS SURVEY WAS COMPLETED IN SUBSTANTIAL ACCORDANCE WITH ASPLS MORTGAGE LOCATION SURVEY STANDARDS.



LEGEND

- 255.65' MEASURED DATA
- (N74°45'W) (254.70') RECORD PER ROW MAP (0A15024)
- ⊕ RECOVERED ALUMINUM CAP ON 5/8" REBAR
- ① BLOCK
- ⊕ METER, ELECTRIC
- ⊕ UTILITY POLE
- BOLLARD
- ▨ BUILDING
- EXISTING GRAVEL DRIVEWAY/ROAD
- CONCRETE PAD
- ▨ DECK/PORCH
- ⊕ EXISTING WATER WELL
- ⊕ EXISTING SEPTIC CLEANOUT
- - - OVERHEAD ELECTRIC

1B
**BRADLEY LAKE NO. 2
(68-15)**

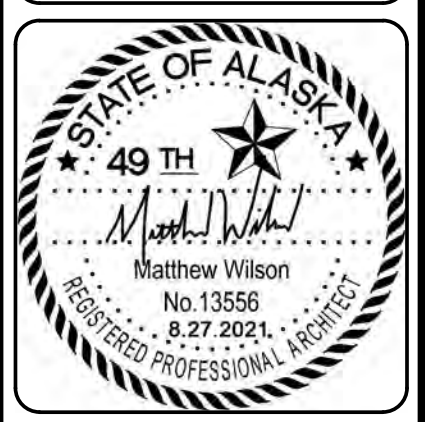


THIS SURVEY WAS PREPARED FOR WELLS, SCOTT AND SHOULD ONLY BE USED FOR A SINGLE PROPERTY ACTION. RE-USE OF THIS DRAWING BY THE ORIGINAL CLIENT OR BY OTHERS, FOR ADDITIONAL USES AT A LATER DATE WITHOUT EXPRESS WRITTEN CONSENT OF HANSON LAND SOLUTIONS IS A VIOLATION OF FEDERAL COPYRIGHT LAW. UNLESS GROSS NEGLIGENCE IS DISCOVERED, THE LIABILITY OF SAID SURVEYING COMPANY SHALL BE LIMITED TO THE AMOUNT OF FEES COLLECTED FOR SERVICES IN PREPARATION OF THIS PRODUCT.

SMOKE OUT POINT

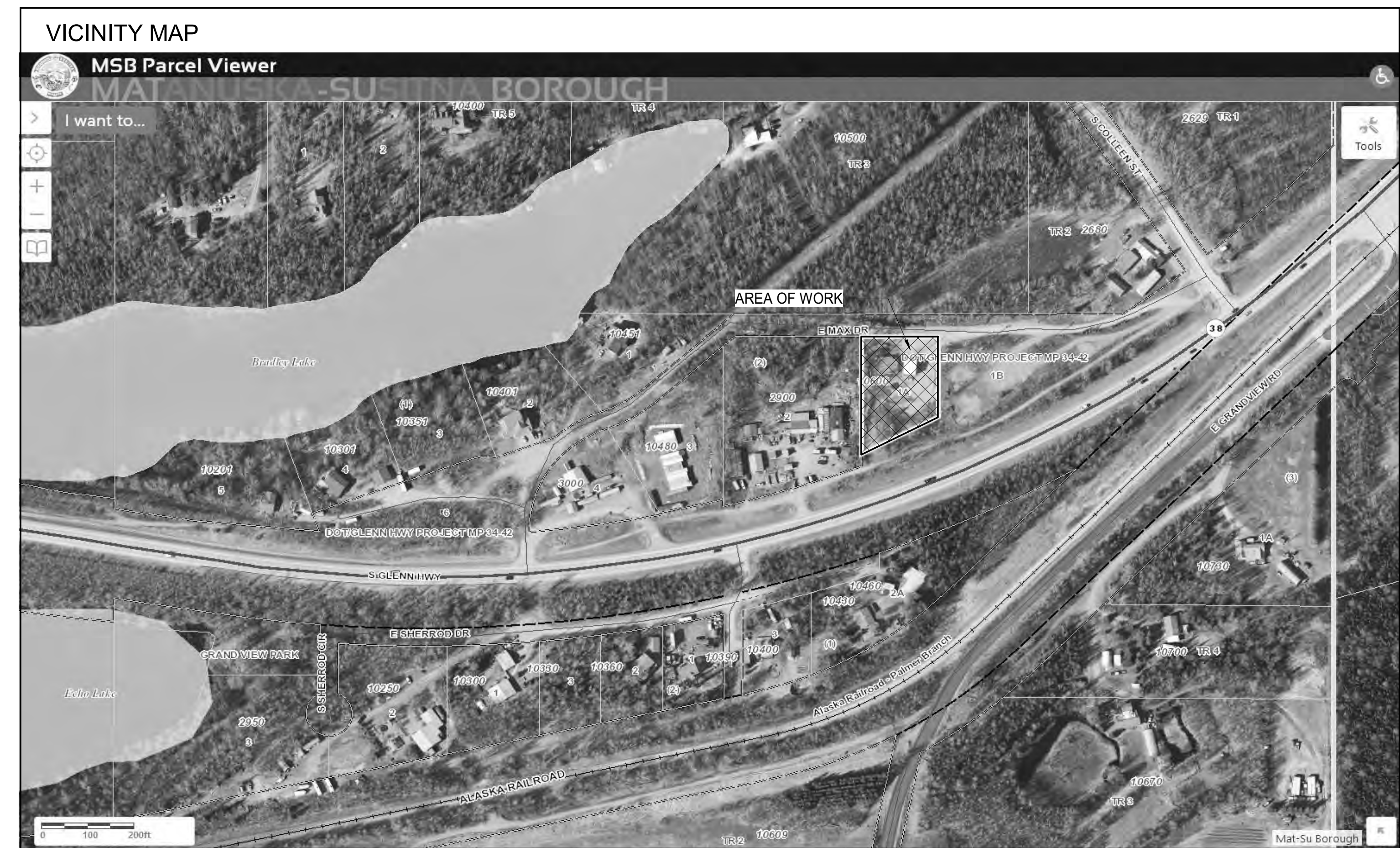
10600 E. MAX DRIVE PALMER, ALASKA

AUGUST 27, 2021 CONSTRUCTION DRAWINGS



SHEET INDEX		MECHANICAL	ELECTRICAL
<u>ARCHITECTURAL (907 ARCHITECTURE)</u>	<u>STRUCTURAL (TERRAMOUNT ENG)</u>	DEFERRED SUBMITTAL	DEFERRED SUBMITTAL
G1.1 FIRST FLOOR CODE PLAN & ANALYSIS	S1.0 DESIGN CRITERIA		
G1.2 CONCEPTUAL SITE PLAN	S1.1 SPECIAL INSPECTION		
A1.1 FIRST FLOOR PLAN, VERT ASSEM	S1.2 CONCRETE SCHEDULE & TYPICAL DETAILS		
A1.2 SECOND FLOOR PLAN, VERT ASSEM	S1.3 WOOD SHEAR WALL DETAILS		
A1.3 ROOF PLAN	S1.4 WOOD FRAMING SCHEDULE		
A2.1 EXTERIOR ELEVATIONS	S2.0 FOUNDATION PLAN		
A2.2 EXTERIOR ELEVATIONS	S2.1 FIRST FLOOR SHEAR WALL PLAN		
A3.1 BUILDING SECTIONS	S2.2 2ND FLOOR FRAMING PLAN		
A3.2 WALL SECTIONS	S2.3 2ND FLOOR PLAN		
A4.1 DOOR INFO	S3.0 SECTION		
A6.0 EXTERIOR PERSPECTIVES	S3.1 SECTION		
	S3.2 SECTION		
	S3.3 SECTION		
	S4.0 SECTION DETAILS		

- #### GENERAL NOTES
- BUILDING SHALL CONFORM TO INTERNATIONAL BUILDING CODE, 2012 EDITION AND ALL APPLICABLE CODES.
 - THESE DRAWINGS ARE SUPPLIED TO THE OWNER / GENERAL CONTRACTOR AND OTHERS FOR THEIR USE ON THIS SPECIFIC PROJECT.
 - THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG THE SUB-CONTRACTORS. THE DIVISION OF THE WORK SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS REQUIRED TO COMPLETE ALL WORK AS SHOWN OR AS IMPLIED ON THESE DRAWINGS.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL FACILITIES FOR LIGHT AND POWER WITHIN THE PREMISES AND IN THE CONSTRUCTION AREA DURING THE ENTIRE CONSTRUCTION PERIOD. POWER SHALL BE OBTAINED FROM THE EXISTING DISTRIBUTION SYSTEM. PROVIDE NECESSARY MATERIALS AND LABOR FOR POWER CONNECTIONS FOR MACHINES, PORTABLE TOOLS, ETC.. AS USED BY OTHER TRADES, REGARDLESS OF SIZE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND DEBRIS RESULTING FROM CONSTRUCTION AT CONTRACTOR'S EXPENSE.
 - ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.
 - CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FIELD VERIFY CONDITIONS BEFORE PROCEEDING WITH ANY WORK.
 - ALL CONTRACTORS AND SUB CONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO ALL APPLICABLE LOCAL CODES AND TRADE STANDARDS.
 - ALL COLORS, FINISHES, AND EQUIPMENT SHALL BE SELECTED BY THE OWNER.
 - ANY AND ALL DISCREPANCIES BETWEEN DRAWING SHEETS, DISCIPLINES, DIMENSIONS, DETAILS, MATERIALS, AND COLORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING AND/ OR CONSTRUCTION IMMEDIATELY UPON DISCOVERY FOR CLARIFICATION.
 - DO NOT SCALE DIMENSIONS FROM BLUEPRINTS, ANY AND ALL DISCREPANCIES OF DIMENSIONS BETWEEN DRAWING SHEETS, DISCIPLINES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION IMMEDIATELY UPON DISCOVERY FOR CLARIFICATION.
 - CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS ARE NOT WITHIN THE SCOPE OF THESE DRAWINGS AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SUCH DRAWINGS SHALL BE SUBMITTED UNDER A SEPARATE COVER.
 - ALL UTILITY DESIGN AND CONNECTIONS PROVIDED BY OWNER.



ABBREVIATIONS:

A.F.F. ABOVE FINISHED FLOOR	COL COLUMN	ELEC ELECTRICAL	FT. FOOT	LT LEFT	OHD OVERHEAD DOOR	SIM SIMILAR	VERT VERTICAL
COUPS ACOUSTICAL	COMM COMMUNICATION	EL ELEVATION	FTG FOOTING	LB POUND	PR PAIR	S.B. SINK BASE	VFY VERIFY
A.C.T. ACOUSTICAL CEILING	CONC CONCRETE	EXIST EXISTING	FDN FOUNDATION	LBR LUMBER	P. LAM PLASTIC LAMINATE	S.D. SMOKE DETECTOR	VEST VESTIBULE
ADDN TILE	C.M.U. CONCRETE MASONRY	EXP EXPANSION	GALV GALVANIZED	M.O. MASONRY OPENING	PL PLATE	S.C. SOLID CORE	V.C.T. VINYL COMPOSITION
ALUM ADDITIONAL	CONN CONN	EXT EXTERIOR	GSP GALVANIZED STEEL	MFG MANUFACTURER(ED)	PLYWD PLYWOOD	S.C.W. SOLID CORE WOOD	V.C. TILE
A.B. ALUMINUM	C.J. CONNECTION	E.I.F.S. EXTERIOR INSULATION & FINISH SYSTEM	GLB GLULAM BEAM	MAX MAXIMUM	PRE ENG PREVIOUSLY ENGINEERED	SPEC SPECIFICATION	W.W.F. WALL CABINET
& ANCHOR BOLT	CONTR CONTROL JOINT OR UNITS	FAB F.A.C. FACE OF CONCRETE	GOVT GULUM BEAM GOVERNMENT	MECH MECHANICAL	PSF POUNDS PER SQUARE	SQ SURE	W.W.M. WELDED WIRE FABRIC
APPROX APPROXIMATELY	CONSTR CONSTRUCTION	F.O.F. FACE OF FINISH	GR GRAB BAR	MEMB MEMBRANE	Q.T. QUARTY TILE	SQ FT SQUARE FEET	W/W WELDED WIRE MESH
ASPH ARCHITECTURAL	CONTINUOUS CONSTRUCTION	F.O.S. FACE OF STUDS	GA GRADE	MWP MEMBRANE	R.D. RADIUS	SST STAINLESS STEEL	W/ WITH
@ ASPHALT	CU CUBIC	F.O.W. FACE OF WALL	GYP GAUGE	MIN MINIMUM	REF ROOF DRAIN	STL STEEL	W/O WITHOUT
A.W.W. AT	DK DEMO	F.F. FACE TO FACE	G.W.B. GYPSUM	MIR MINIMUM	REF REFERENCE	STRUC STRUCTURAL	WD WOOD
BK ALL WEATHER WOOD	DTL DEMOLITION	F.F.F. FACTORY FINISH	HC GYPSUM WALL BOARD	MISC MIRROR	REQD REINFORCE	SUSP SUSPENDED	
B.C. BACK	DIA DETAIL	F.F. FIRE EXTINGUISHER	H.M. HANDICAPPED	NOM NOMINAL	REV REQUIRED	S.A.T. SUSPENDED ACOUSTICAL	
BM BASE CABINET	DIFF DIAMETER	F.F. FIRE EXTINGUISHER	HORIZ HOLLOW METAL	N.A. NOMINAL	RT REVERSED	TELE TELEVISION	
BLK BEAM	DIFF DIFFUSER	F.P. FIREPROOF	H.B. HORIZONTAL	N.I.C. NOT APPLICABLE	RM RIGHT	THRU TELEPHONE	
BLKG BLOCK	DIM DIMENSION	F.P. FIGURE	IN HOSE BIB	N.T.S. NOT IN CONTRACT	RGH ROOM	T.I. THROUGH	
CAB BLOCKING	DR DOOR	FIG FINISHED	INCL INCH	NO. NOT TO SCALE	R.O. ROUGH	T.O. TENANT IMPROVEMENT	
CPT CABINET	DN DOWN	FIN FINISHED FLOOR ELEVATION	INSUL INCLUDE(ING)	# NUMBER	Ø ROUGH OPENING	TS TOP OF	
CSMT CARPET	DS DOWN SPOUT	F.F.E. FIRE EXTINGUISHER	INT INSULATE(ION)	O.C. ON CENTER	RBR ROUND	TYP TUBE STEEL	
CLG CASEMENT	D.B. DRAWER BANK	F.E.C. CABINET	JAN INTERIOR JANITOR	OPNG ON CENTER	S.S. RUBBER	TRANSV TYPICAL	
CL CEILING	DWG DRAWING	F.T. FIRE TREATED	JT JOINT	OPENING OPENING	N.A. NOMINAL	U.O.N. UNLESS OTHERWISE NOTED	
C.T.C. CENTERLINE	D.F. DRINKING FOUNTAIN	F.L. FLOOR	LAM LAMINATE	OPPOSITE OPPOSITE	ORIG ORIGINAL	VAC VACUUM	
C.T. CENTER TO CENTER	EA EACH	F.D. FLOOR DRAIN	LAV LAVATORY	O.R.D. ORIGINAL	ORIG ORIGINAL	V.B. VAPOR BARRIER	
CERAMIC TILE	E.W. EACH WAY	F.L. FLOW LINE		O.H. OVERFLOW ROOF DRAIN OVERHEAD	SV SHEET		

PROJECT NARRATIVE

THE SCOPE OF WORK REQUIRED BY THE GENERAL CONTRACTOR (GC) AND THEIR SUBCONTRACTORS (SC) IS AS FOLLOWS:

ANY DESIGN WORK BY THE GC SHALL BE SUBMITTED AND APPROVED BY THE OWNER'S REPRESENTATIVE, ARCHITECT, ENGINEERS, AND THE STATE FIRE MARSHALS OFFICE BEFORE COMMENCING WITH CONSTRUCTION.

THIS PROJECT IS A NEW RETAIL MARIJUANA SHOP OUTSIDE THE CITY LIMITS OF PALMER, ALASKA. THE BUILDING IS CONSTRUCTED AS A PRE-ENGINEERED METAL BUILDING AND IS (2) STORIES TALL. THE FIRST FLOOR IS PRODUCT PROCESSING, STORAGE, AND RETAIL SPACE. THE PARTIAL SECOND FLOOR IS OFFICES.

No.	Date	Item
REVISIONS		

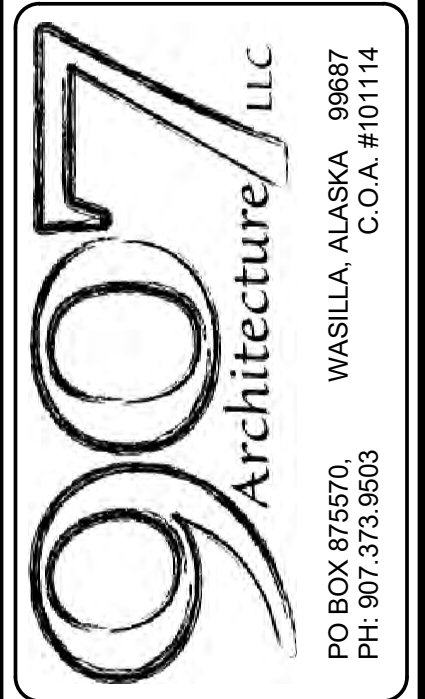
PROJECT: **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE: **COVER SHEET**
CONSTRUCTION DRAWINGS

DESIGN: MFW
DRAWN: MFW
CHECKED: MFW
DATE: 8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER

CV1.0

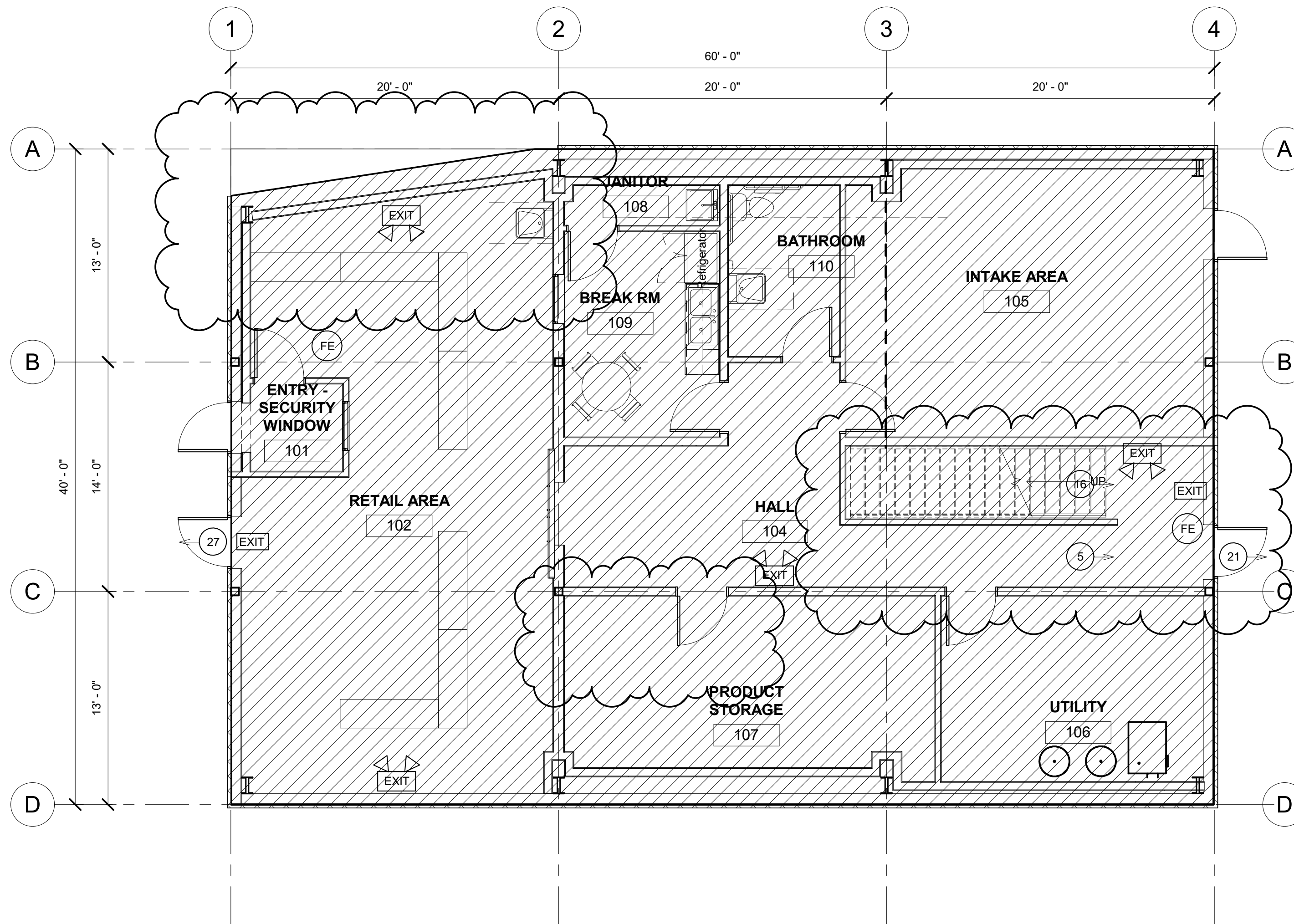


PROJECT: **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

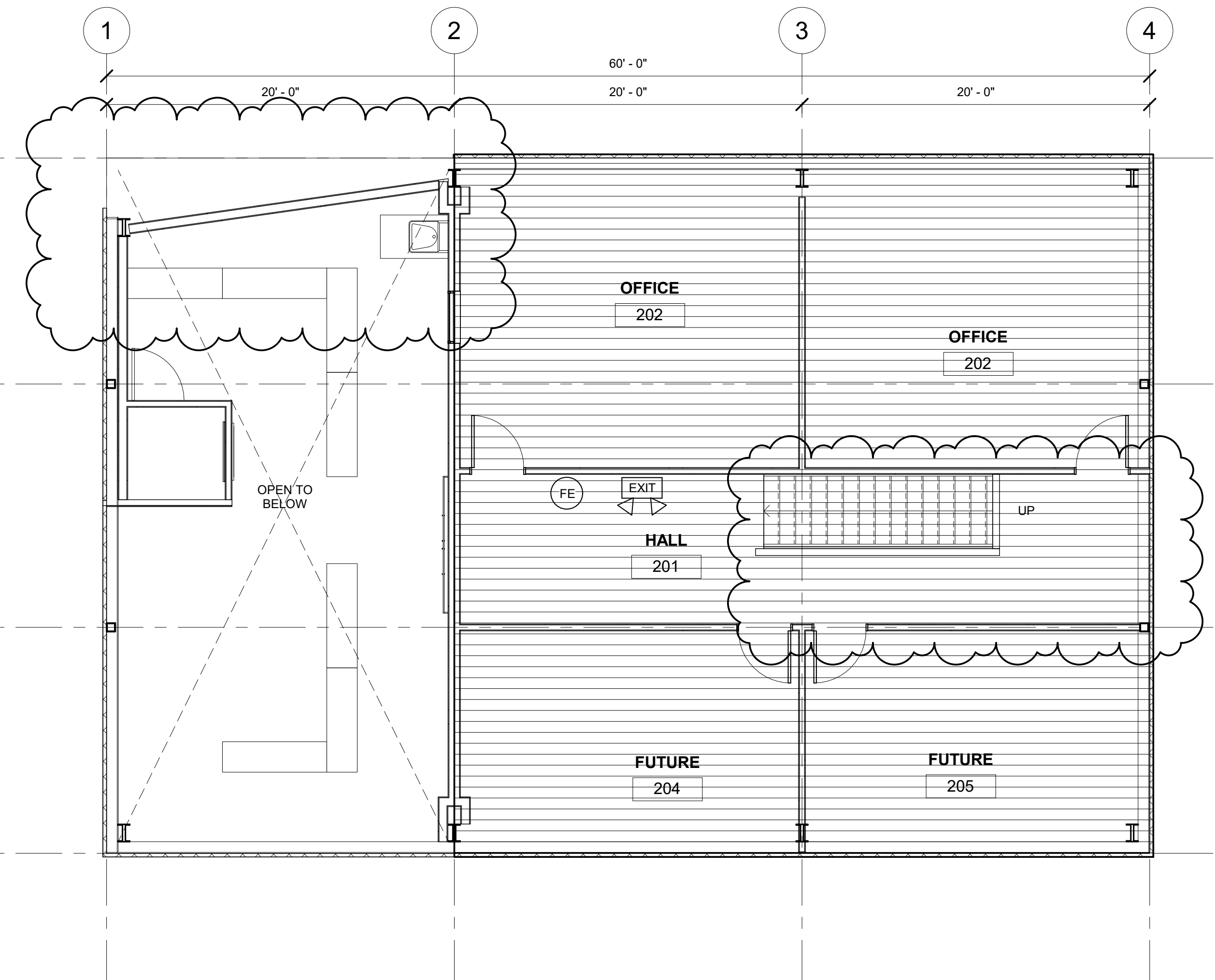
SHEET TITLE: **CODE PLAN**
CONSTRUCTION DRAWINGS

DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER
G1.1

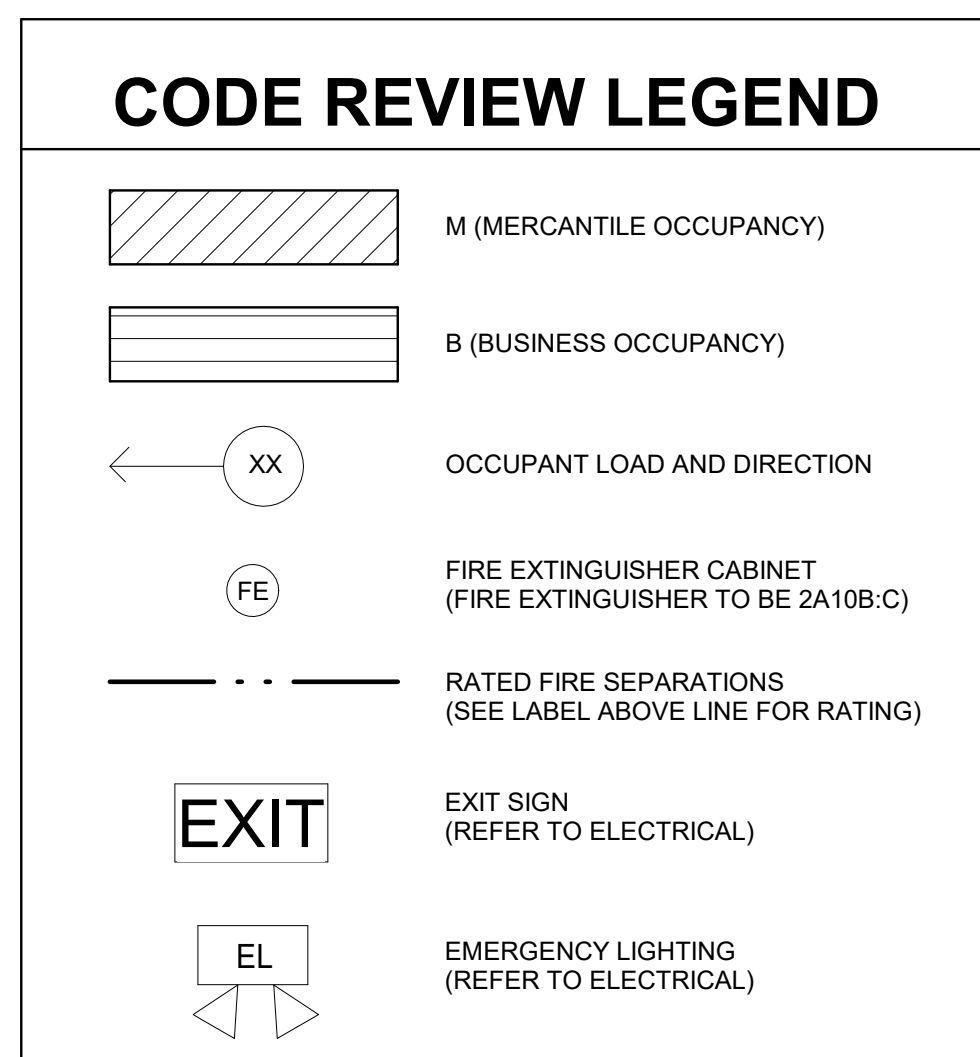


1 CODE PLAN - FIRST FLOOR
G1.1 SCALE: 3/16" = 1'-0"



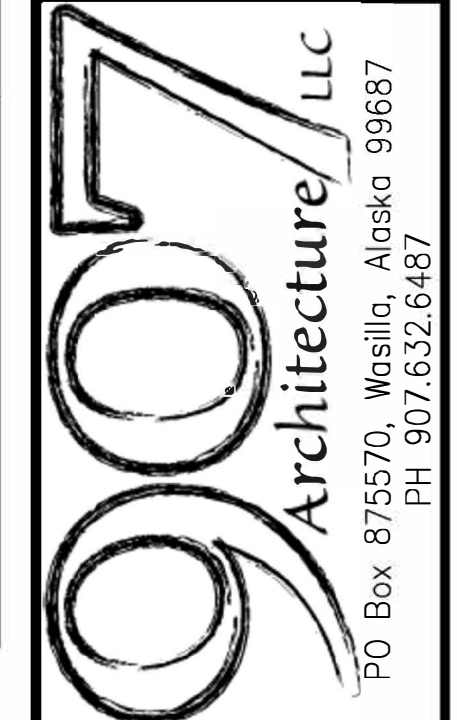
2 CODE PLAN - SECOND FLOOR
G1.1 SCALE: 3/16" = 1'-0"

CODE ANALYSIS		
CODES: 2012 INTERNATIONAL BUILDING CODE w/ STATE OF ALASKA AMENDMENTS 2012 INTERNATIONAL FIRE CODE w/ STATE OF ALASKA AMENDMENTS ALL CURRENT STATE OF ALASKA AMENDMENTS TO APPLY		
OCCUPANCY CLASSIFICATION:	M (MERCANTILE) B (BUSINESS)	SECTION 309 SECTION 304
CONSTRUCTION TYPE:	III-B (NON-SPRINKLERED)	TABLE 601
AREA:	(M) ALLOWABLE: 12,500 SF (M) PROVIDED (1ST FL): 2,400 SF => SATISFIED (B) ALLOWABLE: 19,000 SF (B) PROVIDED (2ND FL): 1,600 SF => SATISFIED TOTAL SF: 4,000 SF	TABLE 503
HEIGHT:	(M) ALLOWABLE: 2 STORY (M) PROVIDED: 2 STORY => SATISFIED (B) ALLOWABLE: 3 STORY (B) PROVIDED: 2 STORY => SATISFIED	TABLE 601
CONSTRUCTION REQUIREMENTS:	STRUCTURAL FRAME = 0 HR BEARING WALLS EXTERIOR = 2 HR INTERIOR = 0 HR NON-BEARING WALLS/PARTITIONS EXTERIOR = 0 HR INTERIOR = 0 HR FLOOR CONSTRUCTION = 0 HR ROOF CONSTRUCTION = 0 HR	TABLE 508.4
OCCUPANCY SEPARATION:	M/B = NO SEPARATION REQUIRED	SECTION 1004, TABLE 1004.1
ACTUAL CALCULATED OCCUPANT LOAD:	FIRST FL (SALES) = 800 SF GROSS / 30 = 27 OCCUPANTS FIRST FL (STG/STOCK) = 1,600 / 300 = 5 OCCUPANTS SECOND FL = 1,600 SF NET / 100 = 16 OCCUPANTS TOTAL OCCUPANT LOAD = 48 OCCUPANTS	
SPRINKLED:	NOT REQUIRED	
FIRE ALARM:	NOT REQUIRED	



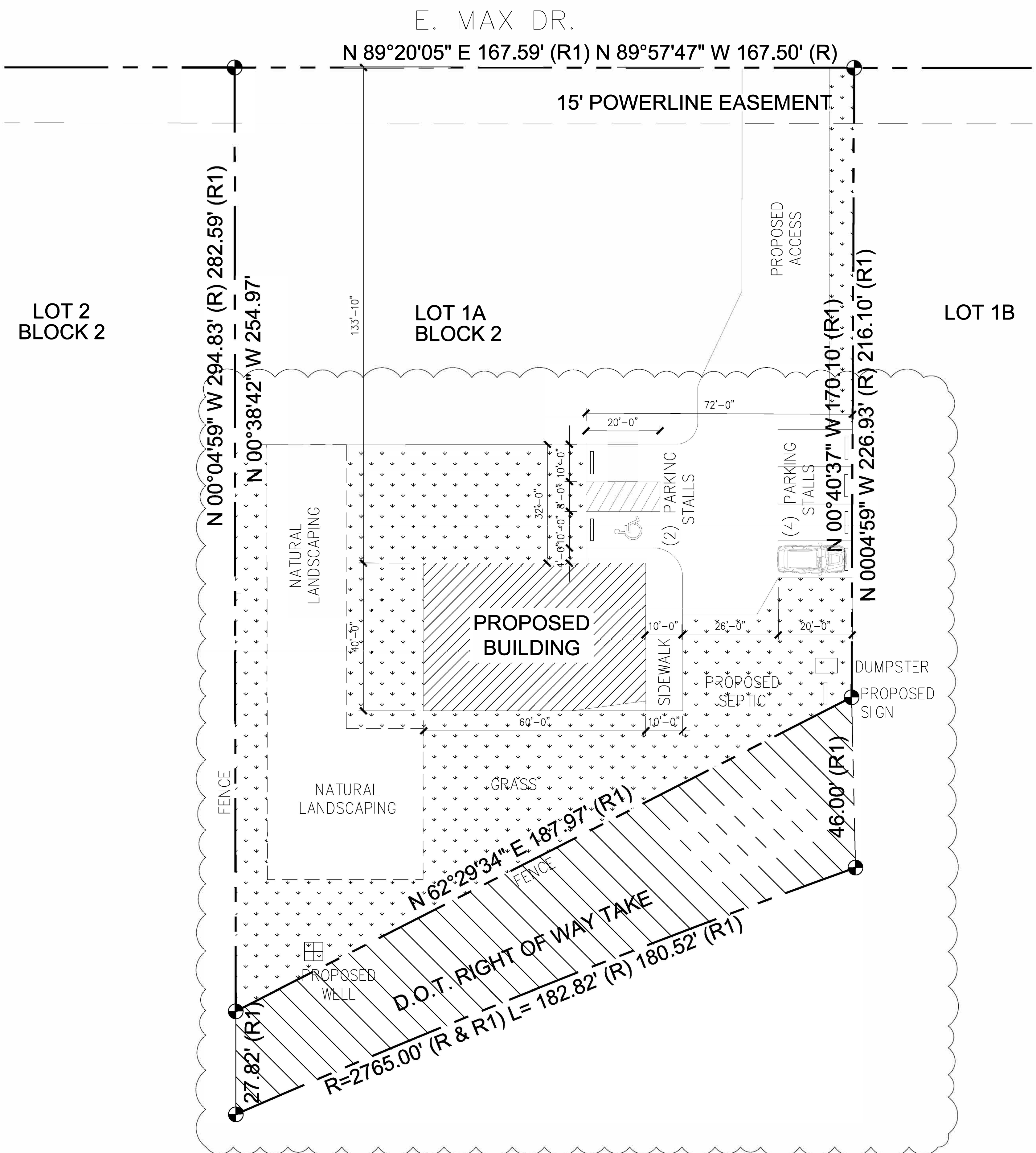
REVISIONS			
1	7.14.2023	REV 1 - OWNER CHANGES	
No.	Date	Item	

PROPERTY INFORMATION	
LEGAL DESCRIPTION:	BRADLEY LAKE SUBDIVISION, BLOCK 2, LOT 1A
PLAT NO.:	81-156
STREET ADDRESS:	10600 E. MAX DRIVE, PALMER, ALASKA
SIZE:	0.86 ACRES



SMOKE OUT POINT

10600 E. MAX DR, PALMER, ALASKA



PROPOSED SITE PLAN
1" = 40'



PLOTTING DATE: XREF:

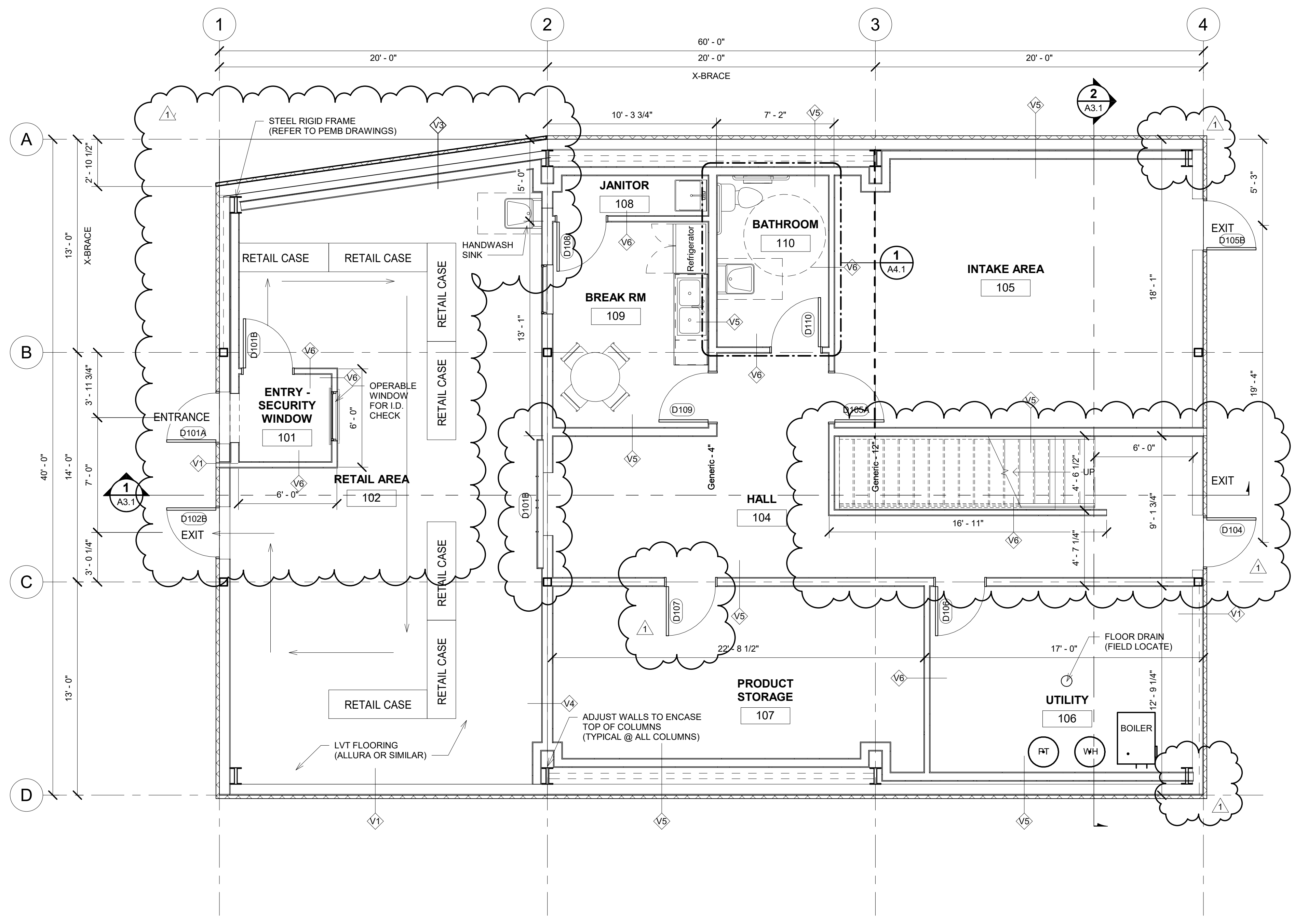
PROPOSED SITE PLAN

- REVISIONS:
- 10.7.21 ADDED DIMENSIONS
 - 4.29.22 OWNER REVISIONS
 - 6.7.22 OWNER REVISIONS
 - 8.9.22 OWNER REVISIONS
 - 8.26.22 OWNER REVISIONS
 - 7.14.23 OWNER REVISIONS

DRAWN BY: MFW
CHECKED BY: MFW
DATE: 8.26.2022
JOB NUMBER: 21126.00

SHEET CONTENTS:
PROPERTY INFO
PROPOSED SITE PLAN

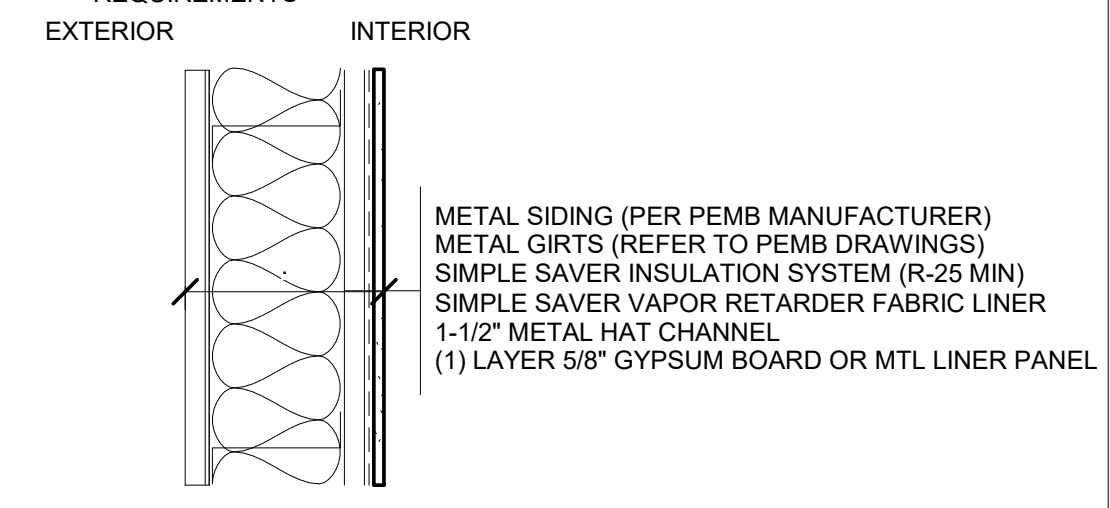
CATEGORY	SHEET
G	1.2



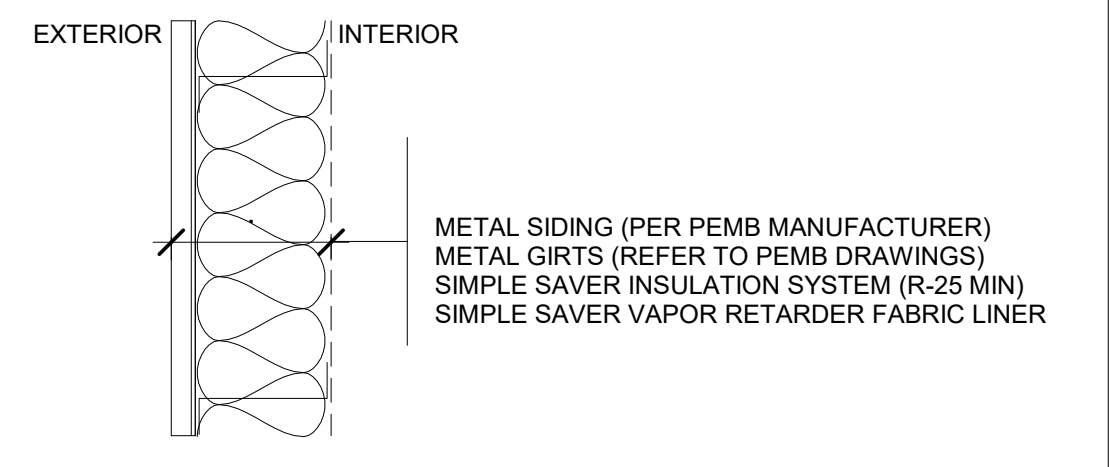
1 FIRST FLOOR
A1.1 SCALE: 1/4" = 1'-0"

VERTICAL ASSEMBLIES :

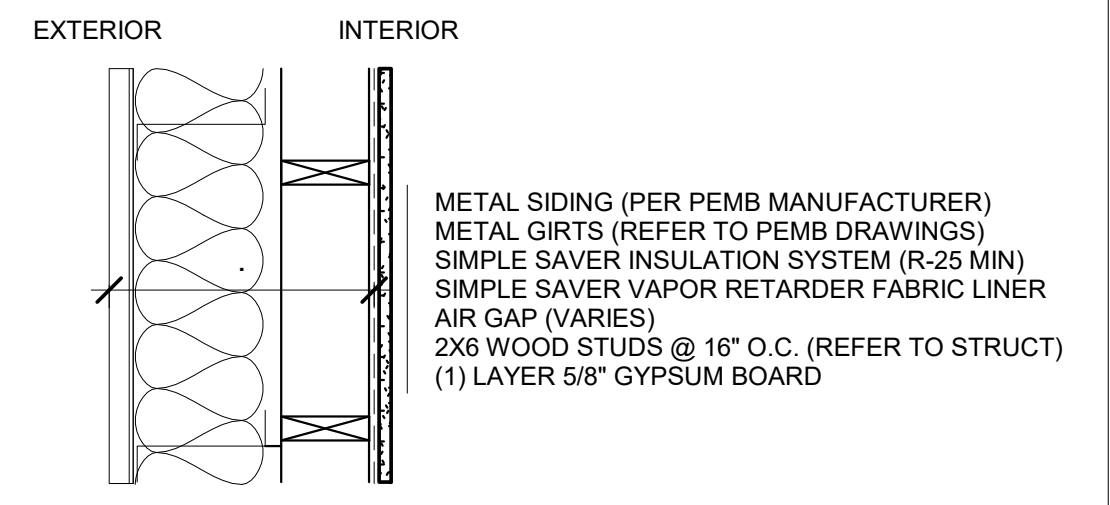
1. PROVIDE WALL DEFLECTION TRACKS WHERE NON-LOAD BEARING WALLS MEET STRUCTURE ABOVE.
2. REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS



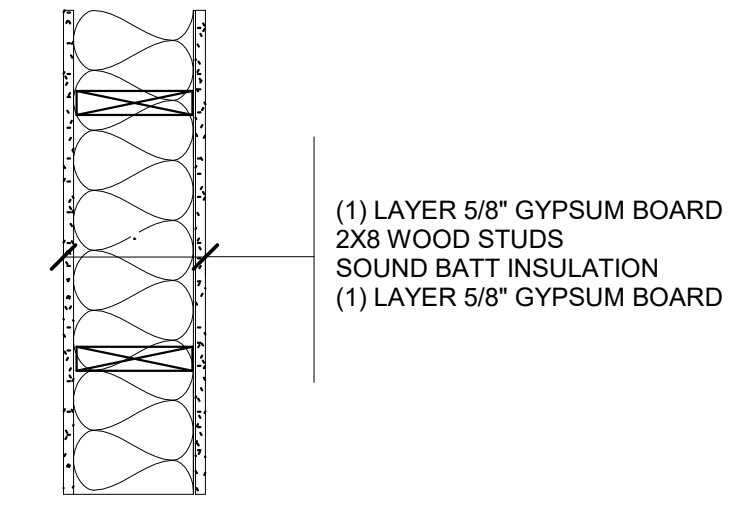
V1 - EXTERIOR WALL



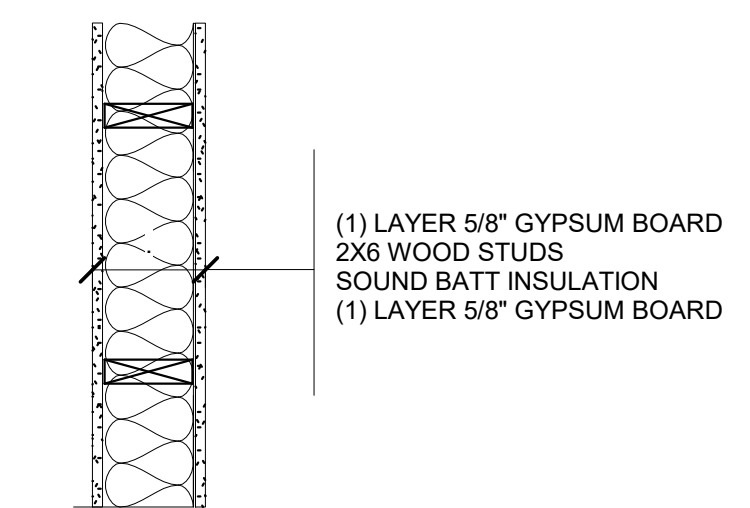
V2 - EXTERIOR WALL



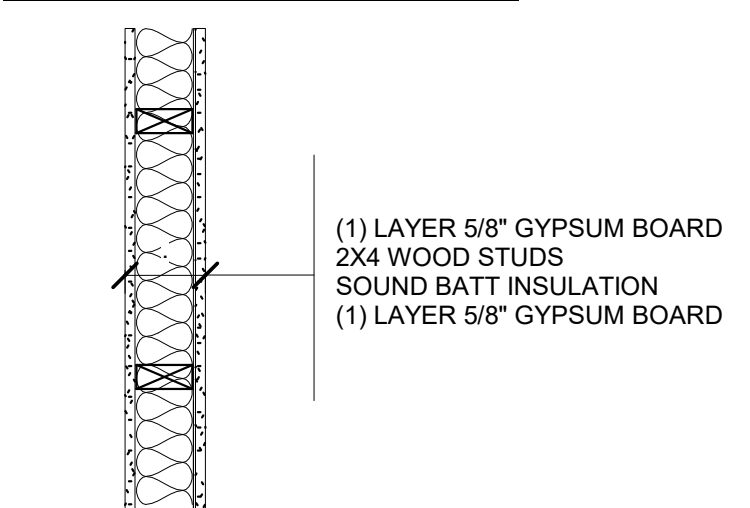
V3 - EXTERIOR WALL



V4 - INTERIOR WALL



V5 - INTERIOR WALL



V6 - INTERIOR WALL

9007 Architecture LLC
WASILLA, ALASKA 99687
C.O.A. #101114
PO BOX 875570, PH: 907.373.9503

STATE OF ALASKA
49 TH
Matthew Wilson
No. 13556
7.14.2023
REGISTERED PROFESSIONAL

PROJECT : **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE : **FIRST FLOOR PLAN**
CONSTRUCTION DRAWINGS

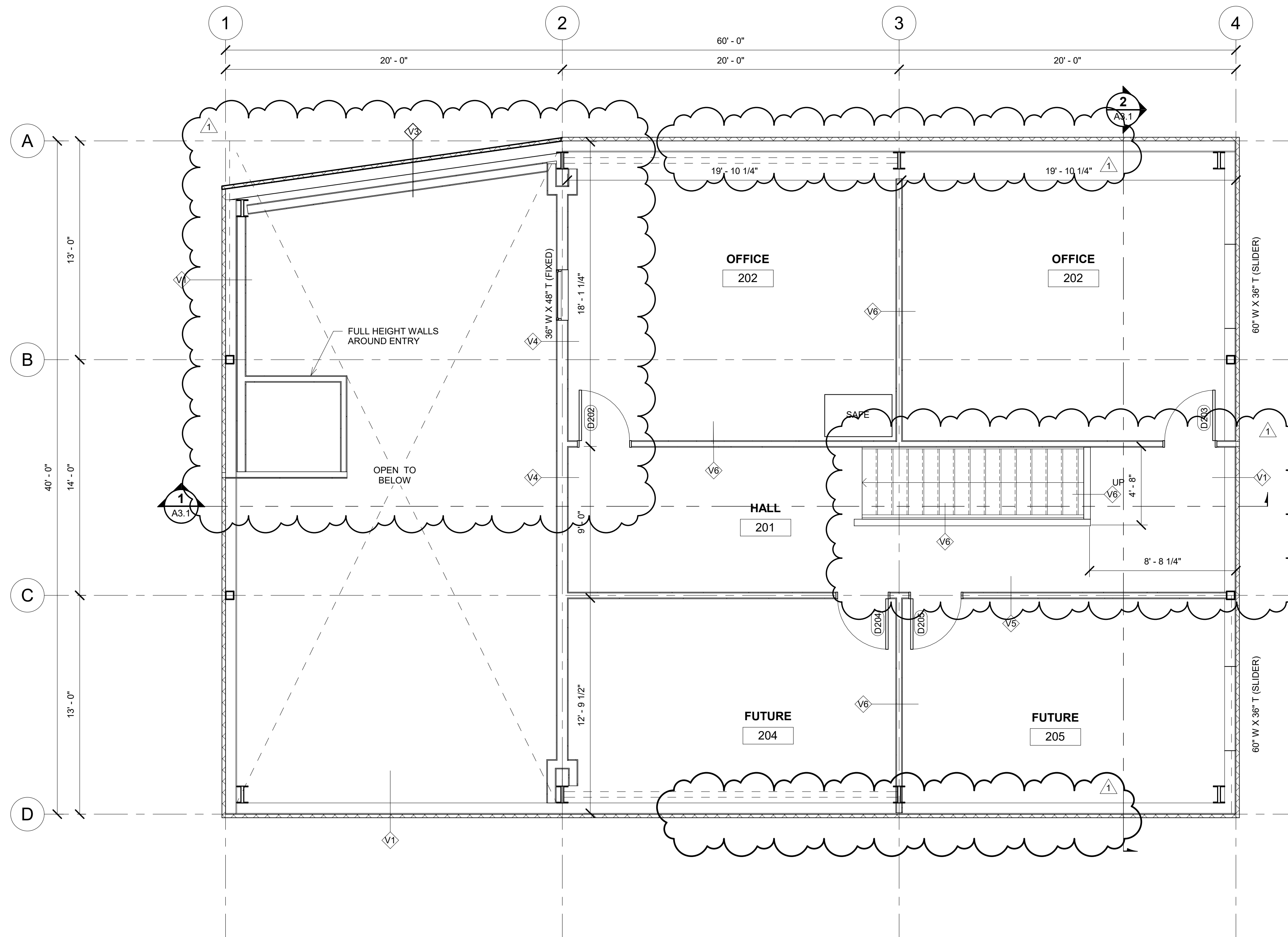
DESIGN	MFW
DRAWN	MFW
CHECKED	MFW
DATE	8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER

A1.1

No.	Date	REV 1 - OWNER CHANGES	Item
1	7.14.2023	REV 1 - OWNER CHANGES	

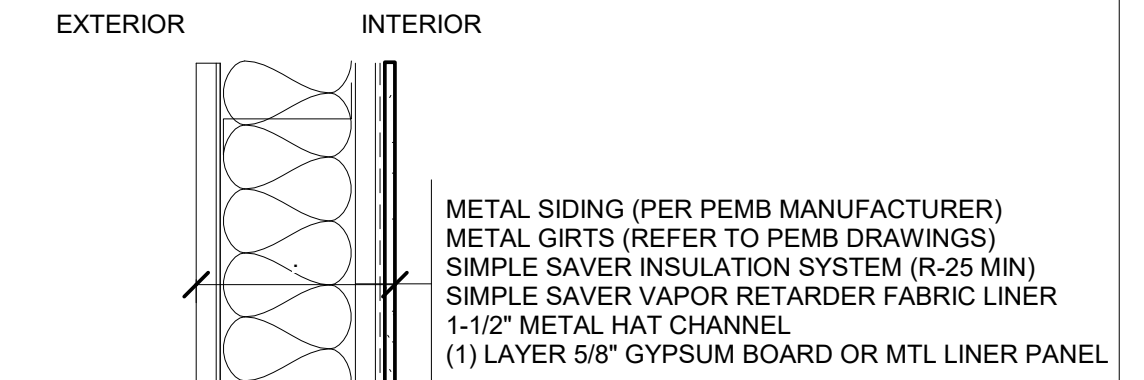
REVISIONS



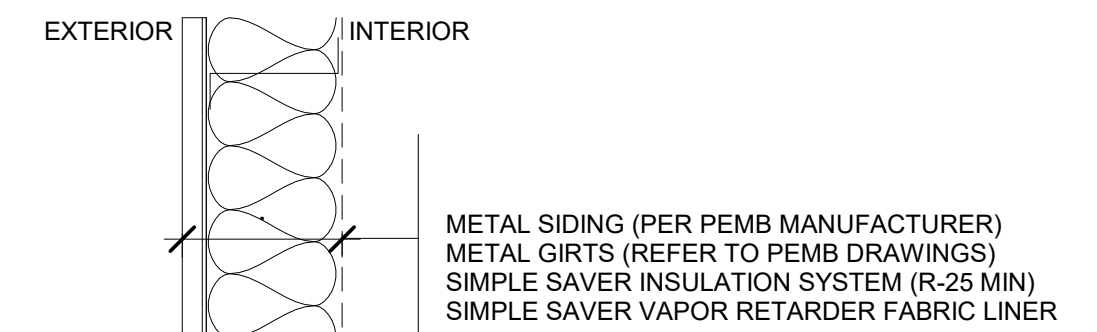
1 SECOND FLOOR
A1.2 SCALE: 1/4" = 1'-0"

VERTICAL ASSEMBLIES :

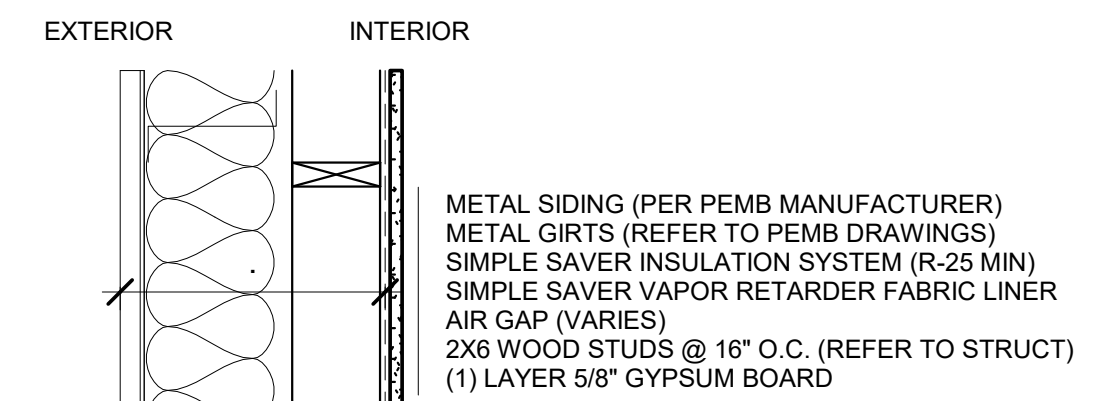
1. PROVIDE WALL DEFLECTION TRACKS WHERE NON-LOAD BEARING WALLS MEET STRUCTURE ABOVE.
2. REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS



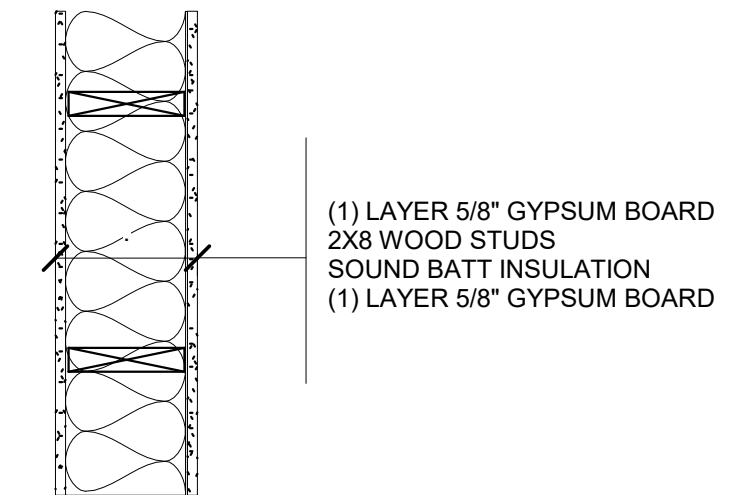
V1 - EXTERIOR WALL



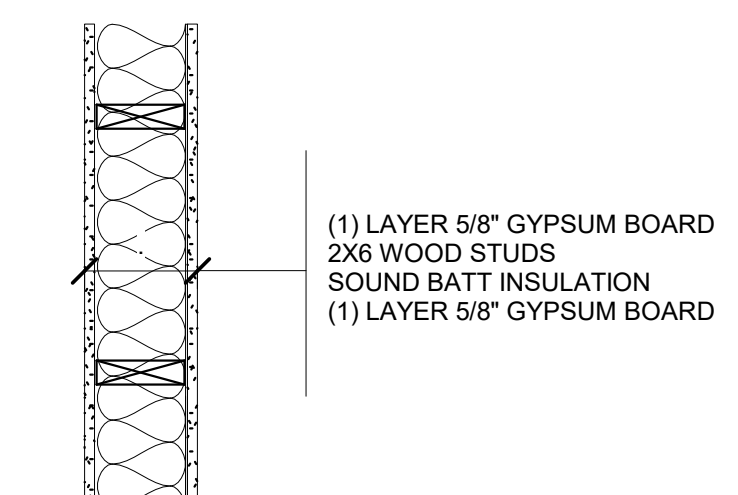
V2 - EXTERIOR WALL



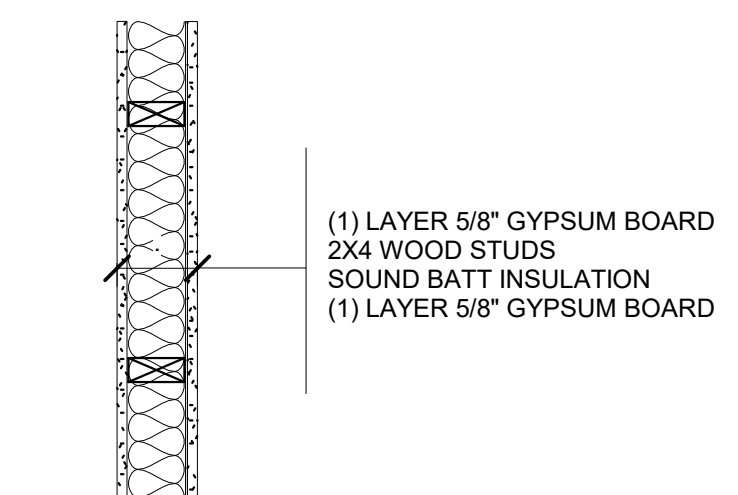
V3 - EXTERIOR WALL



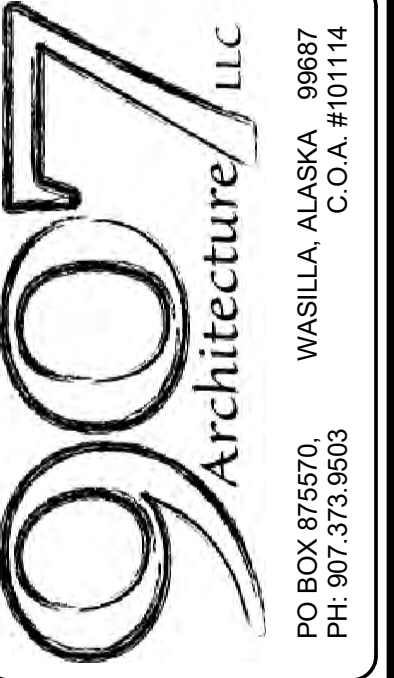
V4 - INTERIOR WALL



V5 - INTERIOR WALL



V6 - INTERIOR WALL



PROJECT : **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

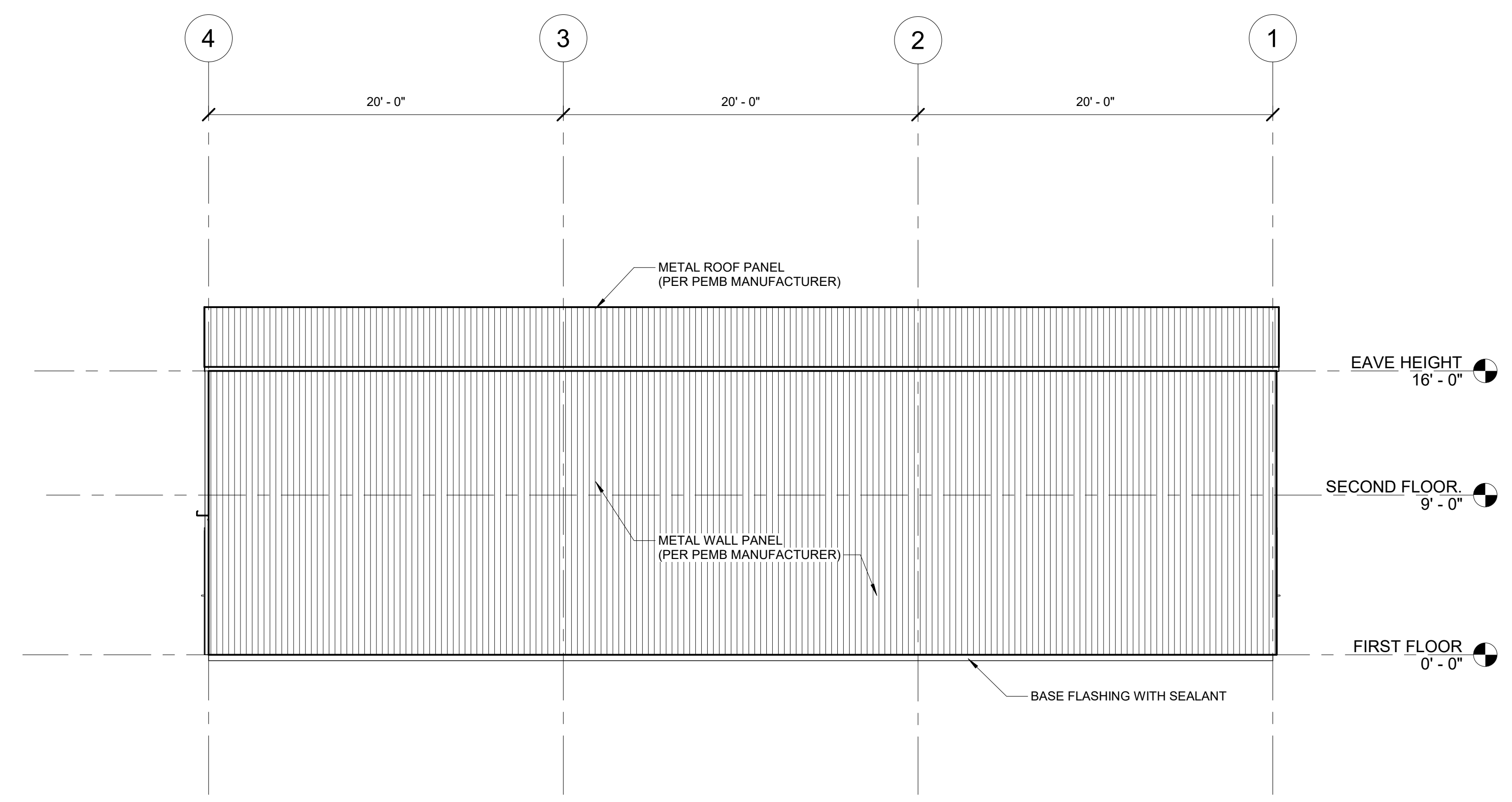
SHEET TITLE : **SECOND FLOOR PLAN**
CONSTRUCTION DRAWINGS

DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8.27.2021

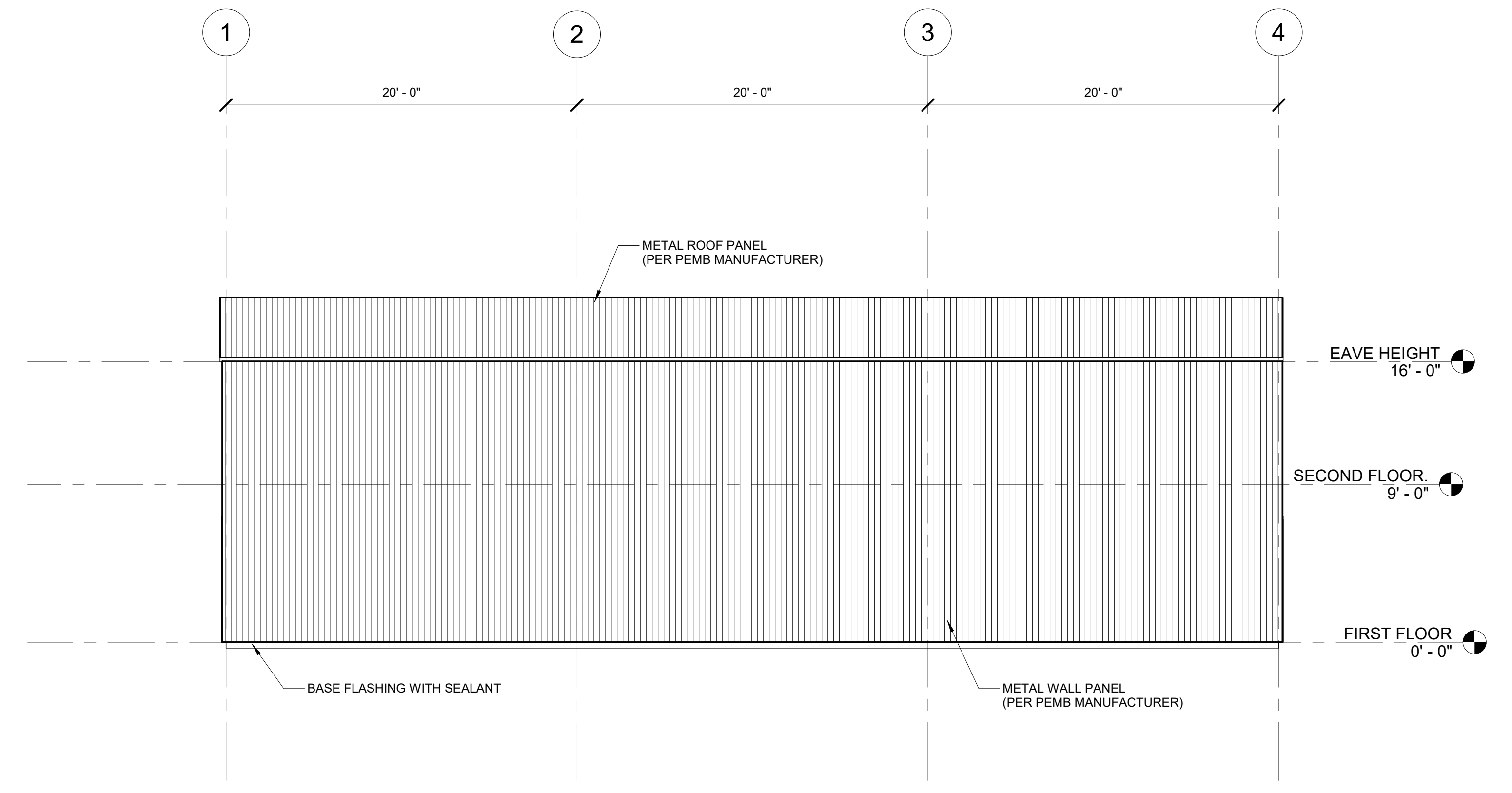
PROJECT No. **21126.00**
SHEET NUMBER

A1.2

REVISIONS	
No.	Date
1	7.14.2023
	REV 1 - OWNER CHANGES

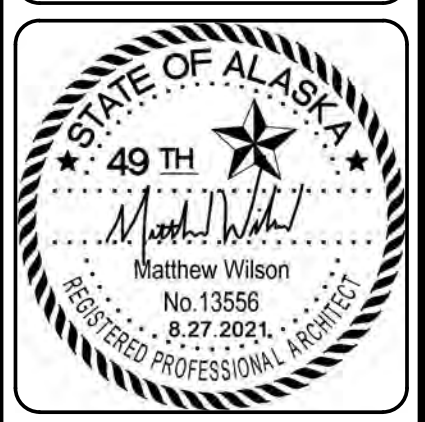


1 NORTH ELEVATION
A2.1 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
A2.1 SCALE: 3/16" = 1'-0"

9007 Architecture LLC
PO BOX 875570, WASILLA, ALASKA 99687
C.O.A. #101114
PH: 907.373.9503



PROJECT: **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

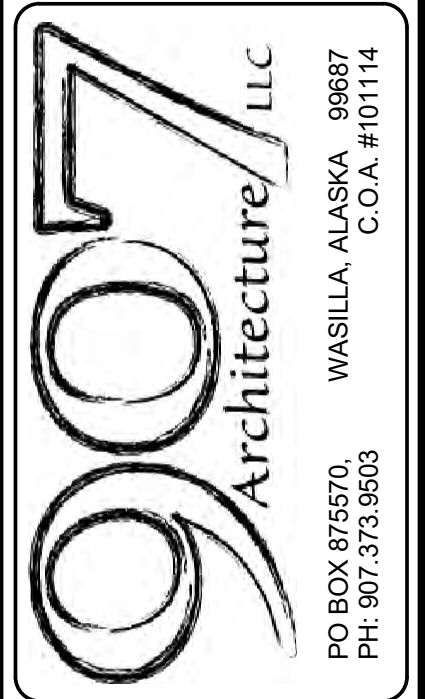
SHEET TITLE: **BUILDING ELEVATIONS**
CONSTRUCTION DRAWINGS

DESIGN	MFW
DRAWN	MFW
CHECKED	MFW
DATE	8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER

A2.1

No.	Date	Item
REVISIONS		



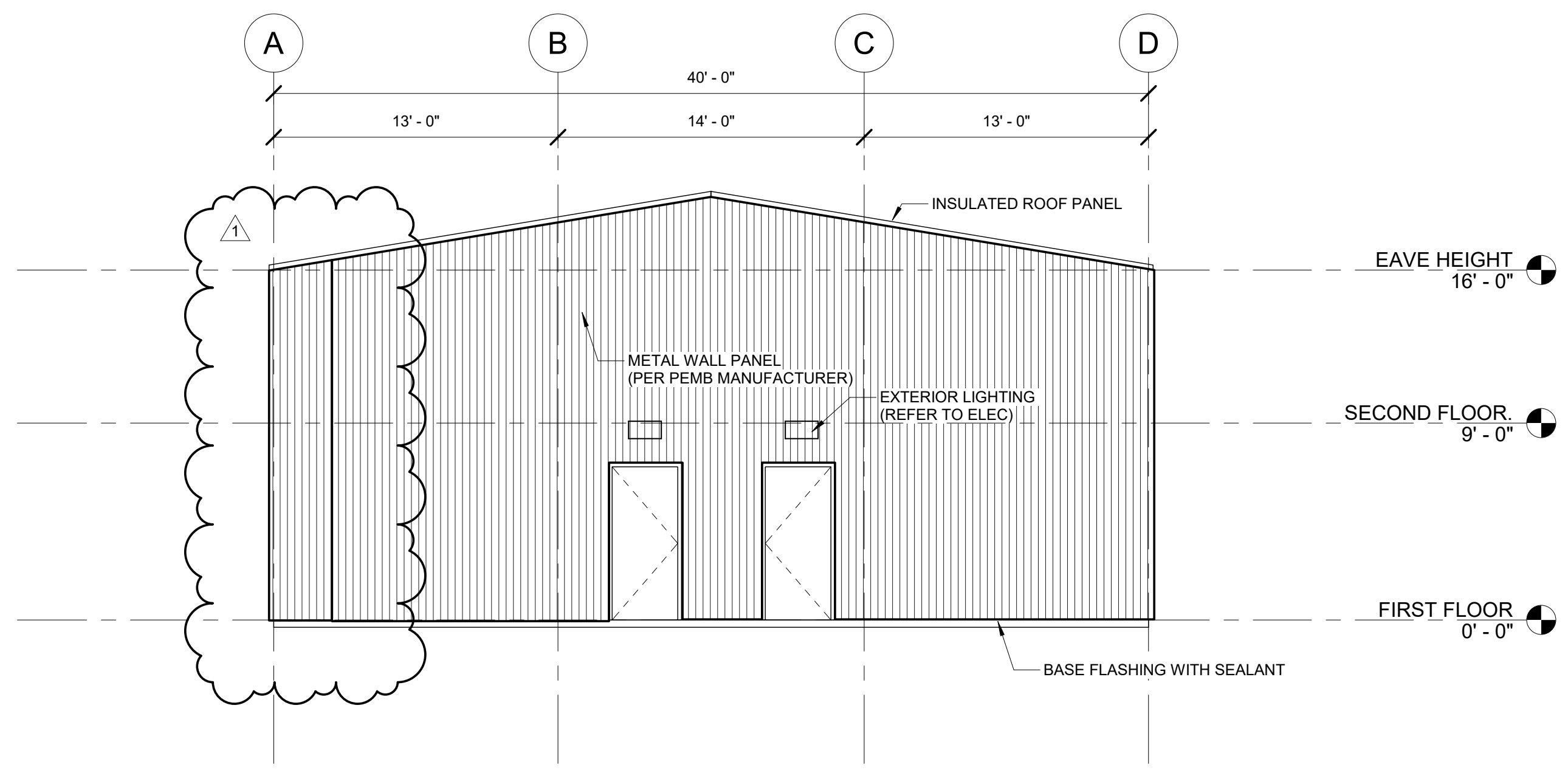
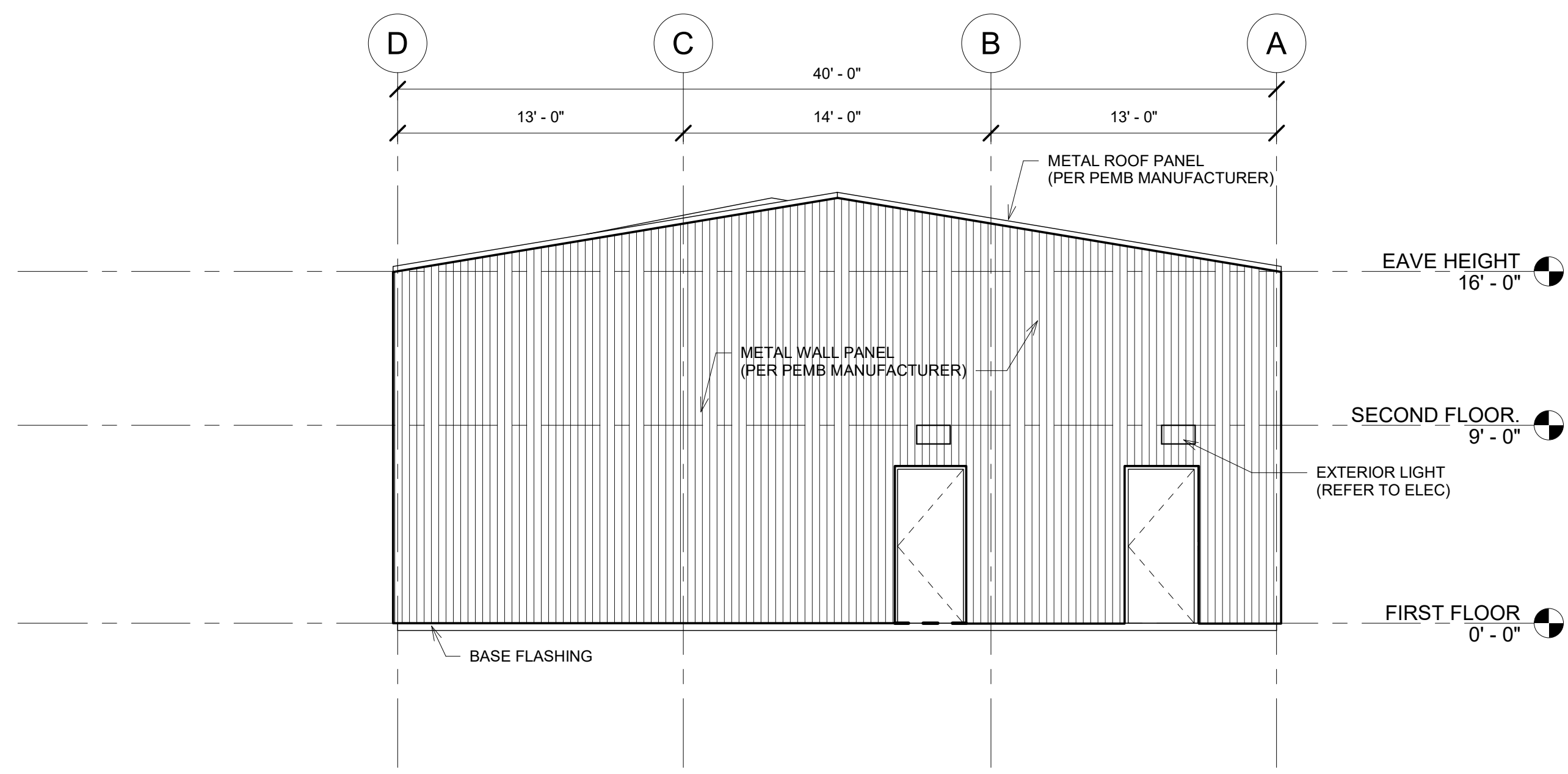
PROJECT: **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE: **BUILDING ELEVATIONS**
CONSTRUCTION DRAWINGS

DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8.27.2021

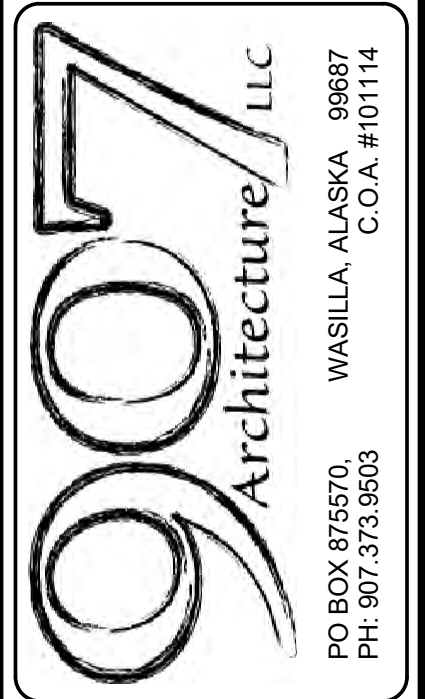
PROJECT No. **21126.00**
SHEET NUMBER

A2.2



No.	Date	Item
1	7.14.2023	REV 1 - OWNER CHANGES

REVISIONS



PROJECT: **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE: **BUILDING SECTIONS**
CONSTRUCTION DRAWINGS

DESIGN: MFW
DRAWN: MFW
CHECKED: MFW
DATE: 8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER

A3.1

HORIZONTAL ASSEMBLIES :

FLOOR FINISH
CONCRETE SLAB (REFER TO STRUCTURAL)
HYDRONIC HEATING TUBES (REFER TO MECH)
RIGID INSULATION (REFER TO STRUCT)
10 MIL VAPOR BARRIER
COMPACTED GRAVEL
(INSULATION AROUND PERIMETER OF BLDG)

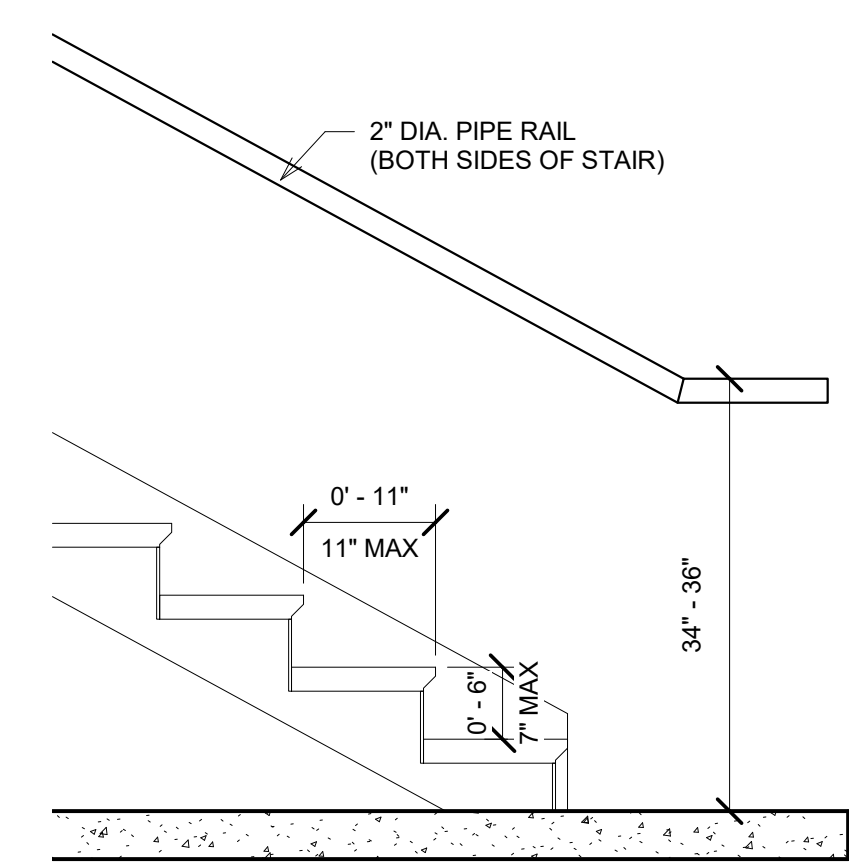
H1 - FLOOR - CONCRETE SLAB

PLYWOOD SHEATHING
ENGINEERED WOOD JOISTS @ 16" O.C. (REF TO STRUCT)
SOUND BATT INSULATION
(1) LAYER 5/8" GYPSUM BOARD

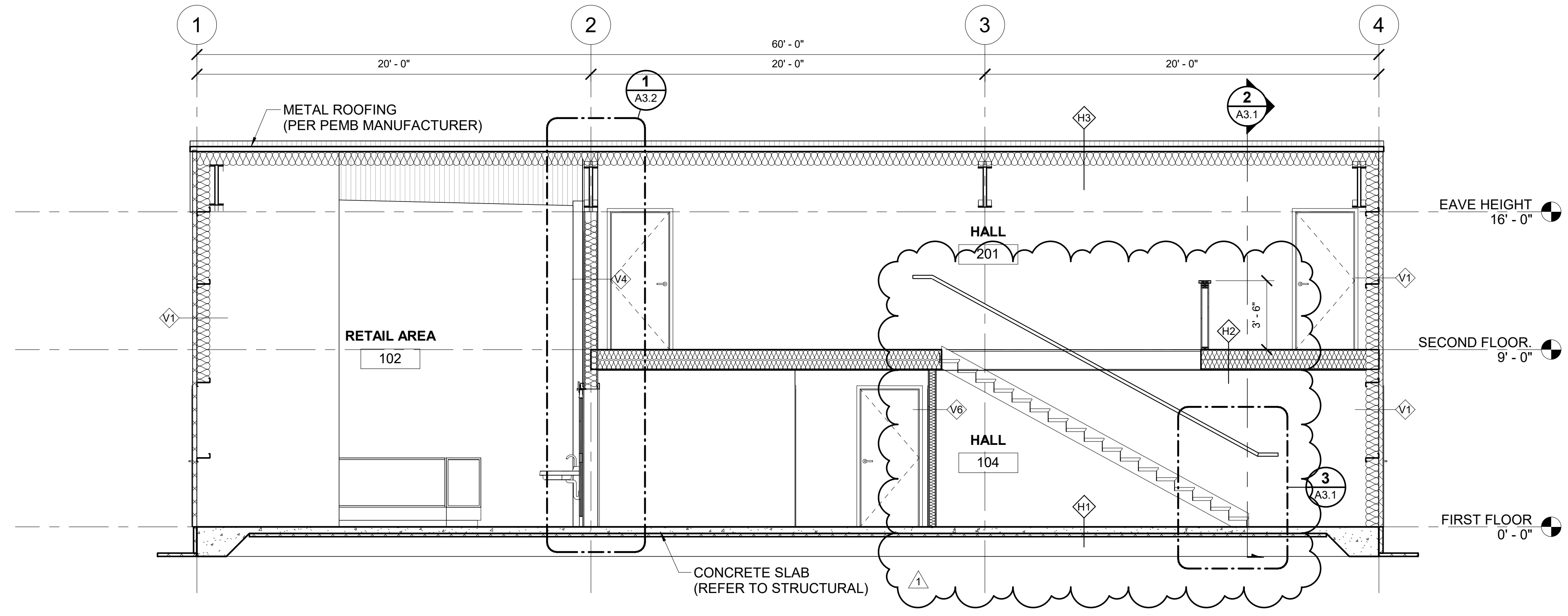
H2 - CEILING SYSTEM

METAL ROOFING (PER PEMB MANUFACTURER)
METAL PURLINS (PER PEMB MANUFACTURER)
SIMPLE SAVER INSULATION SYSTEM (R-36 MIN)
SIMPLE SAVER VAPOR RETARDER FABRIC SYSTEM

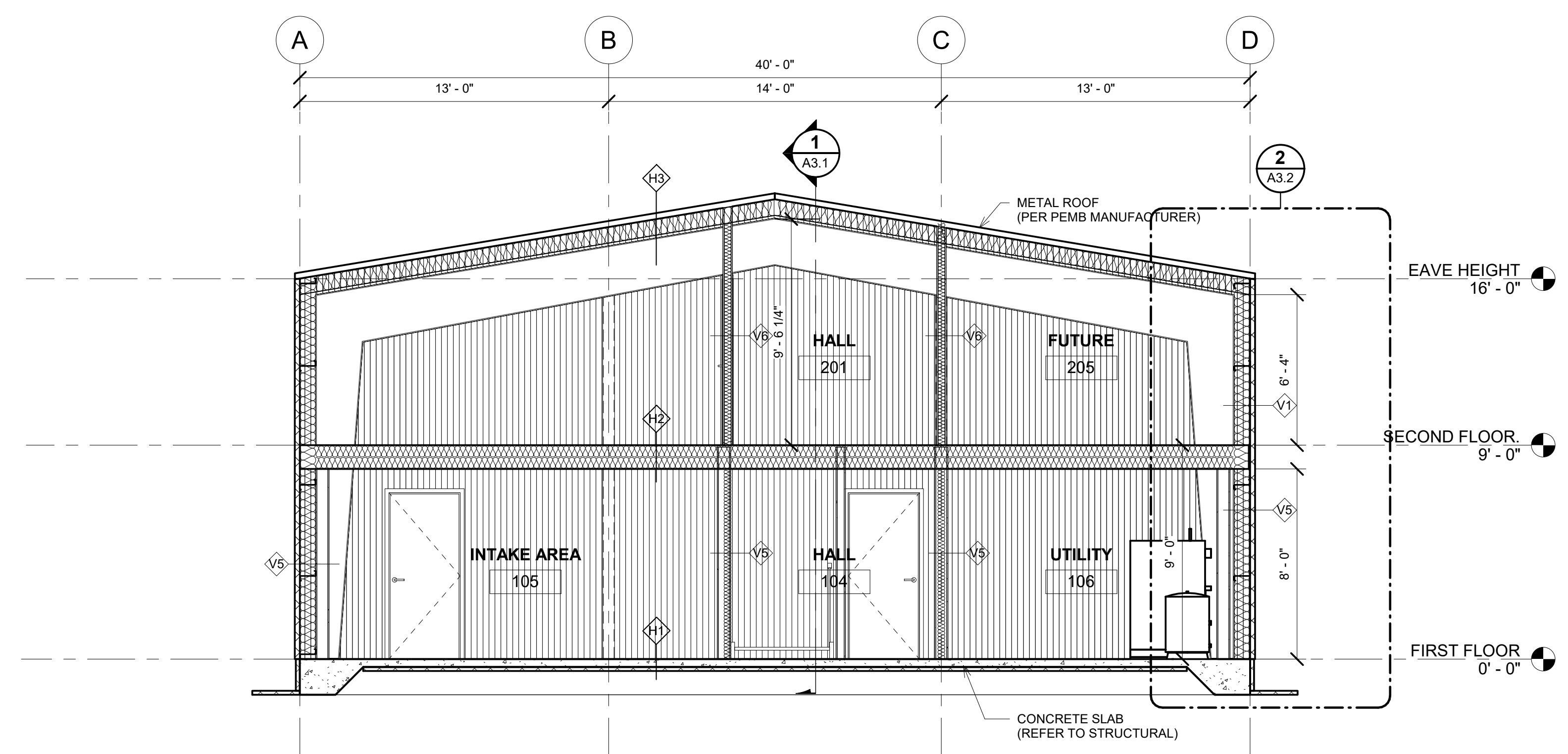
H3 - ROOF SYSTEM



3 STAIR SECTION / DETAIL
A3.1 SCALE: 3/4" = 1'-0"



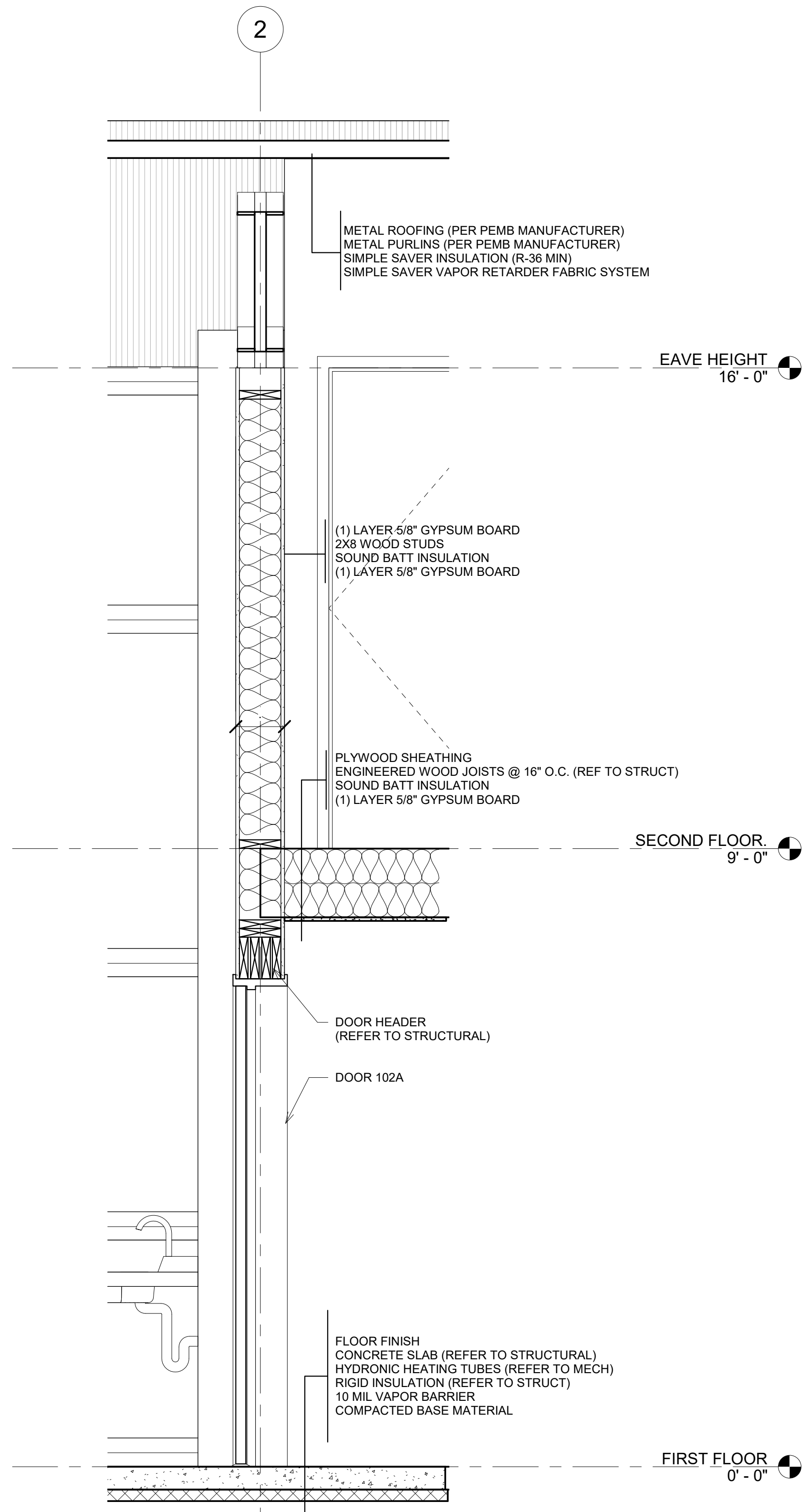
1 BUILDING SECTION 1
A3.1 SCALE: 1/4" = 1'-0"



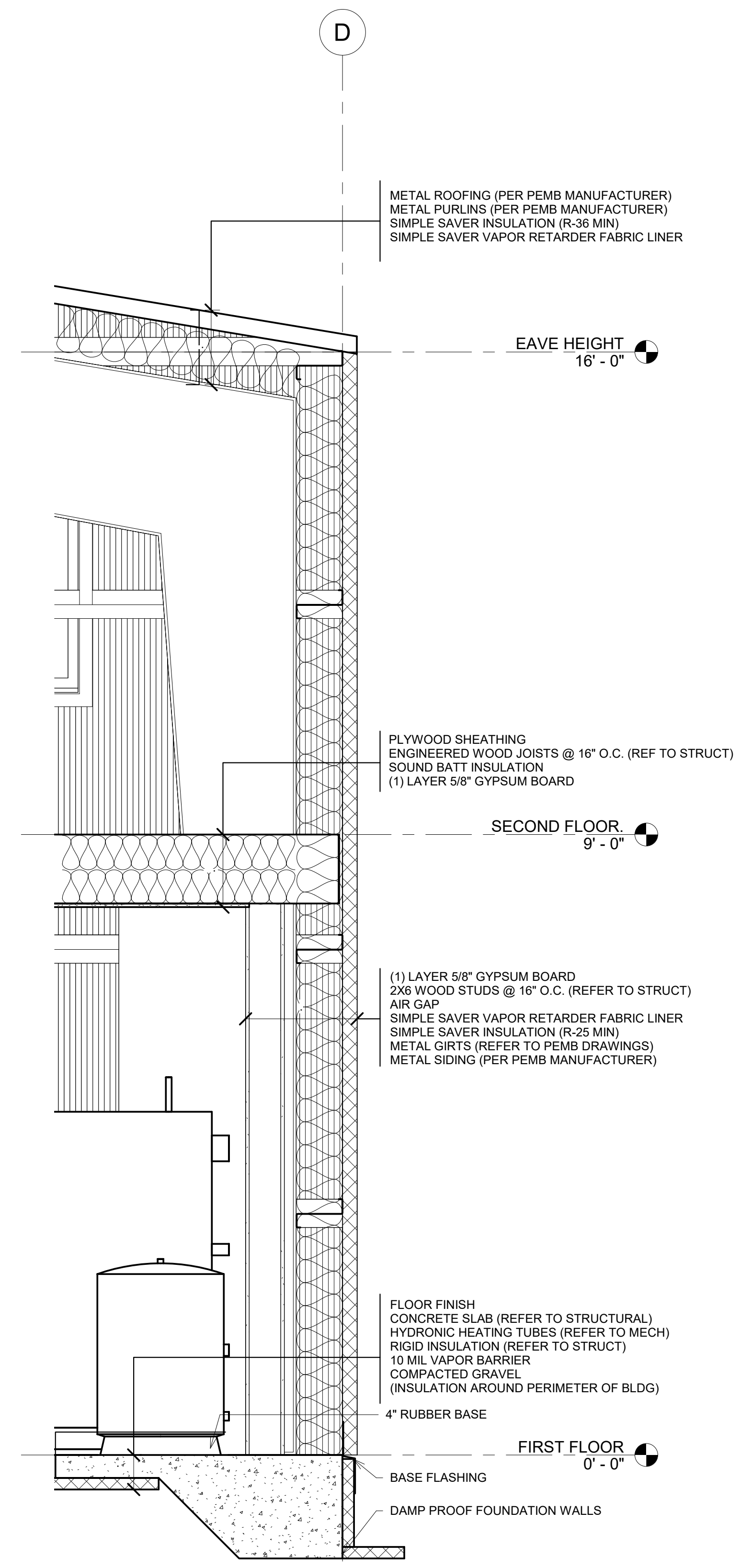
2 BUILDING SECTION 2
A3.1 SCALE: 1/4" = 1'-0"

REVISIONS	
No.	Date
1	7.14.2023
2	7.14.2023

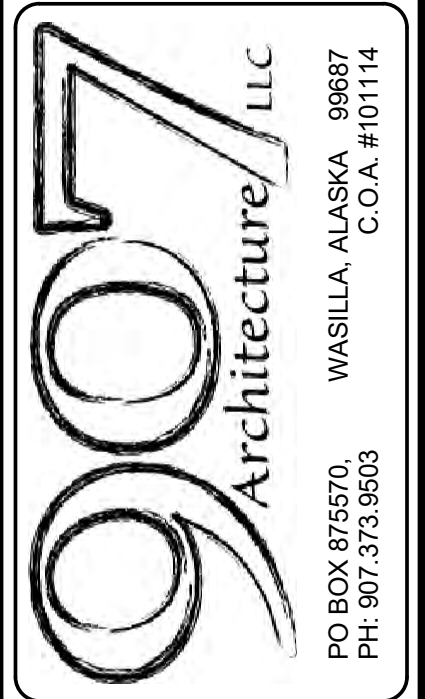
REV	DATE	DESCRIPTION
1	7.14.2023	REV 1 - OWNER CHANGES
2	7.14.2023	



1 WALL SECTION 1
A3.2 SCALE: 3/4" = 1'-0"



2 WALL SECTION 2
A3.2 SCALE: 3/4" = 1'-0"



PROJECT : **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

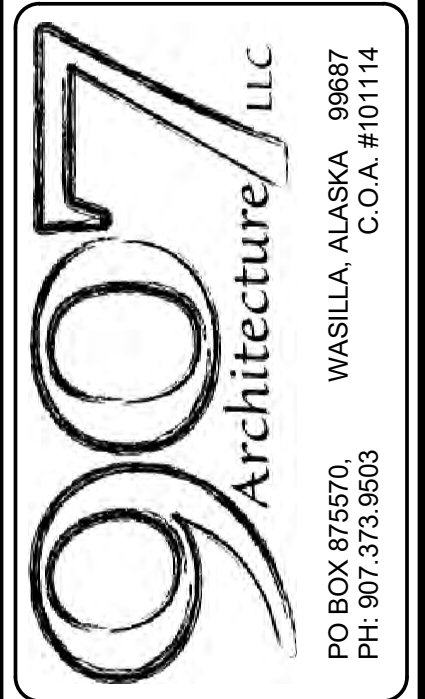
SHEET TITLE : **WALL SECTIONS**
CONSTRUCTION DRAWINGS

DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER

A3.2

No.	Date	Item
REVISIONS		

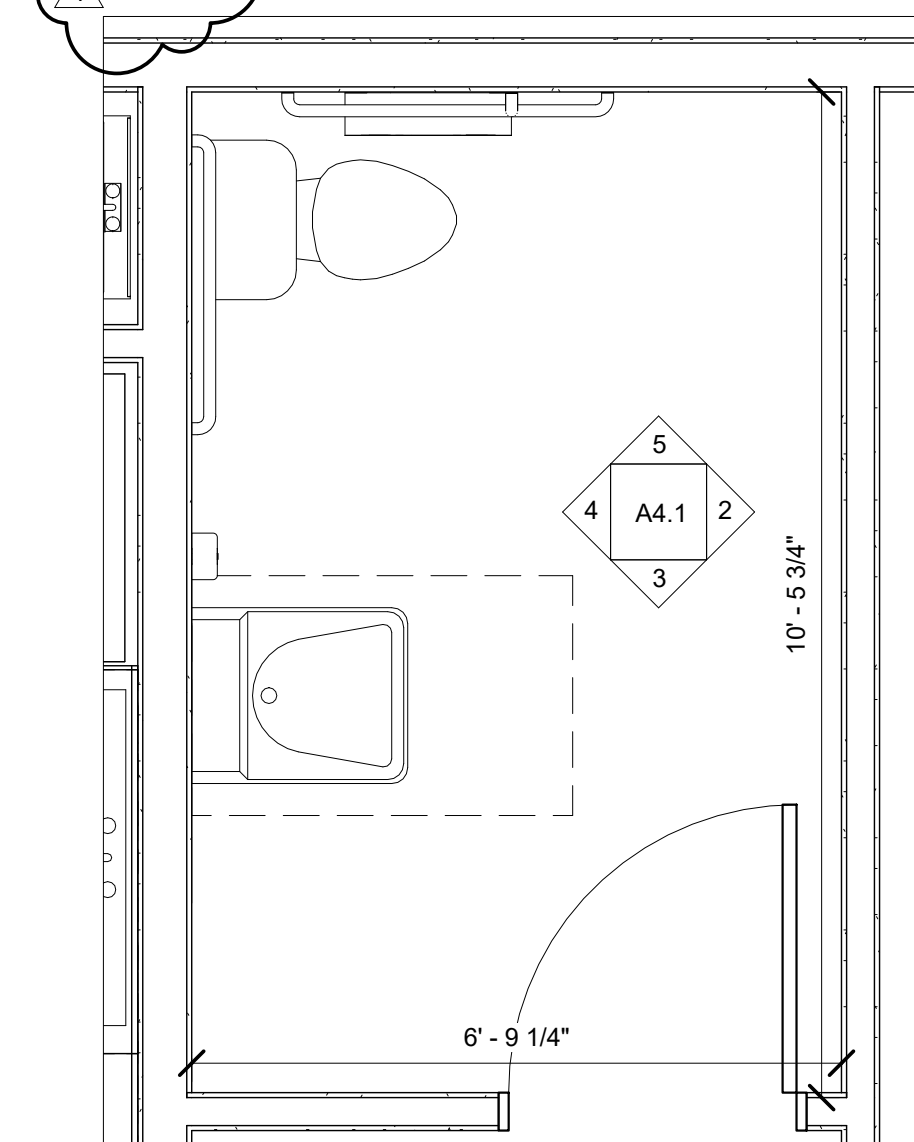
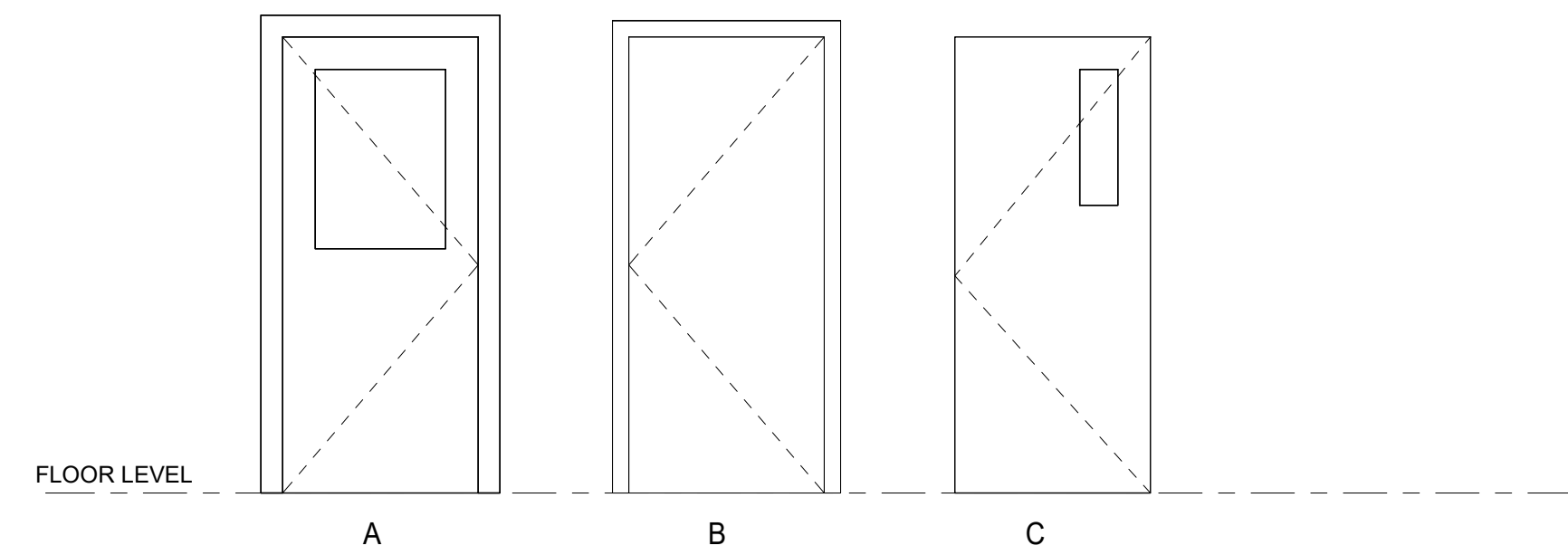


DOOR NO.	DOOR TYPE	DOOR					FIRE RATING	FRAME TYPE	FRAME		COMMENTS
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH			MATERIAL	FINISH	
FIRST FLOOR											
D101A	A	3'-6"	7'-0"	1 3/4"	INSUL MTL	PAINT	NONE	WELDED	INSUL HM	PAINT	CLOSER, WEATHERSTRIP, KICK PLATE, ADA COMPLIANT HARDWARE
D101B	A	3'-6"	7'-0"	1 3/4"	INSUL MTL	PAINT	NONE	WELDED	INSUL HM	PAINT	SECURE DOOR, CLOSER, WEATHERSTRIP, KICK PLATE, ADA COMPLIANT HARDWARE
D102A	C	3'-6"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	SECURE DOOR, DOUBLE DOOR, CLOSER, KICK PLATE
D102B	A	3'-6"	7'-0"	1 3/4"	INSUL MTL	PAINT	NONE	WELDED	INSUL HM	PAINT	SECURE DOOR, CLOSER, WEATHERSTRIP, KICK PLATE, ADA COMPLIANT HARDWARE
D104	C	3'-6"	7'-0"	1 3/4"	INSUL MTL	PAINT	NONE	WELDED	INSUL HM	PAINT	SECURE DOOR, CLOSER, WEATHERSTRIP, KICK PLATE
D105A	C	3'-6"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	SECURE DOOR, ADA COMPLIANT HARDWARE
D105B	B	3'-6"	7'-0"	1 3/4"	INSUL MTL	PAINT	NONE	WELDED	INSUL HM	PAINT	SECURE DOOR, CLOSER, WEATHERSTRIP, KICK PLATE
D106	B	3'-6"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	CLOSER, ADA COMPLIANT HARDWARE
D107	E	3'-6"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	SECURE DOOR, CLOSER, ADA COMPLIANT HARDWARE
D108	B	3'-6"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	ADA COMPLIANT HARDWARE
D109	C	3'-6"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	ADA COMPLIANT HARDWARE
D110	E	3'-6"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	CLOSER, ADA COMPLIANT HARDWARE
SECOND FLOOR											
D202	C	3'-0"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	
D203	C	3'-0"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	
D204	C	3'-0"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	
D205	C	3'-0"	7'-0"	1 3/4"	MTL	PAINT	NONE	WELDED	HM	PAINT	

DOOR NOTES :

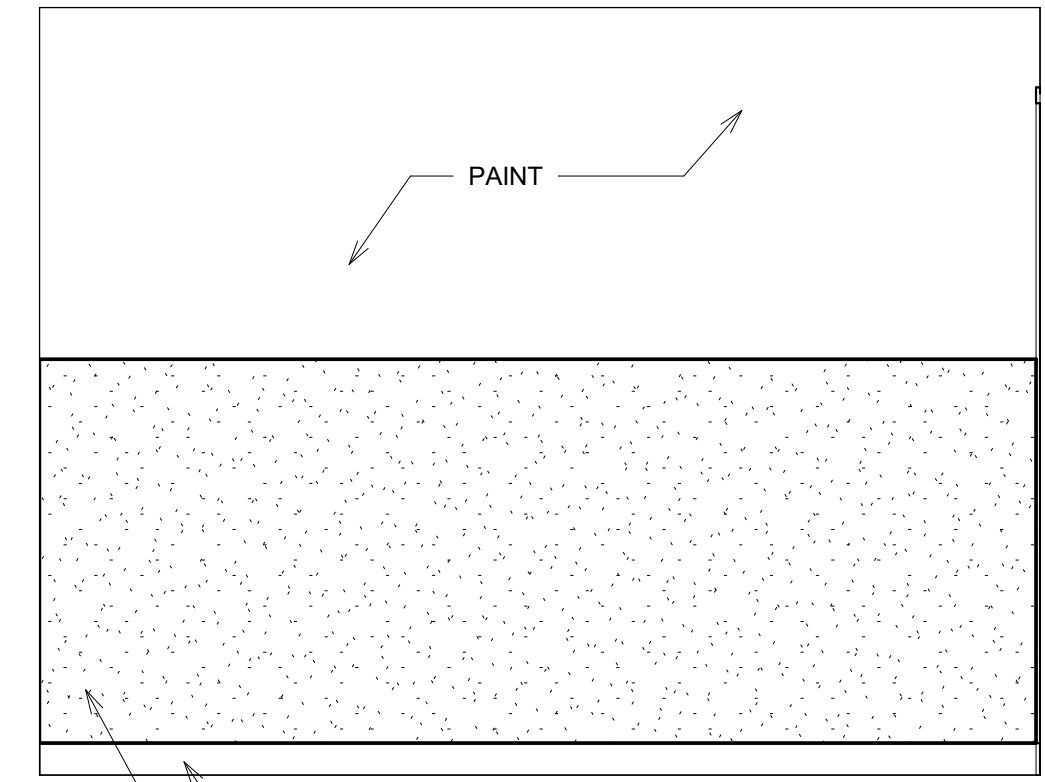
- ALL DOORS ARE TO HAVE LEVER TYPE HARDWARE, UNLESS OTHERWISE NOTED AS PANIC HARDWARE (LEVER AT PULL SIDE), & THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED WHAT IS SPECIFIED IN THE INTERNATIONAL BUILDING CODE FOR EXTERIOR & INTERIOR DOORS AS WELL AS DOORS IN A BARRIER FREE PATH OF TRAVEL.
- JAMB DESIGN FOR ALL ALUMINUM DOORS SHALL BE CONSTRUCTED TO WITHSTAND 1,600 POUNDS OF PRESSURE IN BOTH A VERTICAL DISTANCE OF 3' & A HORIZONTAL DISTANCE OF 1" EACH SIDE OF THE STRIKE.
- ALL HOLLOW METAL DOOR FRAMES SHALL BE OF THE WELDED TYPE, NO KNOCK-DOWN FRAMES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION / ORDERING.
- ALL DOOR GLAZING SHALL BE 1/4" SAFETY TYPE GLAZING, UNLESS OTHERWISE NOTED.
- PROVIDE ALUMINUM BREAK METAL AT JAMBS.
- ALL DOORS SHALL NOT HAVE HOLD OPEN HINGES UNLESS SPECIFIED.
- COORDINATE ALL LOCK STYLES, FUNCTION, TYPE, AND KEYING WITH OWNER.

DOOR LEGEND :



1 ENLARGED BATHROOM PLAN

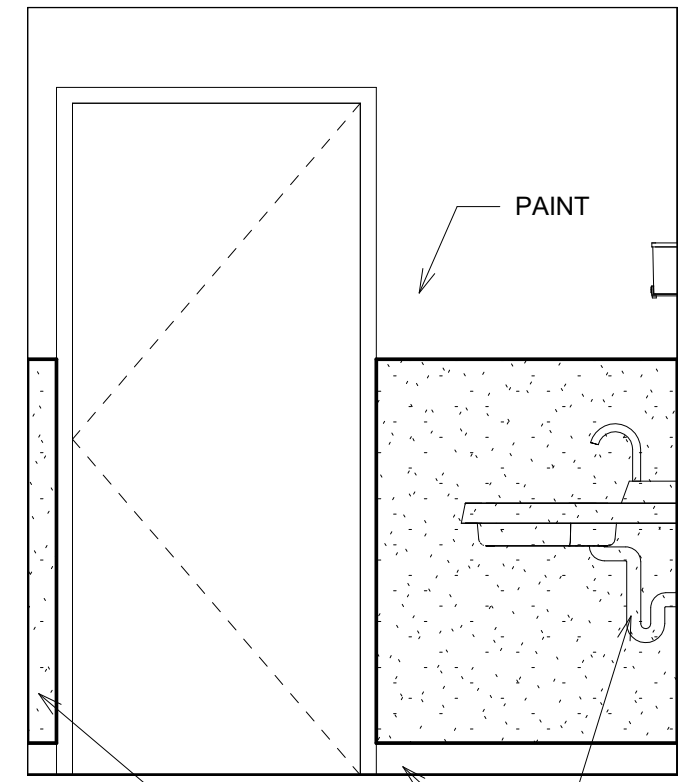
A4.1 SCALE: 1/2" = 1'-0"



PROVIDE SMOOTH HARD NONABSORBANT SURFACE MEETING THE REQUIREMENTS OF THE IBC 2012-SECT 1210.2 TO A HEIGHT OF 48" A.F.F.

2 INTERIOR ELEVATION 2

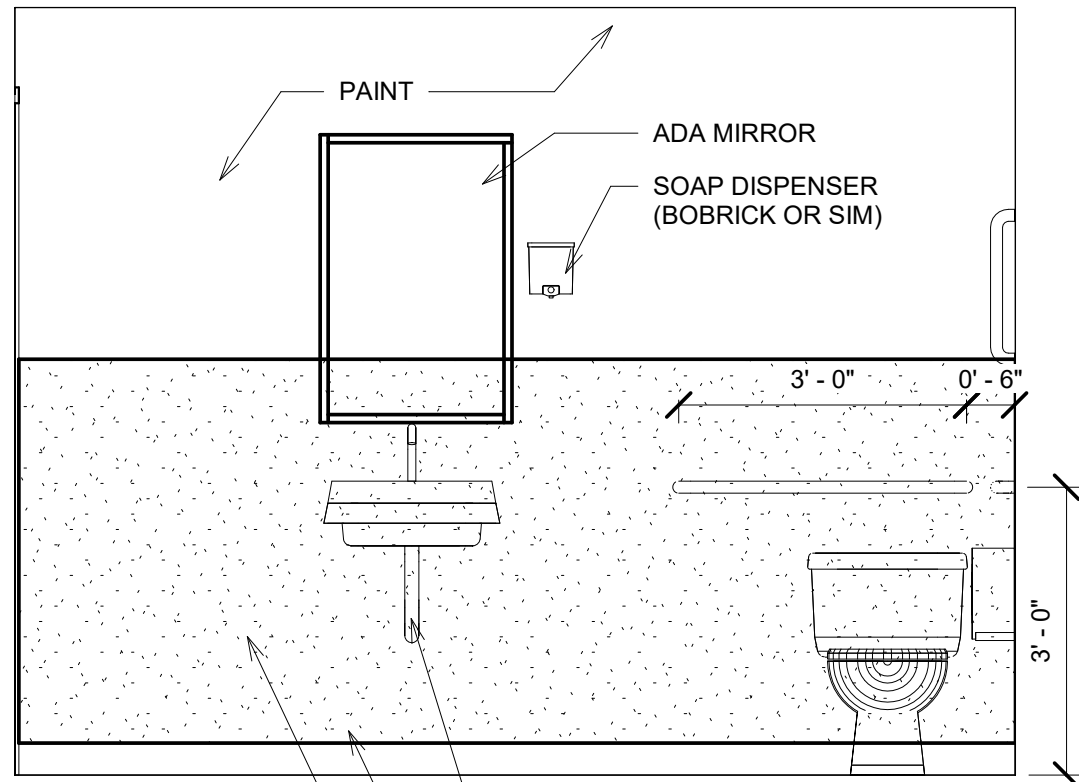
A4.1 SCALE: 1/2" = 1'-0"



PROVIDE SMOOTH HARD NONABSORBANT SURFACE MEETING THE REQUIREMENTS OF THE IBC 2012-SECT 1210.2 TO A HEIGHT OF 48" A.F.F.

3 INTERIOR ELEVATION 3

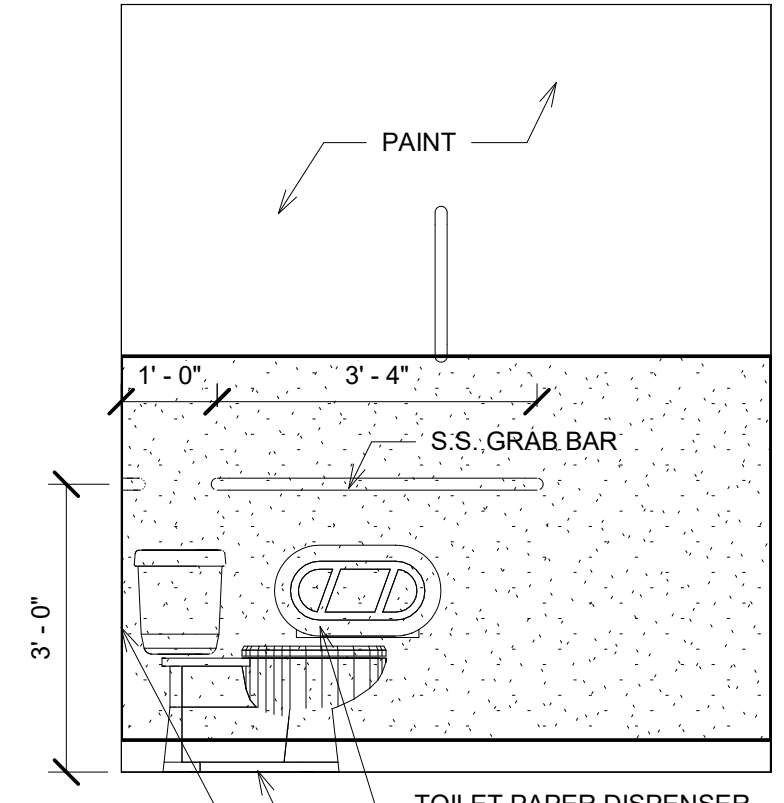
A4.1 SCALE: 1/2" = 1'-0"



PROVIDE SMOOTH HARD NONABSORBANT SURFACE MEETING THE REQUIREMENTS OF THE IBC 2012-SECT 1210.2 TO A HEIGHT OF 48" A.F.F.

4 INTERIOR ELEVATION 4

A4.1 SCALE: 1/2" = 1'-0"



PROVIDE SMOOTH HARD NONABSORBANT SURFACE MEETING THE REQUIREMENTS OF THE IBC 2012-SECT 1210.2 TO A HEIGHT OF 48" A.F.F.

5 INTERIOR ELEVATION 5

A4.1 SCALE: 1/2" = 1'-0"

REVISIONS		REV 1 - OWNER CHANGES
No.	Date	Item

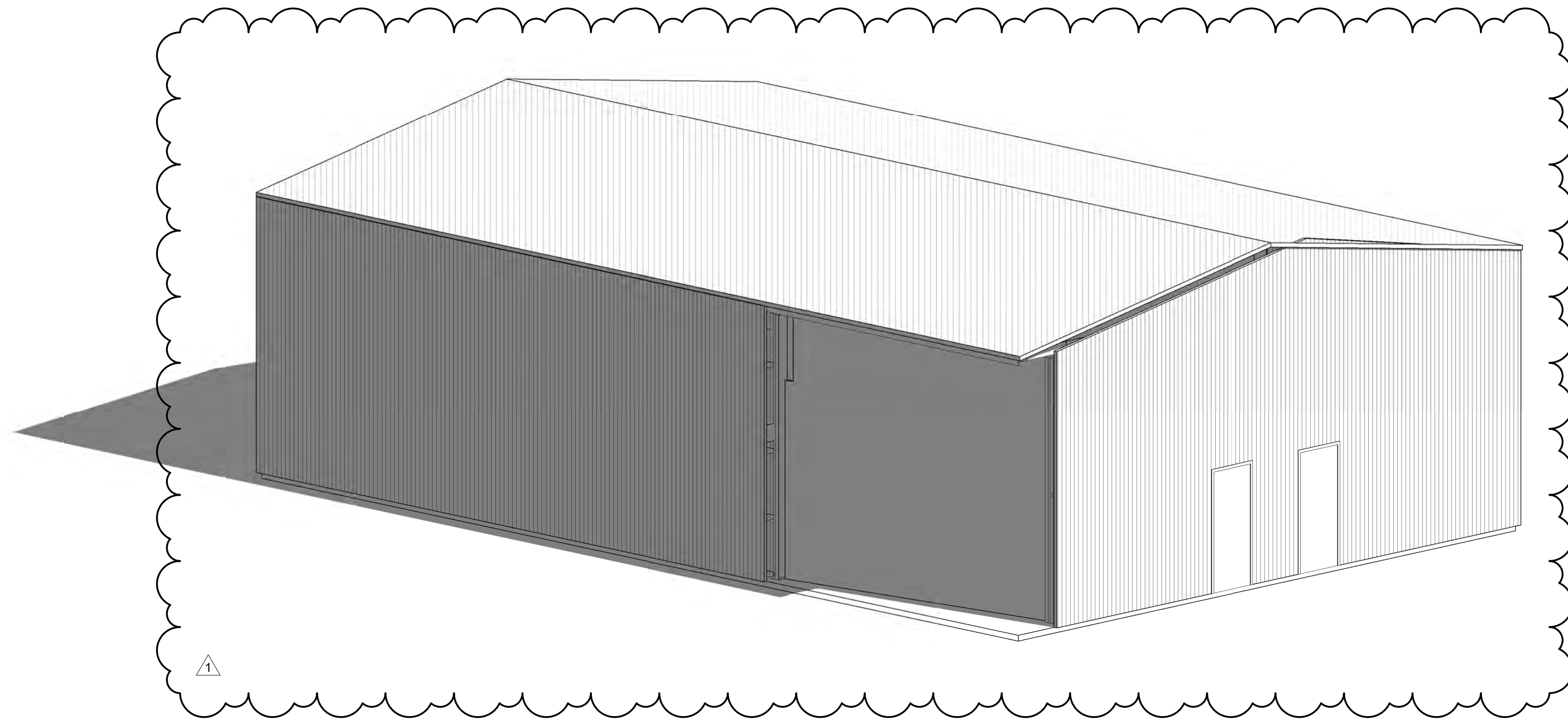
PROJECT : **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE : **DOOR SCHEDULE**
CONSTRUCTION DRAWINGS

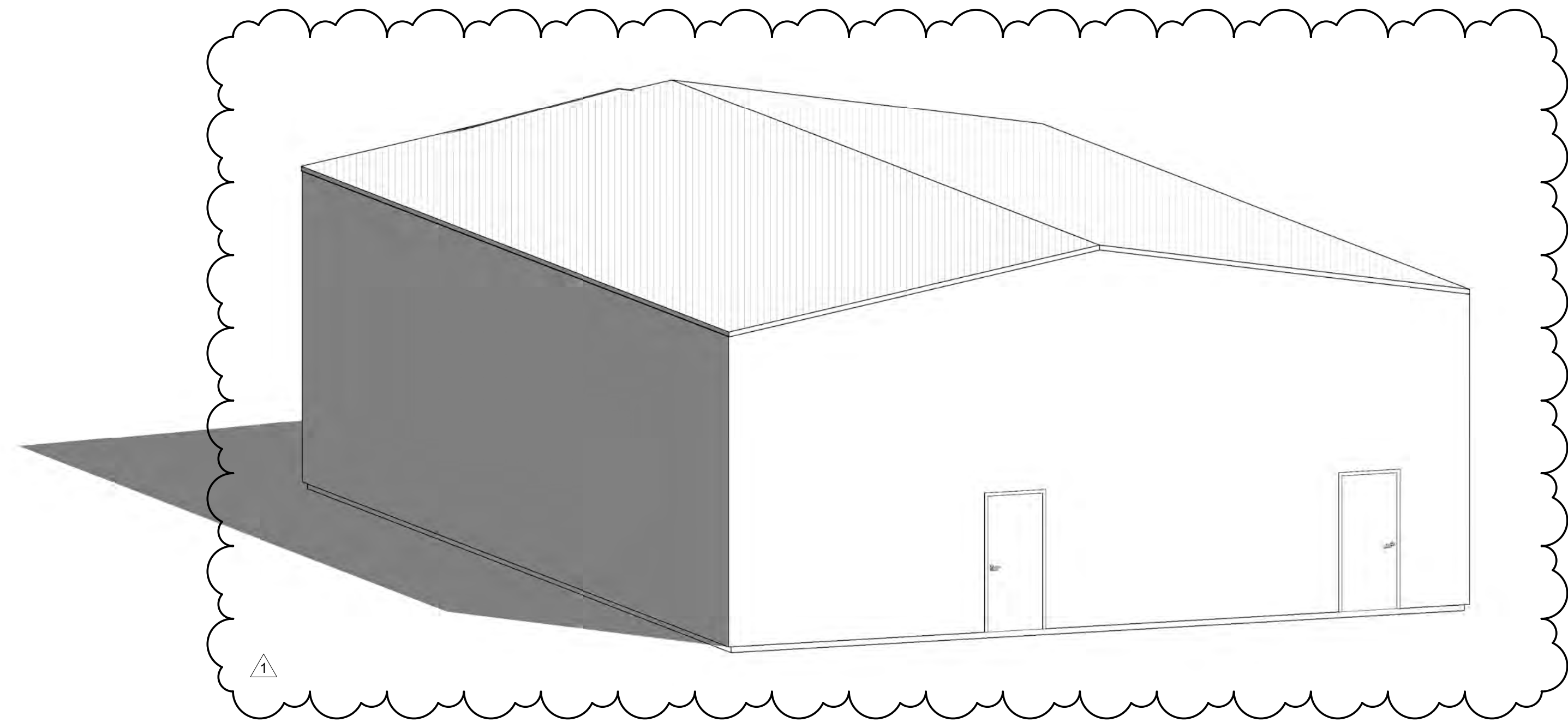
DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8/27/2021

PROJECT No. 21126.00
SHEET NUMBER

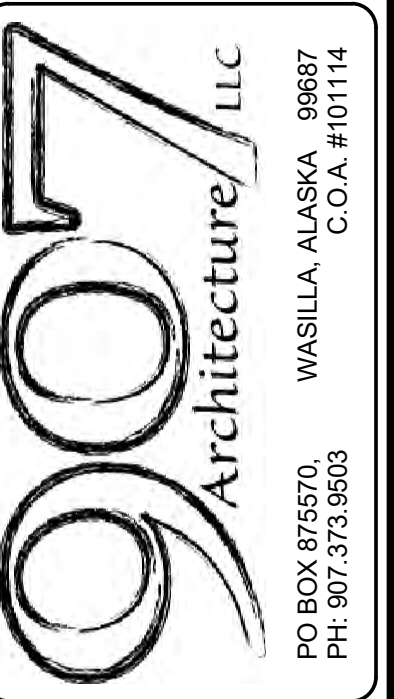
A4.1



1 EXTERIOR PERSPECTIVE 1
A6.0 SCALE:



2 EXTERIOR PERSPECTIVE 2
A6.0 SCALE:



PROJECT: **SMOKE OUT POINT**
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE: **EXTERIOR PERSPECTIVES**
CONSTRUCTION DRAWINGS

DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER

A6.0

No.	Date	Item
1	7.14.2023	REV 1 - OWNER CHANGES

REVISIONS



ABBREVIATIONS

AB	ANCHOR BOLT
ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE OF STEEL CONSTR.
ALT	ALTERNATE
APA	AMERICAN PLYWOOD ASSOCIATION
ARCH	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS
AWS	AMERICAN WELDING SOCIETY
BLKG	BLOCKING
BM	BEAM
BOC	BOTTOM OF CONCRETE
BOD	BOTTOM OF DECK
BOS	BOTTOM OF STEEL
BOT	BOTTOM
BTWN	BETWEEN
CIP	CAST IN PLACE (CONCRETE)
CJP	COMPLETE JOINT PENETRATION
CLR	CLEAR
COL	COLUMN
CONN	CONNECTION
CONT	CONTINUOUS
CVN	CHARPY V NOTCH
DIAM	DIAMETER
DWGS	DRAWINGS
(E)	EXISTING
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EW	EACH WAY
EQ	EQUAL
FC	CONCRETE COMPRESSIVE STRENGTH
FM	MASONRY COMPRESSIVE STRENGTH
FDN	FOUNDATION
FOC	FACE OF CONCRETE
FT	FEET
FTG	FOOTING
GA	GAGE OR GAUGE
GALV	GALVANIZED
GLB	GLUE-LAMINATED BEAM
HI	HIGH
HORIZ	HORIZONTAL
HS	HEADED STUD
HSH	HORIZONTAL SLOTTED HOLE
HSS	HOLLOW STRUCTURAL SECTION
IE	INVERT ELEVATION
INV	INVERT
LO	LOW
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MECH	MECHANICAL
MF	MOMENT FRAME
MIN	MINIMUM
MT	MAGNETIC PARTICLE STRIP
NA	NOT APPLICABLE
NFS	NON FROST SUSCEPTIBLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OWSJ	OPEN WEB STEEL JOIST
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
REINF	REINFORCING
RT	RADIOGRAPHIC TEST
SDI	STEEL DECK INSTITUTE
SJI	STEEL JOIST INSTITUTE
SQ	SQUARE
STD	STANDARD
TBD	TO BE DETERMINED
TEMP	TEMPERATURE
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TS	TUBE STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UT	ULTRASONIC
VERT	VERTICAL
W	WIDE FLANGE DESIGNATION
WF	WIDE FLANGE
WP	WORK POINT
WWF	WELDED WIRE FABRIC
W/	WITH

SCHEDULE OF CONSTRUCTION MATERIALS

CONCRETE	LOCATION	28-DAY STRENGTH	MAX. W/C RATIO	AIR ENTRAINMENT				
	EXTERIOR CONCRETE (EXPOSED TO FREEZING)	4,500 P.S.I.	0.45	6% +/- 1%				
	INTERIOR SLABS (NOT EXPOSED TO FREEZING)	4,000 P.S.I.	0.45	3%				
	FOOTINGS, FOUNDATION, COLUMNS & WALLS	4,000 P.S.I.	0.50	5% +/- 1%				
MASONRY	ITEM	TYPE	COMP. STRENGTH	SLUMP				
REINFORCING	APPLICATION	TYPE	COMMENTS					
	FABRICATED AND STRAIGHT BARS	ASTM A615, GRADE 60	SEE LAP SPLICE SCHEDULE FOR LAP LENGTHS					
	FIELD BENT	ASTM A615, GRADE 40						
STRUCTURAL STEEL	APPLICATION	TYPE	GRADE	Fy				
	STRUCTURAL BOLTS	ASTM A325						
	ANCHOR RODS	ASTM F1554	GRADE 36					
	PLATES AND BARS	ASTM A36		36 KSI				
LIGHT GAGE STEEL	APPLICATION	PROFILE/SIZE	TYPE	GRADE	GALV			
WOOD	APPLICATION	SPECIES	GRADE	COMMENTS				
DIMENSION LUMBER	LOAD BEARING STUDS	HEM FIR-LARCH	NO. 1	2X6 @ 16" OC UNO				
	2ND FLR WALL TOP SUPPORT	DOUG. FIR-LARCH	NO.1	(3) 2X12				
	WALL TOP PLATES	HEM FIR-LARCH	NO.1					
	WALL BOTTOM PLATES AND LEDGERS	HEM FIR-LARCH	NO. 1					
	SAWN BEAMS	DOUG. FIR-LARCH	NO. 1					
	POSTS	DOUG -FIR-LARCH	NO. 1					
	BLOCKING, MISC FRAMING	HEM-FIR	STD & BETTER					
NOTES: ALL WOOD IN CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE TREATED. DECKS, DECK ROOFS AND PORT ROOF LEDGER ARE TO BE PRESSURE TREATED. ALL ANCHOR BOLTS, JOIST HANGERS AND STEEL ARE TO BE GALVANIZED AND OR COATED PER MANUFACTURERS RECOMMENDATION WITH COATING COMPATIBLE WITH PRESURE TREATED WOOD SUPPLIED. LOCATE WALL STUDS DIRECTLY BELOW ROOF TRUSSES. *** ADJUST STUD SIZE TO ALLOW FOR SLIP CONNECTION AT BUILDING FRAME SEE 6/S1.4								
GLUED-LAMINATED BEAMS	ALLOWABLE STRESSES - P.S.I.							
		SPECIES COMB	Fb TENSION ZONE	Fb COMP ZONE	Fv	Fc TENSION ZONE	Fc COMP ZONE	1.0 E 6
	SIMPLE SPANS	DF V4	2400	2400	190	650	650	1.8
	CONTINUOUS SPANS, CANTILEVERS	DF V8	2400	2400	190	650	650	1.8
COMP. LUMBER	LAMINATED VENEER LUMBER		2900	2900	285		3000	2.0
WOOD PANEL SHEATHING	APPLICATION	GRADE	MIN. THICK.	SPAN RATING	EXPOSURE			
	WOOD PANEL SUBFLOOR	APA PS2 T&G STRUDI-FLR	3/4"	48/24	EXPOSURE 1			
	SHEAR WALLS	APA RATED	15/32"	32/16	EXPOSURE 1			
NOTES: SEE SHEAR WALL AND DIAPHRAGM SCHEDULE FOR NAILING REQUIREMENTS.								

STRUCTURAL NOTES:
 ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS, THE SPECIFICATIONS AND NOTES LISTED IN THIS DRAWING SET. MINIMUM PROVISIONS OF THE INTERNATIONAL BUILDING CODE (IBC 20012), AND LOCAL AMENDMENTS SHALL APPLY WHERE DETAILS ARE NOT SHOWN OR DESCRIBED.

AS-BUILT DRAWINGS:
 CONTRACTOR SHALL MAINTAIN A CURRENT SET OF DRAWINGS ON SITE, MODIFIED TO REFLECT ALL DESIGN CHANGES TO THE ORIGINAL DRAWING SET.

STRUCTURAL OBSERVATIONS:
 THE OWNER SHALL EMPLOY THE ENGINEER OF RECORD TO PERFORM STRUCTURAL OBSERVATIONS AS DEFINED IN SECTION 1702 OF THE IBC AT SIGNIFICANT STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY OF SPECIAL INSPECTIONS REQUIRED BY SECTION 1704 OF THE CODE.

DISCLAIMER:
 TERRAMOUNT ENGINEERING AND DESIGN INC (TE&D) IS NOT RESPONSIBLE FOR SAFETY PROGRAMS, METHODS, OR PROCEDURES OF OPERATION, OR THE CONSTRUCTION OF THE DESIGN SHOWN ON THESE DRAWINGS. DRAWINGS ARE FOR USE ON THIS PROJECT ONLY AND ARE NOT INTENDED FOR REUSE WITHOUT WRITTEN APPROVAL FROM TE&D. DRAWINGS ARE ALSO NOT TO BE USED IN ANY MANNER THAT WOULD CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO TE&D.

STRUCTURAL DESIGN CRITERIA SCHEDULE

CRITERIA	DESCRIPTION	VALUE	COMMENTS
CODE	IBC 2018		WITH LOCAL AMENDMENTS
SEISMIC	ANALYSIS PROCEDURE SEISMIC DESIGN CATEGORY OCCUPANCY CATEGORY SEISMIC IMPORTANCE FACTOR, IE SITE CLASS 0.2S SPECTRAL RESPONSE ACCELERATION, Ss 1.0S SPECTRAL RESPONSE ACCELERATION, S1 0.2S SPECTRAL RESPONSE COEFFICIENT, Sds 1.0S SPECTRAL RESPONSE COEFFICIENT, Sd1	ELF D II D 1.0 1.5 0.716 1.0 0.716	PER ASCE 7-16-12.8 EQUIVALENT LATERAL FORCE PROCEDURE WOOD SHEARWALL SEISMIC FORCE-RESISTING SYSTEM
WIND	IBC SECTION 1609 INTERNAL PRESSURE COEFFICIENT	5 PSF	
FLOOR LIVE LOADS	SLAB ON GRADE SECOND FLOOR	100 PSF 50 PSF	
STEEL BUILDING PER CBC STEEL BUILDING STOCK # 115 C21H0015A			
FOUNDATIONS	ALLOWABLE SOIL BEARING PRESSURE	3000 PSF	PLUS 1/3 SHORT TERM INCREASE

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED BY THE EOR AND THEN SUBMITTED TO THE BUILDING OFFICIAL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING CALCULATION AND DRAWINGS STAMPED BY AN ALASKA REGISTERED PROFESSIONAL ENGINEER FOR THE FOLLOWING CONTRACTOR DESIGNED ITEMS:

- FOR ALL PROPOSED MODIFICATIONS TO THESE DRAWINGS.
- FOR ANY DETAILS WHICH ARE NOT SHOWN WITHIN THIS DRAWING SET INCLUDING BUT NOT LIMITED TO THE FOLLOWING. LARGE STORE FRONT WINDOWS, MULLIONS , WINDOW FRAME CONNECTIONS TO THE STRUCTURE, STEEL DECKING CONNECTIONS.

GEOTECHNICAL NOTES:

- ANY UTILITIES UNDER THE SITE SHALL BE RELOCATED AND TRENCHES BACKFILLED WITH APPROVED MATERIAL. PRIOR TO EXCAVATION FOR THE FOUNDATION.
- GEOTECHNICAL DESIGN ASSUMPTIONS ARE NOTED ON THIS DRAWING. PRIOR TO CONSTRUCTION A QUALIFIED PROFESSIONAL IS TO VERIFY SITE CONDITIONS MEET OR EXCEED THE REQUIREMENTS NOTED BELOW.
 - A) ALL ORGANICS ARE TO BE REMOVED DOWN TO GOOD FREE DRAINING NON-FROST-SUSEPTABLE (NSF) MATERIAL . OVER EXCAVATE A MIN OF 2'-0" BELOW THE BASE OF THE FOOTING TO ENSURE ALL ORGANICS OR FROST SUSEPTABLE SOILS ARE ARE REMOVED. COMPACT SUB BASE TO 95% MATERIAL DENSITY ACCORDING TO ASTM-D-1557
 - B) BASE COARSE IS TO BE 1-1/2"MINUS FREE DRAINING WELL GRADED NFS MATERIALS COMPACTED IN 6 INCH LIFTS TO A MINIMUM OF 95% MATERIAL DENSITY ACCORDING TO ASTM-D-1557 AND IS TO MEET OR EXCEED A BEARING CAPACITY OF 2000 PSF .
 - C) All WALL BACKFILL IS TO BE GOOD FREE DRAINING NON-FROST-SUSEPTABLE (NSF) MATERIALS
 - D) SOIL PROPERTIES

1) MAX SOIL WEIGHT	120 pcf	4) MAX ALLOWABLE AT REST EARTH PRESSURES	56pcf
2) SOIL FRICTION ANGLE	32 Deg.	5) MIN SOIL PASSIVE PRESSURE	350pcf
3) MAX ALLOWABLE ACTIVE EARTH PRESSURE	35 pcf	6) MAX SOIL SURCHARGE	180pcf
 - E) SUBGRADE AND BASE MUST BE FREE FROM LOOSE MATERIAL , FREE OF STANDING WATER AND APPROVED BY GEOTECHNICAL ENGINEER OR QUALIFIENET INSPECTOR PRIOR TO PLACING BUILDING OR THE RETAINING WALL FOUNDATION REINFORCING BARS AND CONCRETE.

CM	CM	CM	CHK
CM	CM	CM	DWN
95% SUBMITTAL PERMIT SET			REVISION DESCRIPTION
5-28-2021	8-26-2021		DATE
A	0		REV

TERRAMOUNT ENGINEERING & DESIGN
 P.O. Box 3311
 PALMER, AK 99645
 (907) 745-1576

PROJECT: SMOKE OUT POINT
 10600 MAX DR. PALMER AK 99654
CLIENT: ANTHONY WELLS
 DWG: DESIGN - CRITERIA

S1.0
 DWG NO.
 2021.020
 PROJECT NO.



CM	CM						CHK
CM	CM						DWN
95% SUBMITTAL PERMIT SET							REVISION DESCRIPTION
5-28-2021	8-26-2021						DATE
A	0						REV

TERRAMOUNT ENGINEERING & DESIGN
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 PALMER, AK 99645
 (907) 745-1576

PROJECT: SMOKE OUT POINT
 10600 MAX DR. PALMER AK 99654
 CLIENT: ANTHONY WELLS
 DWG: SPECIAL - INSPECTION

S1.1
 DWG NO.

2021.020
 PROJECT NO.

STATEMENT OF SPECIAL INSPECTIONS

THE FOLLOWING SPECIAL INSPECTIONS SHALL BE PERFORMED BY QUALIFIED PERSONNEL EMPLOYED BY THE OWNER OR THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ACTING AS THE OWNER'S AGENT.

SPECIAL INSPECTOR QUALIFICATIONS:
 THE SPECIAL INSPECTOR SHALL PROVIDE WRITTEN DOCUMENTATION

INSPECTION TASKS:
 INSPECTION TASKS ARE LISTED IN THE ATTACHED TABLES AND IN THE 2012 EDITION OF THE IBC CHAPTER 17.

FABRICATOR APPROVAL:
 SPECIAL INSPECTIONS REQUIRED BY SECTION 1705 ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. TESTING REQUIREMENTS CANNOT BE WAIVED.

REPORT REQUIREMENTS:
 REPORTS SHALL BE COMPLETED ON A DAILY BASIS AND DISTRIBUTED ON A WEEKLY BASIS. COPIES OF REPORTS SHALL BE DISTRIBUTED TO THE GENERAL CONTRACTOR, THE ENGINEER OF RECORD AND THE ARCHITECT OF RECORD. REPORTS SHALL INDICATE WHETHER THE WORK WAS OR WAS NOT COMPLETED IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR. IF THEY ARE NOT CORRECTED, DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. A FINAL REPORT DOCUMENTING THE SPECIAL INSPECTIONS PERFORMED AND THE CORRECTION OF ANY DISCREPANCIES SHALL BE DISTRIBUTED AS NOTED ABOVE.

STRUCTURAL OBSERVATIONS:
 THE OWNER SHALL EMPLOY THE REGISTERED DESIGN PROFESSIONAL TO PERFORM STRUCTURAL

OBSERVATIONS AS FOLLOWS:

WIND:
 WHERE V_{asd} EXCEEDS 110 MPH
 WHERE THE STRUCTURE IS CLASSIFIED AS RISK CATEGORY III OR IV
 THE BUILDING HEIGHT IS GREATER THAN 75 FT.
 WHEN REQUIRED BY THE DESIGN PROFESSIONAL OR THE BUILDING OFFICIAL

SEISMIC:
 WHERE THE STRUCTURE IS ASSIGNED TO SEISMIC DESIGN CATEGORY E
 WHERE THE STRUCTURE IS CLASSIFIED AS RISK CATEGORY III OR IV
 THE BUILDING HEIGHT IS GREATER THAN 75 FT.
 WHEN REQUIRED BY THE DESIGN PROFESSIONAL OR THE BUILDING OFFICIAL

REQUIRED INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REMARKS
1 VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	PERIODIC	
2 VERIFY EXCAVATIONS EXTEND TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	PERIODIC	
3 PERFORM CLASSIFICATION AND TESTING OF FILL MATERIALS.	PERIODIC	
4 VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF COMPACTED FILL	CONTINUOUS	
5 PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT THE SITE HAS BEEN PREPARED PROPERLY.	PERIODIC	

REQUIRED VERIFICATION AND INSPECTION OF CONCRETE

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REFERENCE FOR CRITERIA	
		REF. STANDARD	IBC REFERENCE
1 INSPECTION OF REINFORCING STEEL, INCLUDING SIZE, GRADE AND PLACEMENT	PERIODIC	ACI 318: 3.5, 7.1 - 7.7	1910.4
2 INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH TABLE 1705.2.2, ITEM 2b		AWS D1.4 ACI 318: 3.5.2	
3 INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED	PERIODIC	ACI 318: 8.1.3, 21.2.8	1908.5, 1909.1
4 INSPECTION OF ANCHORS POST INSTALLED IN HARDENED CONCRETE MEMBERS	PERIODIC	ACI 318: 3.8.6, 8.1.3, 21.2.8	1909.1
5 VERIFY USE OF REQUIRED MIX DESIGN	PERIODIC	ACI 318: 4, 5.2-5.4	1904.3, 1910.2, 1910.3
6 AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE	CONTINUOUS	ASTM C172 ASTM C31 ACI 318: 5.6, 5.8	1910.10
7 INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	CONTINUOUS	ACI 318: 5.9, 5.10-5.4	1910.6, 1910.7, 1910.8
8 INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TECHNIQUES	PERIODIC	ACI 318: 5.11-5.13	1910.9
9 INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED	PERIODIC	ACI 318: 6.11	

SPECIAL INSPECTION FOR WIND RESISTANCE

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REMARKS
1 STRUCTURAL WOOD: NAILING, BOLTING, ANCHORING AND FASTENING OF WOOD SHEAR WALLS, DRAG STRUTS, HOLDOWNS AND DIAPHRAGMS.	PERIODIC	
2 ARCHITECTURAL COMPONENTS: ROOF AND WALL CLADDING.	PERIODIC	

SPECIAL INSPECTION FOR SEISMIC RESISTANCE

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REMARKS
1 STRUCTURAL WOOD: NAILING, BOLTING, ANCHORING AND FASTENING OF WOOD SHEAR WALLS, DRAG STRUTS, HOLDOWNS AND DIAPHRAGMS.	PERIODIC	
3 ARCHITECTURAL COMPONENTS: ROOF AND WALL CLADDING. INTERIOR AND EXTERIOR NON-BEARING WALLS. INTERIOR AND EXTERIOR VENEER SYSTEMS.	PERIODIC	
4 STRUCTURAL STEEL: IN ACCORDANCE WITH THE QUALITY ASSURANCE PLAN REQUIREMENTS OF AISC 341. SEE ATTACHED SCHEDULES.	PERIODIC	



FOOTING REINFORCING SCHEDULE

FTG MARK	FTG SIZE	DEPTH	TOP ELEV.	TOP LAYER REINF.	BOTTOM LAYER REINF.

NOTES:
1. EXTEND THICKENED EDGE SLAB REINFORCING THROUGH THROUGH PAD FOOTINGS

STRIP FOOTING REINFORCING SCHEDULE

FTG MARK	FTG WIDTH	DEPTH	TOP ELEV.	LONGITUDINAL REINFORCING	TRANSVERSE REINFORCING
TSF1	2'-0"	12"	100'-0"	(3) #5 BOTTOM	#4 AT 4'-0" O.C.
TSF2	2'-0"	12"	100'-0"	(4) #5 BOTTOM	#4 AT 4'-0" O.C. ***
TSF3	2'-0"	24"	100'-0"	(4) #5 T&B	#4 AT 1'-4" O.C.
TSF4	2'-6"	24"	100'-0"	(4) #5 T&B	#4 AT 1'-4" O.C.

NOTES: *** TRANSVERSE BARS NOT TO EXCEED 12" O.C. FOR 4'-0" CENTERED BELOW POST AT FACE OF OPENING

SLAB REINFORCING SCHEDULE

THICKNESS	TYPE	REINFORCING	CONCRETE COVER	LOCATION
5"	ON GRADE	#4 @ 16" OC EACH WAY	2" FROM TOP	HEATED SLAB OFFICE OR LITE STORAGE
8"	ON GRADE	#4 @ 8" OC EACH WAY	2" FROM TOP	ENTRY SECURITY BOOTH

ACI STANDARD 90 DEG HOOK DIMENSIONS

BAR SIZE	#3	#4	#5	#6	#7	#8	#9
MIN BEND DIA. (d)	2 1/4"	3"	3 3/4"	4 1/2"	5 1/4"	6"	9"
EXTENSION LENGTH (L)	6"	6"	8"	9"	11"	12"	13 1/2"

Ref ACI 318-05 Sec 7.1 & 12.5.4

REBAR LAP SPLICES

BAR SIZE	#3	#4	#5	#6	#7	#8
CLASS A SPLICE	22"	29"	36"	43"	63"	72"
CLASS B SPLICE	28"	37"	47"	56"	81"	93"

NOT USED

REINFORCING CLEARANCES/COVER

EXPOSURE CONDITION	MIN. COVER U.N.O.	TOLERANCE
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"	-3/8", +1"
EXPOSED TO EARTH OR WEATHER	#5 AND SMALLER BARS: 1 1/2" #6 AND LARGER BARS: 2"	-1/4", + 1/2" -1/4", + 1/2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, BEAMS, COLUMNS, PIERS TO TIES AND STIRRUPS:	3/4" 1 1/2"	-1/4", + 3/8" -1/4", + 1/2"

"-" INDICATES TOLERANCE DECREASE TOWARDS MEMBER FACE. "+" INDICATES AWAY FROM MEMBER FACE

HALDDOWN ANCHOR ROD SCHEDULE

DIAMETER	MAX EMBED DIA, IN.	MIN. WASHER SIZE, IN.	MIN. WASHER THICKNESS, IN.
1/2"	10"		
5/8"	14"		
3/4"	16"	1 5/16	2
7/8"	18"	1 9/16	2 1/2
1"	18"	1 13/16	3
1 1/4"	20"	2 1/16	3
1 1/2"	30"	2 5/16	3 1/2

NOTES:
1. SEE REQUIRED PROJECTION LENGTHS AS REQUIRED TO PROVIDE (1) NUT HEIGHT OF THREAD ABOVE THE HOLD-DOWN NUT
2. ANCHOR RODS ARE F1554 GRADE A36, GALVANIZED A36 ALL-THREAD OR A307 BOLTS.

1 INTERIOR SLAB ON GRADE

CONC SLAB --SEE PLAN AND SCHEDULE FOR THICKNESS AND REINF
VAPOR BARRIER DIRECTLY BENEATH CONCRETE SLAB
UNDER SLAB HIGH PRESSURE RIDGED INSULATION AS SPECIFIED BY OTHERS
6" SAND PER GEOTECH
COMPACTED SUBGRADE AND FILL PER GEOTECHNICAL ENGINEER

3 FRAME TIE SECTION

#5 FRAME TIE W/ STD 90 DEG HOOK EA END AND 2x LAP-SPLICE AT CENTER

4" SLAB CONTROL JOINT

SAWED JOINT TO BE FILLED WITH JOINT FILLER
CUT EVERY OTHER BAR AT JOINT

6"-8" SLAB CONTROL JOINT

SAWED JOINT TO BE FILLED WITH JOINT FILLER
18" X 3/4" DIA SMOOTH DOWEL CENTERED AT 12" O.C. SLEEVE OR PAPER WRAP & GREASE ONE HALF ONLY

4"-6" SLAB CONSTRUCTION JOINT

SAWED JOINT TO BE FILLED WITH JOINT FILLER
18" X 3/4" DIA SMOOTH DOWEL CENTERED AT 12" O.C. SLEEVE OR PAPER WRAP & GREASE ONE HALF ONLY

4"-6" SLAB CONSTRUCTION JOINT

SAWED JOINT TO BE FILLED WITH JOINT FILLER
18" X 3/4" DIA SMOOTH DOWEL CENTERED AT 12" O.C. SLEEVE OR PAPER WRAP & GREASE ONE HALF ONLY

8" SLAB CONSTRUCTION JOINT

SAWED JOINT TO BE FILLED WITH JOINT FILLER
18" X 3/4" DIA SMOOTH DOWEL CENTERED AT 12" O.C. SLEEVE OR PAPER WRAP & GREASE ONE HALF ONLY

2 TYP. SLAB CONTROL/CONST JOINT

FACE COLUMN +2"
SHEAR WALL SHEATHING PER SCHEDULE
5/8" GYPSUM WALL BOARD
#4@ EA. STIRRUP
CONC SLAB REINF SEE SCHEDULE
WALL PANEL PER CBC
ANGLE CBC
4'-0" TYP FIRST 8' EA SIDE
2'-0" TYP
2" MIN HIGH PRESSURE RIDGED INSULATION AS SPECIFIED BY OTHERS
STIRRUPS SEE SCHEDULE
STRIP FOOTING REINFORCING PER SCHEDULE

4 TSF3 THICKENED SLAB EDGE REINFORCING

3/4"=1'-0"

THICKENED FTG INTERSECTION PLAN

THICKENED FTG CORNER PLAN

NOTE: BUILDING FRAME TIE NOT SHOWN FOR CLARITY

5 FOOTING INTERSECTION AND CORNERS

S1.2 NTS

6 TSF4 THICKENED SLAB EDGE REINFORCING

PER BLD MANUFACTURES DRAWINGS
A.B. PER BUILDING DWG AND PER ANCHOR ROD SCHEDULE
BUILDING COLUMN
#4@ EA. STIRRUP
CONC SLAB REINF SEE SCHEDULE
FRAME TIE PER PLAN
WALL PANEL PER CBC
ANGLE CBC
4'-0" TYP FIRST 8' EA SIDE
2'-0" TYP
2" MIN HIGH PRESSURE RIDGED INSULATION AS SPECIFIED BY OTHERS
STIRRUPS SEE SCHEDULE
STRIP FOOTING REINFORCING PER SCHEDULE

6 TSF4 THICKENED SLAB EDGE REINFORCING

S1.2 3/4"=1'-0"

CM	CM	CM	CM	CHK

TERRAMOUNT ENGINEERING & DESIGN
P.O. Box 3311
PALMER, AK 99645
(907) 745-1576

PROJECT: SMOKE OUT POINT
10600 MAX DR. PALMER AK 99654
CLIENT: ANTHONY WELLS
DWG: CONCRETE SCHEDULE AND TYPICAL DETAILS

S1.2
DWG NO.
2021.020
PROJECT NO.



WOOD SHEAR WALL SCHEDULE

MARK	No. OF SIDES	SHEATHING		NAIL SIZE	NAIL SPACING			STUD THICK. AT PANEL JOINTS	NOMINAL SILL THICKNESS	SILL OR BOTTOM PLATE ATTACHMENT (4,5)
		Grade	Thick.		Edges (3)	Field				
1	1	APA	15/32"	8d	4"	12"	3x	2x	5/8"x10" ANCHOR BOLTS AT 48" OC.	
2	2	APA	15/32"	8d	4"	12"	3x	2x	SDS 1/4 x 5" AT 16" O.C. E.F. STAGGERED FACE TO FACE BY 8" (AAA)	

- NOTES:**
- WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS FOR ITS TYPE IN DOC PS 1 OR PS 2.
 - APPLY SHEATHING TO THE SIDE OF THE WALL INDICATED BY THE SYMBOL. PANELS MAY BE INSTALLED HORIZONTALLY OR VERTICALLY.
 - ALL PANEL EDGES SHALL BE LOCATED ON STUDS, BLOCKING LAID FLAT, PLATES OR RIM JOISTS. WHERE SHEATHING IS APPLIED TO BOTH FACES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS.
 - STAGGER PANEL EDGE NAILING AT PANEL JOINTS.
 - ANCHOR RODS SHALL BE HOT-DIPPED GALVANIZED ASTM A307 HEADED BOLTS LOCATED NO CLOSER THAN 6" FROM END OF WALL.
 - ANCHOR SILL PLATE WASHERS FOR SINGLE SHEATHED WALLS ARE TO BE A MIN 3"x3"x.229" SLOTTED PLATES. ANCHORS ARE TO BE LOCATED SO THAT THE EDGE OF WASHER IS LOCATED WITHIN 1/2" OF FACE OF THE SHEAR SHEATHING.
 - ANCHORS SILL PLATE WASHERS FOR DOUBLE SHEATHED 2X6 WALLS ARE TO BE STAGGERED FROM FACE TO FACE OF THE WALL.
 - SEE HOLDOWN SCHEDULE FOR HOLDOWNS AND BOUNDARY POST SIZES.
 - INSTEAD OF 3X EDGE FRAMING, DBL 2X STUDS MAY BE USED. FASTEN DBL STUDS TOGETHER WITH 16d FACE NAILS STAGGERED @6" OC
 - THE FIRST AND OR LAST SILL PLATE ANCHOR ON ANY GIVEN WALL SEGMENT, IS TO BE LOCATED WITHIN 6" OF THE DOOR OR ENDWALL POST HOLD-DOWN.
 - PROVIDE TYPE (S) OR (W) DRYWALL SCREWS CONFORMING TO ASTM C1002
 - PROVIDE (2) COLUMNS OF NAILS AT PANNEL EDGE STAGGER EACH ROW VERTICALLY 2" EDGE NAIL SPACING NOTED ABOVE.
 - (AAA) PROVIDE SDS SCREWS AT TOP PER DETAILS TO RESIST OUT OF PLANE LOADING AT WALL TOP

WOOD DIAPHRAGM SCHEDULE

AREA	SHEATHING		NAIL SIZE	NAIL SPACING			NOMINAL THICKNESS OF FRAMING	PANEL EDGE BLOCKING
	Grade	Thick.		Edges (2)	Boundary	Field		
(N) FLOOR	PS1,2	3/4"	10d	4"	4"	8"	2x	BLOCKED

- NOTES:**
- PANELS RUN PERPENDICULAR TO FRAMING UNLESS NOTED OTHERWISE.
 - STAGGER ALL PANEL EDGE NAILING AT PANEL JOINTS.
 - ROOF SHEATHING NAILS ARE TO BE RING SHANK

FRAMING NAIL SCHEDULE

CONNECTION	NAILING	CONNECTION	NAILING
TOP PLATE TO STUD, (END NAIL)	2X4 (2)-16d 2X6 (3)-16d 2X8 (4)-16d	BUILT-UP HEADERS AND BEAMS	16d AT 16" O.C. ALONG TOP AND BOTTOM EDGES
SILL PLATE TO STUD, (END NAIL)	2X4 (2)-16d 2X6 (3)-16d 2X8 (4)-16d	BUILT-UP COLUMNS BELOW BEAMS, FACE NAIL	16d AT 16" O.C. - EACH FACE
DOUBLE TOP PLATE, FACE NAIL (STAGGER)	16d AT 24" O.C.	BUILT-UP CORNER STUDS (3 STUDS MINIMUM)	16d AT 24" O.C.
DOUBLE SILL PLATES, FACE NAIL (STAGGER)	10d AT 12" O.C.	BACKING AND BLOCKING AT TRUSSES AND 2X FRAMING, END NAIL OR TOE NAIL	(2) - 16d EACH END
TOP PLATE AT WALL INTERSECTIONS (FACE NAIL)	(4) - 16d		

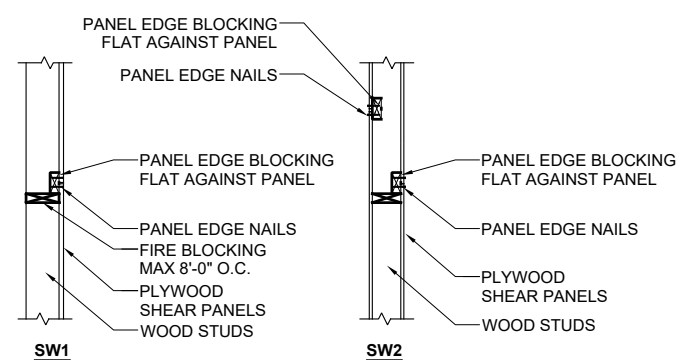
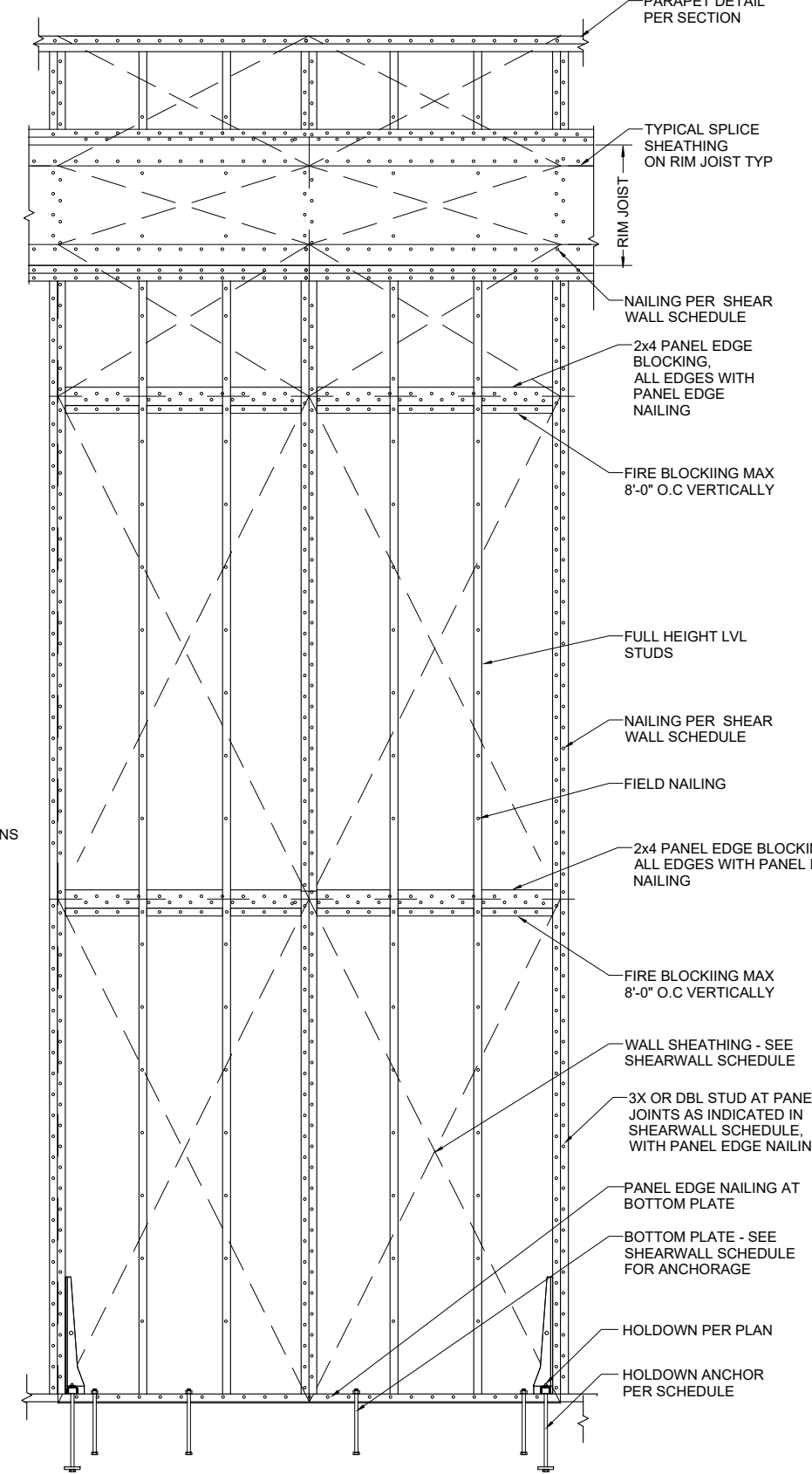
NOTE:
1) FOR ALL OTHER FRAMING NAILING CONDITIONS SEE IBC 2009 TABLE 2304.9.1

HOLDOWN SCHEDULE

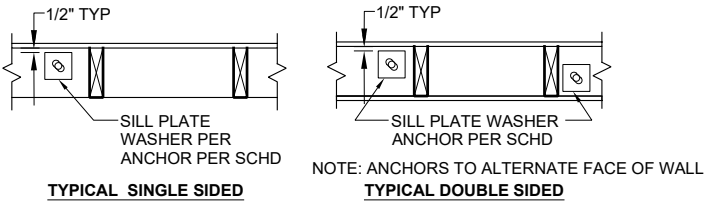
MARK	HOLDOWN	ANCHOR ROD IN WALLS		MAX HOLDOWN	BOUNDARY POST SIZE	COMMENTS
		Diam.	Embed.			
HDU2	SIMPSON HDU2-SDS 2.5	5/8" Dia	16"	3,075 LBS	(2) 2X OR (1) 4X	
CMST12	SIMPSON CMST12			9215LBS	(2) 2X OR (1) 4X6 (38) 16d EACH END	

- NOTES:**
- HOLDOWNS ARE SIMPSON STRONG-TIE OR EQUAL.
 - ANCHOR RODS SHALL BE GALVANIZED ASTM A307 HEADED BOLTS W/ 3X3X3/8" PLATE WASHER OR ASTM F1554 GRADE 36 THREADED ROD WITH DBL NUT AND 3X3X3/8" PLATE WASHER AT BOTTOM. ROD COUPLERS WITH 125% STRENGTH OF THE ROD MAY BE USED TO EXTEND RODS.
 - PROVIDE OF No. 1 BOUNDARY POSTS
 - COORDINATE WITH THE HEADER SCHEDULE FOR VERIFICATION THAT THE BOUNDARY POST SIZE AND TYPE MEETS THE REQUIREMENTS FOR KING STUD NUMBER, TYPE AND SIZE.
 - ALL STRAP TIES TO BE INSTALLED WITH SUFFICIENT LENGTH TO PROVIDE MANUFACTURERS RECOMMENDED NAILS INTO THE LOWER AND THE UPPER BOUNDARY POSTS TO DEVELOPE FULL STRAP CAPACITY.
 - SEE S1.2 FOR HOLD DOWN ANCHOR EMBEDMENT IN STRIP FOOTINGS. FOOTING CAN BE OVER EXCAVATED 1'-0" EACH SIDE OR HOLD DOWNS IF NEEDED FOR ANCHOR EMBEDMENT

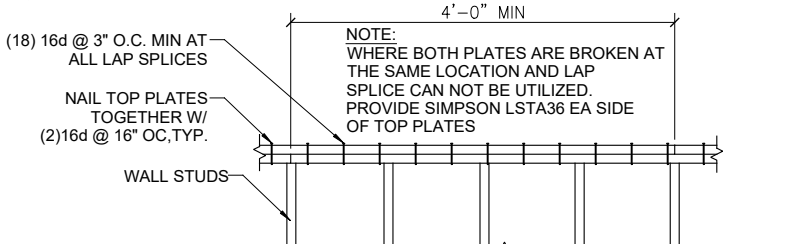
- NOTES:**
- PANELS ARE SHOWN VERTICAL, BUT MAY BE PLACED HORIZONTAL.
 - MIN. EDGE DISTANCE FOR NAILS SHALL BE 3/8".
 - MIN. SHEATHING SHEET SIZE SHALL BE 2'-0"x4'-0".
 - NAILS SHALL NOT BE OVERDRIVEN.
 - NAILS SHALL BE COMMON WIRE TYPE OR APPROVED EQUAL.
 - 10d NAILS ARE TO BE HAND DRIVEN UNLESS THE NAIL GUN AND NAILS PROVIDED HAVE A MIN SHANK DIAMETER FOR 0.148"



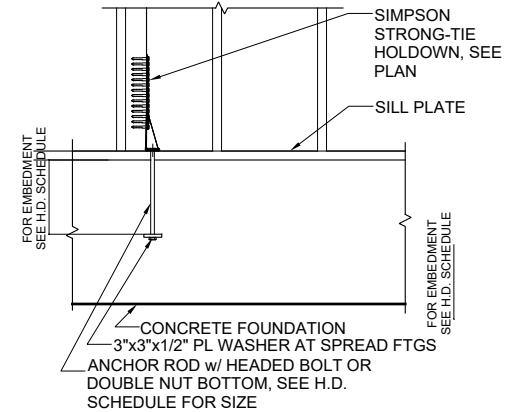
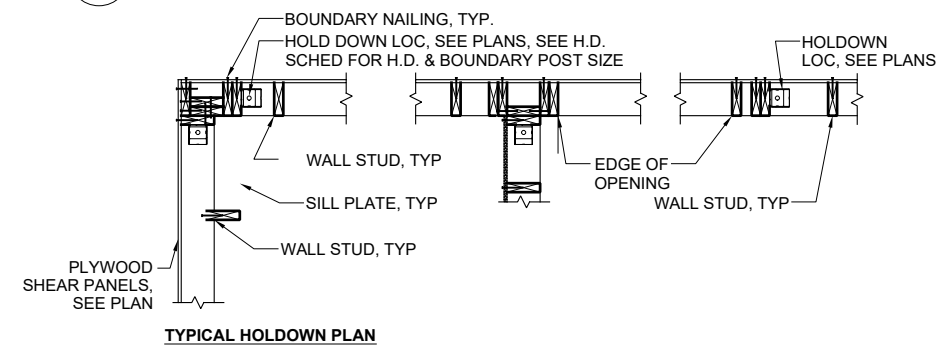
1 PANEL EDGE BLOCKING DETAIL



2 SILL PLATE ANCHORS



3 STUD WALL DOUBLE TOP PLATE SPLICE



4 TYPICAL HOLDDOWN DETAIL

5 SHEAR WALL NAILING DETAIL MULTI STORY

REV	DATE	REVISION DESCRIPTION

TERRAMOUNT ENGINEERING & DESIGN
 P.O. Box 3311
 PALMER, AK 99645
 (907) 745-1576

PROJECT: SMOKE OUT POINT
 10600 MAX DR. PALMER AK 99654
CLIENT: ANTHONY WELLS
 DWG: WOOD-SHEAR-WALL-DETAILS

S1.3
 DWG NO.
 2021.020
 PROJECT NO.

APPLICATION MATERIAL



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us

CONDITIONAL USE PERMIT FOR MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- \$1,500 for Marijuana Retail Facility
- \$1,500 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
- Odor Mitigation and Ventilation Plan – 17.60.160 (B)
- Hazardous Chemicals Information – 17.60.160 (C)
- Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

- Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: _____, Range: _____, Section: _____, Meridian: _____

MSB Tax ID# 2209B02L001A

SUBDIVISION: BRADLEY LK #2 RSB BLOCK(S): 2, LOT(S): 1

STREET ADDRESS: 10600 E. Max Drive, Palmer, Alaska 99645

FACILITY / BUSINESS NAME: Smoke Out Point, LLC DBA Smoke Out Point

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? **Yes** **No** **N/A**

Name of Property Owner

Scott Wells

Mailing: 4132 S Glenn Hwy, Palmer, AK 99645

Phone: Hm 907-715-7140 Fax _____

Wk _____ Cell _____

E-mail siteratiel@yahoo.com

Name of Agent / Contact for application

Anthony Wells (Jana Weltzin, Esq.- Attorney)

Mailing: 2521 E. Mountain Village Drive, Suite B

PMB 248, Wasilla, AK 99654

Phone: Hm 907-982-2192 Fax _____

Wk _____ Cell _____

E-mail smopshop907@gmail.com

M10261

Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	Attached
Signage – Existing and Proposed.	Attached
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	Attached
Buffering – Fences, vegetation, topography, berms, and any landscaping	Attached
Drainage	Attached
Vehicular and pedestrian circulation patterns.	Attached
Exterior site lighting.	Attached
Location and dimensions of parking areas to be provided	Attached
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Attached

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	Attached
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Attached

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	Yes, Please review narrative
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	No
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	Yes
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	Yes
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	Contained in narrative
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> • Increased property line and right-of-way buffers • Planted berms and landscaping • Site and building design features which contribute to the character of the surrounding area 	Contained in narrative
Describe how this use is compatible with the character of the surrounding area.	Contained in narrative
Current status of State License application process – 17.60.150 (D) (1)	Submitted to AMCO

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> • The proximity of the proposed use to existing businesses; • The proximity of parcels developed with residential uses; • Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and • Proposed hours of operations. 	Attached
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	Attached

Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	Attached
Interior floor plans (specific location of the use or uses to be made of the development).	Attached
Net floor area square footage calculations.	Attached

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax account #(s) 2209B02L001A and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

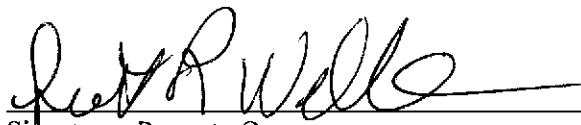
I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

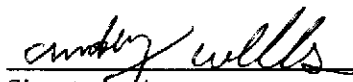
I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

 Scott Wells 1-13-2022
Signature: Property Owner Printed Name Date

 Anthony Wells 1-13-2022
Signature: Agent Printed Name Date

PH

PERMIT CENTER – FEE RECEIPT FORM

Property Location: 2209 BOZLOOIA

Applicant: SMOKE OUT POINT

	USE PERMITS {100.000.000.341.300}	Fee
<input type="checkbox"/>	8.35 Public Display of Fireworks	\$25.00
<input type="checkbox"/>	8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.52 Temporary Noise Permit	\$1000.00
<input type="checkbox"/>	8.55 Special Events Permit 500 – 1000 Attendees 1000+ Attendees	\$500.00 \$1,000.00
<input type="checkbox"/>	8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
<input type="checkbox"/>	17.02 Mandatory Land Use Permits- Residential Non-habitable	\$25.00
	Commercial/Industrial	\$150.00
<input type="checkbox"/>	17.04 Nancy Lake Special Land Use District CUP	\$1,500.00
<input type="checkbox"/>	17.06 Electrical Generating & Delivery Facility Application	\$500.00
<input type="checkbox"/>	17.08 Hay Flats Special Land Use District Exception Application	\$1000.00
<input type="checkbox"/>	17.17 Denali State Park Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.18 Chickaloon Special Land Use District CUP	\$1500.00
<input type="checkbox"/>	17.19 Glacier View Special Land Use District CUP	\$1500.00
<input type="checkbox"/>	17.23 Port MacKenzie Development Permit	\$1000.00
<input type="checkbox"/>	17.25 Talkeetna Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.25 Talkeetna Conditional Use Permit – Variance	\$1500.00
<input type="checkbox"/>	17.27 Sutton Special Land Use District CUP	\$1500.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit	\$100.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
<input type="checkbox"/>	17.30.040 Earth Materials Extraction Admin. Permit	\$1000.00
<input type="checkbox"/>	17.30.050 Earth Materials Extraction CUP	\$1500.00
	17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots Additional Lots or tracts being created – Per Lot	\$500.00 \$100.00
<input type="checkbox"/>	17.48 Mobile Home Park Permit Application	\$500.00
<input type="checkbox"/>	17.52 Residential Land Use District App (Rezone)	\$1,000.00
<input checked="" type="checkbox"/>	17.52 Conditional Use Permit Application CUP	\$1,500.00
<input type="checkbox"/>	17.55 Shoreline Setback Exception Application	\$300.00
<input type="checkbox"/>	17.60 Conditional Use Permit Application	\$1500.00
<input type="checkbox"/>	17.61 Commercial/Industrial Core Area Conditional Use Permit	\$1500.00

<input type="checkbox"/>	17.62 Coal Bed Methane	\$1500.00
<input type="checkbox"/>	17.63 Conditional Use Permit for Racetracks	\$1500.00
<input type="checkbox"/>	17.65 Variance	\$1500.00
<input type="checkbox"/>	17.67 Tall Structures -	
	Network Improvement Permit	\$100.00
	Nonconforming Use	\$200.00
	Administrative Permit	\$500.00
	Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1500.00
<input type="checkbox"/>	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
<input type="checkbox"/>	17.75 Single-Family Residential Land Use District CUP	\$500.00
<input type="checkbox"/>	17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
<input type="checkbox"/>	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$1000.00
<input type="checkbox"/>	17.90 Regulation of Adult Businesses – Conditional Use Permit	\$300.00
<input type="checkbox"/>	28.60 Timber Transport Permit	\$1500.00
		\$300.00

	RIGHT-OF-WAY FEES:	
<input type="checkbox"/>	Driveway	\$50.00
<input type="checkbox"/>	Driveway Deposit {100.226.100}	\$150.00
<input type="checkbox"/>	Construction	\$200.00
<input type="checkbox"/>	Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
<input type="checkbox"/>	Encroachment	\$150.00
<input type="checkbox"/>	Construction Bond {100.227.000}	

	PLATTING PRE-APPLICATION CONFERENCE:	
<input type="checkbox"/>	Pre-Application Fee	\$50.00

	FEES:	
<input type="checkbox"/>	Flood Plain Development Survey CD	\$10.00
<input type="checkbox"/>	CD/DVD/DVD-R	\$7.50
<input type="checkbox"/>	Construction Manual/Title 43	\$5.00
<input type="checkbox"/>	Plat Map/Tax Map Copies/Mylar	\$5.00
<input type="checkbox"/>	Color Maps	\$12.00
<input type="checkbox"/>	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
<input type="checkbox"/>	Advertising Fees	
<input type="checkbox"/>	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
<input type="checkbox"/>	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1500 Amount Paid Date: 11/14/22 Receipt # 9169 4149 By: Erin
Revised: 10/01/21 2 of 2

Matanuska Susitna Borough

Payment Date Thursday, July 14, 2022
Deposit Number 45838
Operator lach0415

Real 2022 (Total) \$0.00
MCR (Planning/Platting) \$1,500.00
Misc Rec
Tax Map # 2MISC

Total Paid \$1,500.00
Check \$1,500.00
Change \$0.00

Receipt Number MSB91694149
7/14/2022 1:56:21 PM
Paid By JDW LC / CK 4127
Cashier Id. LACH0415



MATANUSKA-SUSITNA BOROUGH

Real Property Detail for Account: 52209B02L001A

Site Information

Account Number	52209B02L001A	Subdivision	BRADLEY LK #2 RSB B/2 L/1
Parcel ID	18821	City	None
TRS	S17N01E24	Map WA16	Tax Map
Abbreviated Description (Not for Conveyance)	BRADLEY LK #2 RSB B/2 L/1 BLOCK 2 LOT 1A		

Site Address

10600 E Max Dr

Ownership

Owners	WELLS SCOTT R	Buyers	
Primary Owner's Address	4128 S GLENN HWY PALMER AK 99645-8295	Primary Buyer's Address	

Appraisal Information

Appraisal Information				Assessment			
Year	Land Appraised	Bldg. Appraised	Total Appraised	Year	Land Assessed	Bldg. Assessed	Total Assessed ¹
2024	\$37,500.00	\$517,500.00	\$555,000.00	2024	\$37,500.00	\$517,500.00	\$555,000.00
2023	\$37,500.00	\$468,500.00	\$506,000.00	2023	\$37,500.00	\$468,500.00	\$506,000.00
2022	\$37,500.00	\$346,300.00	\$383,800.00	2022	\$37,500.00	\$346,300.00	\$383,800.00

Building Information

Structure 0 of 3

Residential Units	0	Use	Other Agriculture Activit
Condition	Standard	Design	Commercial
Basement	None	Construction Type	Metal
Year Built		2021 Grade	None
Foundation	Slab on Grade	Building Appraisal	\$274800
Well		Septic	Septic - 1 - Septic Tank

Structure 1 of 3

Residential Units	1	Use	Residential Building
Condition	Standard	Design	One Story
Basement	None	Construction Type	Frame
Year Built		1975 Grade	04.3
Foundation	Poured Concrete	Building Appraisal	\$141600
Well	Well 1 - Drilled Well	Septic	Septic - 1 - Septic Tank

Structure 2 of 3

Residential Units	1	Use	Residential Building
Condition	Standard	Design	Two Story
Basement	None	Construction Type	Frame
Year Built		1978 Grade	04.1
Foundation	Slab on Grade	Building Appraisal	\$101100
Well		Septic	

Building Item Details

Building Number	Description	Area	Percent Complete
1	Wood Stove w/Fin-8Z		1 Sq. Ft. 100%
1	First Story		1064 Sq. Ft. 100%
1	Gas Heat		1 Sq. Ft. 100%
2	Garage (10.3) Area - 11M		576 Sq. Ft. 80 %
2	First Story		672 Sq. Ft. 100%
2	Gas Heat		1 Sq. Ft. 100%

Tax/Billing Information

Year	Certified	Zone	Mill	Tax Billed	Recorded Documents	Recording Info (offsite link to DNR)
2024	No	0003		::	2/22/1999 QUITCLAIM DEED (ALL TYPE)	Palmer Bk: 999 Pg: 627
2023	Yes	0003	11.006	\$5569.04	10/30/1992 WARRANTY DEED (ALL TYPES)	Palmer Bk: 697 Pg: 157
2022	Yes	0003	11.566	\$4439.03	1/9/1992 QUITCLAIM DEED (ALL TYPE)	Palmer Bk: 671 Pg: 740

Tax Account Status ²

Status	Tax Balance	Farm	Disabled Veteran	Senior	Total ³	LID Exists
Current		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00 No

Land and Miscellaneous

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
0.86	0.86	Assembly District 002	26-375	132 Greater Palmer Consol	016 South Colony RSA

¹ Total Assessed is net of exemptions and deferrals, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

² If account is in foreclosure, payment must be in certified funds.

³ If you reside within the city limits of Palmer or Houston, your exemption amount may be different.

Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division
350 East Dahlia Avenue
Palmer, Alaska 99645

Re: Owner Permission Letter for Use and Occupancy of Premises at 10600 E. Max Drive, Palmer, Alaska 99645 for Smoke Out Point, LLC DBA Smoke Out Point

Dear Planning Office,

I, Scott R. Wells, hereby grant permission for Smoke Out Point, LLC DBA Smoke Out Point to lease a portion of my property located at 10600 E. Max Drive, Palmer, Alaska 99645, build and operate a marijuana retail store. I am aware that Smoke Out Point will be operating a marijuana retail store and commercially selling marijuana on this property once the application is approved by the Alcohol & Marijuana Control Board.

I, Anthony Wells, as Manager/Member of Smoke Out Point, LLC, hereby authorize Jana Weltzin, Esq. and her firm JDW, LLC to take all necessary actions to apply for and obtain one (1) conditional use permit for the operation of a retail marijuana store of the property owned by Scott R. Wells and located at 10600 E. Max Drive, Palmer, Alaska 99645.

If you have any questions regarding this correspondence, please feel free to contact us at the contact information listed on the Conditional Use Permit Application.

Sincerely,



Scott R. Wells

Owner of property



Anthony Wells

Manager/Member of Smoke Out Point, LLC

From: [Rick Benedict](#)
To: [Brenda Butler](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#); [Randi Baker](#)
Subject: RE: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information
Date: Thursday, April 4, 2024 4:20:00 PM

Hi Brenda,

Thanks for the quick response. Yes, on both accounts. The compact ADA surface will be added as a COA, to be completed by 9/30/24. The hours you described are more reasonable and will also be added as a COA.

When available, get me the updated site plan, and I will add it to my package. I am moving forward with the CUP and adding it to the June 17th public hearing calendar.

Thank you,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Brenda Butler <brenda@jdw counsel.com>
Sent: Thursday, April 4, 2024 3:25 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Jana Weltzin <jana@jdw counsel.com>; Anthony Wells <smopshop907@gmail.com>; Randi Baker <randi@jdw counsel.com>
Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Looking forward to the hearing, it's been a long road for the licensee. Thank you for pointing out the missing legend, Anthony is going to contact the architect and get the legend added, we'll send it to you as soon as we get it. The ADA parking space will be a compact surface, either asphalt or concrete once the ground thaws, please add this as a condition of approval. Do you have an idea on a timeframe for the condition so Anthony can plan accordingly? As for the hours, would it be more acceptable for the retail store to open from 10am until 10pm Sunday through Thursday and 10am until Midnight Friday and Saturday? This way the retail store is considering the residents during the work week and allowing for additional hours on weekends?

Thank you

On Thu, Apr 4, 2024 at 1:21 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hello Brenda,

I think we have enough complete to get this scheduled for the June 17th PC public hearing. There are a couple of issues on the updated site plan that I'd like to touch on. First, there needs to be a legend on the site plan to denote the features of the subject property.

Second, ADA parking must be a compact surface, gravel is not acceptable. Does your client intend to asphalt or pour concrete for the ADA spaces? This will have to be added as a condition of approval on the permit if not already completed.

Third, the PC may take issue with the proposed operational hours of 8am to midnight, seven days a week. The application seemed to suggest that the hours were not set yet. Because residential uses are nearby, is your client open to considering shorter operational hours?

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Brenda Butler <brenda@jdwcounsel.com>

Sent: Friday, March 29, 2024 1:08 PM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Cc: Jana Weltzin <jana@jdwcounsel.com>; Anthony Wells <smopshop907@gmail.com>; Randi Baker <randi@jdwcounsel.com>

Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Attached is the updated Site Plan and As-Built Survey that should address the items on the latest RFAI.

Please let us know if we can deem the CUP complete and get this application in front of the planning commission.

Thank you and Happy Friday!

On Fri, Jan 26, 2024 at 10:22 AM Brenda Butler <brenda@jdwcounsel.com> wrote:

Thank you Rick, we'll get on it.

Happy Friday!

On Fri, Jan 26, 2024 at 10:19 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good Morning Brenda,

I have reviewed the updated application materials submitted on January 9, 2024. Upon review, it has been determined that additional information is required. If you or your client have any questions, please let me know.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

--

**** Please REPLY ALL when responding to this Email****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
Phone: 907-231-3750
Fax: 360-483-3750
brenda@jdwcounsel.com
info@jdwcounsel.com

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Think green, please don't print unnecessarily

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From: [Brenda Butler](#)
To: [Rick Benedict](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#); [Randi Baker](#)
Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information
Date: Tuesday, January 9, 2024 3:55:53 PM
Attachments: [Smoke Out Point, LLC - Change to Fire Marshal plan review .pdf](#)
[CUP Retail Narrative - Updated BB.pdf](#)
[21126.00 Smoke Out Point - Palmer 7-14-2023 Arch+Struct.pdf](#)
[29874 MJ-14 approved 1.5.24.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Thank you for your patience with this particular application. Please see attached email from the Fire Marshal that a new plan is not needed for the building modification, the approved MJ-14 from AMCO, the updated plan set containing the modified floor plans and revised site plan, and the updated narrative that addresses RFAI 1.b, 2.a, 4 and 5.

Please let us know if you have everything you need to deem this application complete and schedule Smoke Out Point for a Planning Commission meeting.

Have a wonderful day!

On Tue, Oct 24, 2023 at 3:23 PM Brenda Butler <brenda@jdwcounsel.com> wrote:

Hi Rick, we were unaware that anything was submitted, we have been working behind the scenes to address your second RFAI and are getting close to obtaining all the information you required.

Thank you for the communication and we look forward to getting this submitted in the near future.

On Tue, Oct 24, 2023 at 2:59 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good Afternoon Brenda,

I have reviewed an updated site plan that was submitted to the MSB Development Services Division on October 11, 2023. Upon review, it has been determined that additional information is required. In addition, information requested in a previous letter emailed on May 30, 2023, was not supplied and is required. Please find attached a letter detailing the needed information.

If you or your client have any questions, please let me know. I'll be happy to set up a time to discuss this request.

Respectfully,

Rick Benedict – Planner II
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

--

***** Please REPLY ALL when responding to this Email*****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
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**RETAIL MARIJUANA FACILITY CONDITIONAL
USE PERMIT NARRATIVE**

Smoke Out Point, LLC, DBA Smoke Out Point

A locally owned and operated business

Submitted: _____, 2022

Prepared by:



JDW, LLC
Jana D. Weltzin, Esq.
901 Photo Avenue
Anchorage, AK 99503
jana@jdwcounsel.com
630-913-1113
907-231-3750

On behalf of:
Smoke Out Point, LLC

Introduction:

We are pleased to introduce Anthony Wells, Manager/Member, and 100% owner of Smoke Out Point, LLC DBA Smoke Out Point, located in the beautiful Matanuska-Susitna Borough. Anthony Wells was born in Olympia Washington to Scott and Tammy Wells. When Anthony and his two brothers were children, they moved to Alaska and made it their home. Anthony attended School in Anchorage and Palmer and has lived in Palmer, in the same home since the age of 6. Anthony works with his father doing handyman work in the Matanuska-Susitna Borough and in the Municipality of Anchorage. Anthony has been married to Nikita Wells since 2013 and together the couple has a three-year-old son, who they look forward to raising in the Palmer area. Anthony's hobbies include hunting, fishing, exploring Alaska, and showing his son all the exciting things Alaska has to offer.

Required attachments for a marijuana retail facility conditional use permit narrative:

Is the conditional use compatible with and will it preserve or not materially detract from the value, character, and integrity of the surrounding area?

✓ The proposed use is compatible with adjacent properties and fits succinctly into the area as there is a mix of uses in the area – the area consists of primarily larger lots that house commercial uses and some residential uses. The property faces the Glenn Highway and is situated for commercial use. The entire retail licensed area, including the office space, will be housed in a 40' x 60' building totaling 2,400 sq. feet. The proposed use fits into the harmony of the surrounding uses both in size and design. The facility is located on a 0.86-acre parcel located in the Bradley Lk #2 RSB B/2 Subdivision of the Matanuska-Susitna Borough. The surrounding area of the property is bordered by a mixture of vacant lands, light commercial use, and residential homes. Therefore, the proposed use will not detract from the character, value, and integrity of the surrounding area, however, the applicant is aware of the residential uses nearby, and will take extra care to be responsive to neighbors if any concerns arise regarding the commercial nature of this proposed use. The facility will not produce any undue noise pollution and has an odor control method in place. It is not expected that the retail facility will generate smell, but regardless the retail will have odor controls. Exterior lights will be installed downward facing to ensure mitigation of light pollution. This retail facility will be operated by a knowledgeable licensee who has done extensive research, has many friends in the industry that have provided invaluable advice, and who lives in the Valley, and will ensure that this use does not detract from the value, character, and integrity of the surrounding area. The neighboring uses that face the Glenn Highway include Matanuska Farm Market, Myron Rosenberg Photography Gallery, and Bill's Country Antiques, commercial uses and both immediate neighbors; and directly across the Glenn Highway is an industrial gravel pit.

✓ The applicant will ensure that the proposed use will not emit odor, will not produce excess dust, will have limited noise, and will have sufficient parking and loading in order to cut down on traffic generation in front of the premises and on the street thus fitting in with adjacent property uses. During meetings with the Gateway Community Council, a few community members stated

that there are folks that drive too fast in the area already and asked for Anthony and his team to provide assurances that the retail shop will not increase folks speeding in the area. Anthony committed to exterior signage in the parking area and driveway area that remind patrons to be cautious when exiting and to drive slow in the area. As detailed in the attached site plan, there will be ample parking available with room for turning and maneuvering and will have appropriate accessibility spaces under the Americans with Disabilities Act.

✓ The facility will be equipped with a 24-hour monitoring alarm system, exterior lighting, and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (except for the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. Customers must have their identification checked immediately upon entering the marijuana store. All customers will be observed for signs of impairment to ensure that Smoke Out Point does not sell marijuana and marijuana products to a person that is already intoxicated.

✓ In the event a non-employee/agent of the company needs to go into a restricted access area, the company visitor policy will be adhered to. A visitor will need to show their valid photo identification, and obtain a visitor badge, to be worn and clearly always displayed while visiting the restricted access areas. All visitors must be pre-approved by the Licensee or management (with the exception of AMCO agents, and law enforcement) - there should be no un-scheduled and unexpected visitors. To maintain the security of the facility and all marijuana products, access to the facility will always be monitored and restricted. Access will only be granted to employees and licensees, AMCO agents, law enforcement, and the limited exception of scheduled pre-approved visitors. Additionally, Smoke Out Point's exterior signage will indicate that any members of the public are not allowed unescorted access and will be clearly displayed on the door. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt access.

Will the granting of the conditional use permit be harmful to public health, safety, convenience, and welfare?

✓ No. Smoke Out Point's retail establishment has a security system and plan, diversion control policies, and loitering check plan for the retail facility.

✓ The facility is a commercial retail facility and will only allow access to those who are at least 21 years of age or older. No persons will be allowed access to any marijuana or marijuana products at any time, unless under direct supervision of a Smoke Out Point licensee or employee, as all marijuana and marijuana product must be stored in the restricted access area as per AMCO regulations. There is no onsite consumption allowed at this retail establishment – and no customers will be allowed to consume in their vehicles in the parking lot. A Smoke Out Point employee shall be doing regular parking lot and perimeter checks throughout the day, every hour or so, to ensure

no persons are loitering and to ensure no customers are consuming products on the property and/or in their vehicles.

✓ All marijuana and marijuana products will be displayed in locked display cabinets for customers to view. The area behind the cabinets will be a restricted access area and signage will be displayed accordingly. Employees will open the cabinet from within the restricted access area and place the product into exit packaging at the cash register before handing it to the customer. Once a customer's transaction is complete, they will be instructed by an employee to exit the store as shown in the premises diagram.

✓ In order to ensure Smoke Out Point will only allow access to persons over the age of 21, the retail establishment will check the ID of every person attempting to enter the retail store. Anyone under the age of 21 or who does not produce a valid form of photo ID issued by a federal or state agency authorized to issue ID cards will be asked to leave the premises. Any employee checking ID's will have a valid marijuana handler permit and be trained to recognize altered/forged photo ID's.

Additional protections to ensure the prevention of any negative impact on the public health, safety, convenience, and welfare:

✓ The facility will be equipped with a 24-hour monitoring alarm system, bright prominent exterior lighting, and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (with the exception of the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. All visitors must be preapproved by the licensee or a manager (with the exception of AMCO agents, and law enforcement). To maintain the security of the facility and all marijuana products, access to the facility will always be monitored and restricted. Access will only be granted to employees and licensees, AMCO agents, law enforcement and the limited exception of scheduled pre-approved visitors and those customers over the age of 21. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt unauthorized access.

✓ On-site video surveillance will continuously monitor all areas of the premises where marijuana is present, including areas where marijuana packaged, sold, and stored. Employees will perform mandatory inventory counts each week, check counts against METRC records, and document the reports as official business records. Smoke Out Point will not tolerate any theft and diversion, and all employees will complete mandatory training in recognizing such activity. Smoke Out Point's licensee and management understand that diversion can happen in two ways - inversion and diversion - and is equally profitable diverting product out of the legal system as it is diverting product from the illegal system into the legal market. In the event that an employee is caught stealing marijuana, OR infusing the facility with non-regulated black-market product, Smoke Out Point will notify local law enforcement immediately, comply with all directives, and provide all necessary information and records for the investigation. The Licensee will take the

necessary steps to ensure that illegal conduct by an employee does not compromise the facility's license and legitimate business operations. Once a theft is reported, the Licensee or a manager will update the product records in the tracking system, as needed, to maintain an accurate and comprehensive accounting for all marijuana products and inventory. The Licensee and manager will comply with all inquiries and investigations lodged by AMCO as a result. Documentation related to marijuana theft will be maintained as a business record for five (5) years and made available to AMCO upon request. Video recordings will be stored for forty (40) days. Cameras will provide a full view of the entryway, retail sales area, point of sale system and cash registers, safes, money counting areas, and marijuana/marijuana product storage areas. Security monitors and video recording equipment will be located onsite.

✓ Qualified candidates will be hired on a probationary period during which time they will receive training and evaluation specific to their position. Training will include marijuana industry trends; customer care; food handling; safety precautions and procedures; legal issues; and state and federal regulations. Training will be refreshed as needed, as well as when new regulations or products are introduced. Employees will be required to demonstrate their knowledge of these concepts before their training will be considered complete. Informative packets will be provided to employees and supplemented/updated as needed. These packets will cover; Marijuana cannabinoids; strain ratios; marijuana benefits and risks; local community concerns to address, general Alaska marijuana law; employment regulations; store policies; security and safety procedures; measures for the prevention of diversion, inversion and theft; recognizing forged, altered, or invalid identification, as well as signs of intoxication; in-depth information about job duties and responsibilities; response procedures for robberies, earthquakes, and other emergencies; statutes regarding confidentiality. Employees will receive semi-annual performance evaluations to ensure that they have retained their training information, and the store remains compliant. As proper safety and security procedures are of the utmost importance to Anthony, the most up-to-date reading materials will always be available to employees. Prior to beginning work, employees will be expected to understand: (1) Alaska laws, regulations, and codes governing the marijuana industry and marijuana establishments; (2) all of the permitting requirements to act as a marijuana handler (including obtaining a Marijuana Handler card from a state approved course provider prior to commencing employment) and to work in a marijuana establishment; (3) Smoke Out Point standards, operational protocol, and best practices with regard to retail and sale of marijuana; (4) general safety procedures and security protocol; (5) how to think defensively if threatening situations occur, and how to recognize the signs of impairment, drug abuse, and instability; (6) in-depth information about our particular strains and marijuana related products; (7) in-depth information on the requirements of each room, task, and system; (8) the general federal, state, and local employment regulations by which Smoke Out Point, is governed; and (9) retail-specific education. To ensure full coverage for each position, all employees will be cross trained on the requirements of each job.

✓ Smoke Out Point will have a "No Loitering" sign clearly posted on the exterior of their facility. If an employee suspects that a person is loitering outside the licensed premises, they will

be given a verbal warning that law enforcement will be notified and asked to leave the premises. Trained employees will maintain regular periodic checks around the property to deter any unauthorized entrance or loitering around the facility. Bright lighting (downward facing to avoid causing light pollution) on the exterior of the facility will assist in deterring loitering, vandalism, and unauthorized access to the premises. Bright, prominent lighting will be installed all around the exterior of the building to facilitate high-quality video surveillance. Lighting will be frequently checked by an employee to ensure that all fixtures are fully operational. An employee will also check surveillance footage to ensure that lighting is adequate to prevent dark spots and capture the best facial image of every person who approaches the facility. If there are any issues with the quality of the surveillance capture, the lighting will be calibrated and/or additional lighting will be installed. All outdoor lighting and light poles will be shielded to protect against inclement weather and vandalism. The shielding will also prevent light pollution on the surrounding properties by directing light downwards.

✓ The facility's architectural design incorporates downward lighting that will project light onto the building and downward. The alarm system will monitor for intrusions with motion detectors on the facility windows, entrance and exits, including emergency exits on the west side of the licensed facility, restricted access area which includes secured storage, the upstairs offices and storage areas during closed hours. Live security footage will also be accessible to Anthony and a manager via their cellular phones, so they may keep an eye on the facility even when they are away. Any unauthorized or attempted intrusion will prompt an automatic, electronic alert to the security company who will then contact local law enforcement and ownership. All alarm systems and devices will be tested every six (6) months.

Are there sufficient setbacks, lot area, buffers, and other safeguards being provided?

✓ As described above, Smoke Out Point is located within a 0.86-acre parcel. This application and the layout of Smoke Out Point meet the required setbacks, buffers, and lot area. The entire retail operation is enclosed in a commercial-grade building. One small existing building on the parcel has been demolished and the larger buildings demolition is in progress. Smoke Out Point had to remove a small portion of the Southeast corner of the building to meet setback requirements. The removal of the corner was completed on October 26th, 2023.

✓ There will be plenty of onsite parking developed on the site for this use.

✓ The facility has incorporated measures to reduce the negative effects it may have on the surrounding properties including but not limited to natural landscaping screening, and an inconspicuous Tan/Beige, modern-commercial architectural design to enhance the appearance of the facility on E. Max Drive. Smoke Out Point has cleared the section where the new retail store will be located and has incorporated landscaped grassy areas in the front and side areas of the new retail store.

✓ The facility will not produce any noise pollution and has an odor control method in place.

A robust security plan and no loitering policy will be implemented and thoroughly communicated to all employees. Additional safeguards include the following:

✓ The lighting fixtures will be positioned at an inaccessible height with sturdy housings to deter vandalism and common obstructions. The bulbs will be extremely bright to maximize visibility and deter crime. The exterior lighting will be checked daily by the licensee, manager on duty, or a designated employee to ensure that each light in the system is operational and that each mount is positioned for optimum recording clarity and to deter unauthorized presence on the premises. The building's architectural design incorporates downward lighting into the canopies that will project light onto the building in a downward direction to prevent light from encroaching on neighboring properties or right of ways.

✓ A third-party security company will install the alarm system and monitor the electronic notifications in the event the alarm is triggered 24/7. The installation company will periodically come and check and maintain the equipment.

Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use of this section?

✓ Yes.

Describe measures being taken to prevent potential negative effects upon other properties in the area due to such factors as noise and odor.

✓ The proposed use will have limited noise compared to adjacent properties. Smoke Out Point does not anticipate any noise to come from the retail facility, and if any noise is to be produced it will be comparable to surrounding land uses. The roads that serve the facility and surrounding uses do not appear to be used currently to their maximum capacity, therefore, any increase in traffic flow on the roads serving the area will be sufficient to serve the area with this new proposed retail use.

✓ Anthony will abide by a strict no odor policy per MSB 17.60.150(A)(1) that will ensure no odor is detectible by the public from outside the facilities. This use is a retail establishment and should not have any issues with odor seeping out from the retail to the outside air. However, in an abundance of caution, odor control methods will be utilized and will consist of a number of methods meant to eliminate odors by utilizing methods including sealed containers and air sanitizers throughout the building and when transporting marijuana to/from the premises. All marijuana at the retail facility will be either pre-packaged in smell-proof packaging for sale, or in deli-style enclosed jars that are only opened to take the product out for sale to a customer and are repackaged prior to exiting the facility, or in enclosed jars in small amounts for customers to smell.

Describe how use is compatible with the character of the surrounding area.

✓ The facility is compatible with the character of the surrounding area as it borders on a sufficient parcel of land, parcels that have yet to be developed, other existing businesses, off of E. Max Drive, and residential homes in the heavily wooded area nearby. There are also some vacant

land parcels in the vicinity that have yet to be developed. The character of the surrounding parcels and uses are a good fit for a retail facility.

Current status of State License Application Process.

✓ The Application was submitted to AMCO on August 12, 2021. It was approved with delegation by the Marijuana Control Board at the April 2022 control board meeting in Anchorage.

Misc. Items and Information.

Please see attached parking layout diagram, which complies with MSB 17.60.170(B)&(C).

Proposed hours of operation for the retail store shall be 8 am to 12 am Monday-Sunday, however, that is the max hours of operation that the store will be open, and the store will likely have reduced hours on certain days, depending on customer demand.

The number of employees on-site for the retail will be between 2-3, depending on the customer flow and shifts.

Smoke Out Point has been reviewed and approved by the State Fire Marshal – see the certificate of approval and updated communication regarding the removal of the Southeast corner of the proposed retail marijuana store.

AMCO has approved the removal of the Southeast corner of the proposed retail marijuana store - see attached MJ-14.

The logo for the store is understated and simple shows an Alaskan mountain range with the big dipper over the peaks of the mountains and the name of the store “Smoke Out Point” under the imagery. Smoke Out Point will have one free-standing Metal, aluminum and fiberglass 5'2"W x 7'7"L sign as indicated on the Site Plan and may, in the future have up to two signs on the exterior of the facility. The sign will be back-lit during operating hours and off during closed hours.



Thank you for your dedication to the Community and for your thoughtful consideration of this conditional land use application.



Jana D. Weltzin
Licensed in Alaska & Arizona
901 Photo Ave, Second Floor
Anchorage, Alaska 99503
Phone 907-231-3750
JDW, LLC
jana@jdwcounsel.com

March 16, 2023

Matanuska Susitna Borough
Planning Department
Sent Via Email

Re: Response to request for Additional information – Smoke Out Point, LLC.

Peggy Horton, MSB Planner II:

Thank you for your correspondence dated June 21, 2022, we appreciate your patience. Please find the following attachments and/or statements to address your request for additional information:

1. The owner does not know of any previous commercial use of the property.
2. A temporary commercial driveway permit has been obtained; a copy of the conditional letter has been submitted, However, regarding the conditional approval letter, we have communications from MEA that clearly indicates that the power pole is on MSB property and Anthony Wells does not have the authority to arrange the move of said power pole, that request would have to come directly from the Borough (see attached JDW Email and C29230 Max Drive email communication from MSB).
3. E. Max Drive is a public road that is not maintained by the borough. Anthony and his father have received permission from the MSB to maintain the road to the standard that the road is. Anthony fills potholes, performs snow removal during the winter months and intends to continue to do so. Upgrades to the road will be limited to; culvert installation during driveway upgrade which is outlined in the driveway permit application.
4. The site plan has been updated and submitted.
5. Floor plan has been submitted.
6. Page 3, last paragraph, second sentence has been updated to clarify the sentence “No persons will be allowed access to any marijuana or marijuana products at any time.” as per AMCO regulations, marijuana and marijuana products must be in a restricted access area and NOT accessible to the public without being under direct supervision of a Smoke Out Point licensee/employee to ensure that there is no diversion of marijuana or marijuana product from the retail store.
7. Page 5, first paragraph has been updated, this was an error and there is no growing of marijuana on the premises.
8. Page 6, second paragraph alarm system verbiage has been updated for clarity.



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jana@jdwcounsel.com

9. Page 6, fifth paragraph has been updated to further describe landscaping, design, and measures the applicant is taking to reduce negative effects upon adjacent property etc.
10. Same paragraph has been updated for clarity regarding E. Max Drive not having negative effects that impacts this property.
11. Light poles will not be part of this project. Reference to light poles has been removed from the narrative.
12. Page 7, under “Describe how use is compatible...” misidentified the main highway and has been corrected.
13. Page 8, fourth paragraph. A copy of the Logo has been submitted, sign dimensions and location on exterior of the building has been added to the narrative, the stand-alone signpost has been added to the site plan, lighting is not planned for any of the signs.
14. Smoke Out Point does not plan for outdoor business functions outside of the retail store other than loitering checks, trash checks and odor checks.

Thank you for your consideration,

Jana D. Weltzin, Esq



Brenda Butler <brenda@jdwcounsel.com>

Smoke Out Point, LLC - Change to plan review question

Squires, Carie A (DPS) <carie.squires@alaska.gov>
To: Brenda Butler <brenda@jdwcounsel.com>

Mon, Jan 8, 2024 at 10:09 AM

Good Morning Brenda,

Thank you for providing the updated building layout for the Smoke Out Point building. In review of the updated plans a new plan review from our office is not required.

Carie Squires

Plan Review Bureau

Division of Fire & Life Safety

Carie.Squires@alaska.gov

907-269-2004

[Home - PRB - Fire - Alaska Department of Public Safety](#)

<https://dps.alaska.gov/Fire/PRB/Home>

From: Brenda Butler <brenda@jdwcounsel.com>
Sent: Friday, January 5, 2024 10:30 AM
To: Squires, Carie A (DPS) <carie.squires@alaska.gov>
Subject: Smoke Out Point, LLC - Change to plan review question

You don't often get email from brenda@jdwcounsel.com. [Learn why this is important](#)

CAUTION: This email originated from outside the State of Alaska mail system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]

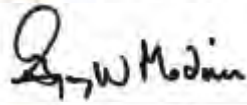
State of Alaska
Office of the State Fire Marshal
Plan Review

This is to certify that the plans for this building were reviewed by the *State Fire Marshal* on October 05, 2021 for conformance with AS 18.70.010 -- 100; 13 AAC 50.027.

This certificate shall be posted in a conspicuous place on the premises named Smoke Out Point (10600 E. Max Dr.) and shall remain posted until construction is completed.

NOTICE: Any changes or modifications to the approved plans **must** be resubmitted for review by the *State Fire Marshal*.

Plan Review #: 2021Anch1557

By: 

Authority: AS 18.70.080
Form: 12-741
(6/01)

Full Plan Review

Greg Medina
Plans Examiner



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

**Department of Commerce, Community,
and Economic Development**

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West Seventh Avenue, Suite 1600
Anchorage, AK 99501
Main: 907.269.0350

April 21, 2022

Smoke Out Point, LLC
DBA: Smoke Out Point
Via: smopshop907@gmail.com

Re: Smoke Out Point #29874

Dear Smoke Out Point, LLC:

At the April 13-14, 2022 meeting of the Marijuana Control Board in Anchorage, Alaska, the board voted to approve your new Retail Marijuana Store application with delegation to the director. Delegation means that the board has authorized me to issue the license once all outstanding approvals are received.

Attached are post-approval instructions and the pre-inspection checklist, which provide information on your next steps. Please note that the pre-inspection checklist is informational. You will be provided with an individualized checklist at the appropriate time.

Please contact marijuana.licensing@alaska.gov with any questions.

Sincerely,

A handwritten signature in blue ink that reads "Carrie Craig".

Carrie Craig
Records and Licensing Supervisor

cc: License File
Matanuska-Susitna Borough

Department of Commerce, Community, and Economic Development
ALCOHOL & MARIJUANA CONTROL OFFICE

[State of Alaska](#) / [Commerce](#) / [Marijuana](#) / [License Search](#) / License #29874

L I E N S E N U M B E R 2 9 8 7 4

[Return to Search Results](#)

License Number: 29874

License Status: Delegated

License Type: Retail Marijuana Store

Doing Business As: Smoke Out Point

Business License Number: 2131856

Issue Date:

Effective Date:

Expiration Date:

Email Address: smopshop907@gmail.com

Physical Address: 10600 E. Max Drive
Palmer, AK 99645
UNITED STATES

Licensees: Smoke Out Point, LLC [10163459](#)

Entity Officials: Anthony Wells

Onsite Consumption Endorsement

Status:

Approval Date:

Issue Date:

Effective Date:

POST-APPROVAL INSTRUCTIONS FOR MARIJUANA RETAIL STORES

The following steps are to be taken after your application for a marijuana retail store license has been approved by the board. You may not operate your business until the following requirements have been met.

1. When all other approvals (Local Government, Fire Marshal, DEC, etc.) have been met, you will be contacted by this office to notify you that your license status has been changed to "active-pending inspection" in our database. This doesn't mean you can open your doors or start operating your business. The status change is a necessary step so that you may be credentialed into METRC.
2. You, the licensee, must have your marijuana handler permit. All licensees, affiliates, agents, and employees (see 3 AAC 306.700(a)) must have their handler permit at the time of inspection.
3. You, the licensee, must take a METRC training class and pass the test.
<https://www.metro.com/alaska>
4. Once you have passed the METRC test, place a request to the METRC Support Team to be credentialed into METRC.
5. Set up your facility in METRC and order labels. The labels should take 4-5 days to arrive.
6. When you have access to METRC, contact AMCO investigators at AMCO.enforcement@alaska.gov to schedule your initial "empty shelf" inspection. Don't schedule an initial inspection unless you are within two weeks from being 100% ready to operate your business. Review the pre-inspection checklist and be sure that you will have completed all items by the time of your inspection. Do not bring any marijuana into the facility before your initial inspection. AMCO staff will place your account in METRC on an administrative hold until the inspection. Depending on your location, it may be two weeks before an inspection can be performed due to state travel restrictions.
7. On the day of your inspection, the investigator will bring your license. If your facility matches what you've submitted to the board and all requirements are in place, you will receive your license, the administrative hold will be removed from METRC, and an "effective date" will be added in our database.
8. After the hold in METRC is removed, you may begin ordering and transporting marijuana and marijuana products from licensed cultivation and product manufacturing facilities. AMCO investigators will visit again to take a look at your store with marijuana and marijuana products in place.
9. Congratulations, you are now operating a marijuana retail store license in the State of Alaska!

Why is this form needed?

This pre-inspection checklist form is for your reference to ensure that your marijuana facility is in compliance with all of the following security and basic operating requirements prior to your inspection. **Please complete all checklist items before requesting your inspection.** If you have any questions regarding this checklist, please contact AMCO enforcement at amco.enforcement@alaska.gov.

Compliance with these checklist items and all statutes and regulations is mandatory before your license will be issued.

Doing Business As:		Date:	
License Type:		City:	
Licensee:		License Number:	

Section 1 – All Marijuana Establishments

	COMPLETED
Surveillance System: A video surveillance and camera recording system shall be installed, maintained, and operating with a camera resolution that allows for clear and certain identification of any person and activity in the area at all times.	
a.) Required video cameras must be placed in a way that produces a clear view adequate to identify any individual inside the licensed premises or within 20 feet of each entrance to the licensed premises. Both the interior and exterior to the facility must be recorded.	
b.) The video system must cover each restricted access area (to include each entrance to a restricted area). Any area where marijuana is grown, cured, manufactured, or where marijuana waste is destroyed must have a camera placement in the room facing the entry door, and in adequate fixed positions, at a height that will provide a clear, unobstructed view of the regular activity without a sight blockage from lighting hoods, fixtures, or other equipment, in order to allow for clear and certain ID of any person or activity at all times.	
c.) Surveillance recording equipment and video surveillance records must be housed in a locked and secure area or in a lock box, cabinet, closet or other secure area that is accessible only to the licensee or authorized employee, and to law enforcement personnel including a peace officer or agent of the board. A marijuana establishment may use an offsite monitoring service and offsite storage of video surveillance records if security requirements at the offsite facility are at least as strict as the onsite security requirements.	
d.) Recordings must be preserved for a minimum of 40 days, in a format that can be easily accessed for viewing. All recorded images must accurately display the date and time, and must be archived in a format that does not permit the alteration of the recorded image, so that the images can be readily authenticated. After 40 days, a marijuana establishment may erase video recordings, unless the licensee knows or should know of any pending criminal, civil, or administrative investigation for which the video recording may contain relevant information.	

	COMPLETED
Alarm System: A security alarm system is required on all exterior doors and windows. Motion detectors in every room with non-opening windows are required.	
Locks: Commercial grade, non-residential door locks on all exterior entry points to the licensed premises.	
Lighting: Exterior lighting must facilitate surveillance.	
Marijuana Handler Permit: All licensees and employees must have a valid permit.	
Facility Identification Cards: Each licensee, employee, or agent shall display an identification badge issued by the establishment at all times when on the licensed premises. Marijuana handler cards DO NOT satisfy this requirement.	
Restricted Access Areas: A marijuana establishment shall restrict access to any part of the licensed premises where marijuana or marijuana product is grown, processed, tested, stored, or stocked.	
<p>a.) Each entrance to a restricted access area must be marked by a sign that says “Restricted access area. Visitors must be escorted.” The sign must use this exact phrase, no variations will be accepted.</p>	
<p>b.) Ensure that any marijuana at the licensed premises cannot be observed by the public from outside. The premises must not emit an odor that is detectable by the public from outside the premises, except as allowed by a local government conditional use permit process.</p>	
Certified Scales: A marijuana establishment shall use certified scales in compliance with AS 45.75.080, the Alaska Weights and Measures Act. A marijuana establishment shall maintain registration and inspection reports of certified scales; and upon request by the board or the director, provide a copy of the registration and inspection reports of the certified scales to the board or the director for review.	

Section 2 – Credentialed into Inventory Tracking System

	COMPLETED
A marijuana establishment shall use a marijuana inventory tracking system capable of sharing information with the system the board implements to ensure all marijuana cultivated and sold in the state, and each marijuana product processed and sold in the state, is identified and tracked from the time the marijuana is a seed or cutting to a completed sale of marijuana or a marijuana product, or disposal of the harvest batch of marijuana or production lot of marijuana product.	

Section 3 – Cultivation Facilities Only

	COMPLETED
A marijuana cultivation facility shall conduct any marijuana growing operation within a fully enclosed secure indoor facility or greenhouse with rigid walls, a roof, and doors. Where not prohibited by local government, outdoor production may take place in non-rigid greenhouses, other structures, or an expanse of open or cleared ground fully enclosed by a physical barrier. To obscure public view of the premises, outdoor production must be enclosed by a sight obscuring wall or fence at least six feet high.	
Plants/Seeds: At the time of your initial inspection you must be in compliance with the following guidelines.	
<p>a.) Plants over 8 inches- Tracked by plant tag</p> <ul style="list-style-type: none"> • 12 mother plants (non-flowering plants of any size) tagged • Any number of immature plants no taller than 18 inches • All tagged correctly and in-line with training from METRC. Tags attached on first fastener around the “trunk” and above first branch after plant is able to support the tag. 	

<p>b.) Plants under 8 inches- Tracked by batch</p> <ul style="list-style-type: none"> • Strain-specific batches with up to 50 plants • Unlimited number of batches • Batches should be in rows and columns for ease of verifying numbers 	
<p>c.) Seeds – Tracked by package tag</p> <ul style="list-style-type: none"> • Strain-specific packages by count or by weight • Unlimited number of packages 	

Section 4 – Signature & Acknowledgement

Licensee must initial and sign:

Initials

I understand that if I do not pass my preliminary inspection, a \$500 fee for a second or subsequent inspection may be assessed under 3 AAC 306.100(h). The fee applies to an inspection requested after a marijuana establishment fails a preliminary inspection and is not issued a license. The director may waive the fee upon submission of a written request. The \$500 fee is required before the 2nd Inspection is scheduled.

I understand the information on the pre-inspection checklist and have received information on the above subjects, and I am aware I must become familiar with and abide by the laws covering the licensing and operation of my business as prescribed in AS 17.38 and 3 AAC 306. I understand I am responsible to operate my business in compliance with all Alaska laws and regulations.

I hereby certify that I am the person herein named and subscribing to this application and that I have read the complete application, and I know the full content thereof. I declare that all of the information contained herein, and evidence or other documents submitted are true and correct. I understand that any falsification or misrepresentation of any item or response in this application, or any attachment, or documents to support this application, is sufficient grounds for denying or revoking a license/permit. I further understand that it is a Class A misdemeanor under Alaska Statute 11.56.210 to falsify an application and commit the crime of unsworn falsification.

Signature of licensee

Date

Printed name of licensee



Alaska Marijuana Control Board

Form MJ-14: Licensed Premises Diagram Change

Why is this form needed?

This licensed premises diagram change form is required for all marijuana establishment licensees seeking to alter the functional floor plan or reduce or expand the area of the establishment's existing licensed premises.

The required \$250 change fee may be made by check, cashier's check, or money order.

This form must be completed and submitted to AMCO's Anchorage office prior to altering the existing floor plan, and along with an initiated application for an Onsite Consumption Endorsement if applicable. The licensed premises may not be altered unless and until the application has been approved by the board.

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Smoke Out Point, LLC	MJ License #:	29874		
License Type:	Retail Marijuana Store				
Doing Business As:	Smoke Out Point				
Premises Address:	10600 E Max Drive				
City:	Palmer	State:	Alaska	ZIP:	99645

Section 2 – Required Information

For your security, do not include locations of security cameras, motion detectors, panic buttons, and other security devices.

The following details must be included:

- License number and DBA
- Legend or key
- Color coding
- Dimensions
- Labels
- True north arrow
- Surveillance room
- Licensed premises boundary
- Restricted access areas
- Storage areas
- Entrances, exits, and windows
- Walls, partitions, and counters
- Any other areas that must be labeled for specific license types
- Serving area**
- Employee monitoring area**
- Ventilation exhaust points, if applicable**

Items marked with a double asterisks (**) are only required for those retail marijuana establishments that are submitting the MJ-14 form in conjunction with an onsite consumption endorsement application.



Form MJ-14: Licensed Premises Diagram Change

Section 3 – Summary of Changes

Provide a summary of the changes for which you are requesting approval. For Cultivation licenses: describe the size of the space(s) the marijuana cultivation facility intends to be under cultivation, including dimensions and overall square footage. Provide your calculations below:

Smoke Out Point would like to make the following changes:

- Update premises licensed premises to account for the removal of a 3' section of the building to meet MSB set back requirements
- Move the access points of the retail sales counter restricted access area
- Move 6 month business record storage and video surveillance and recording equipment storage from Office #2 to Office #1
- Remove the utility closet and the janitor closet from the restricted access area
- Restrict the employee breakroom
- Restrict the second floor

Section 4 – Declarations

Read each statement below, and then sign your initials in the corresponding box to the right [if applicable]:

Initials

If a local building permit is required, I have attached a copy of it to this form.

ADW

The proposed changes conform to all applicable public health, fire, and safety laws.

ADW

I have included a title, lease or other documentation showing sole right of possession to the additional area(s) if the additional area(s) are not already part of my approved licensed premises.

ADW

I hereby certify that I am the person herein named and subscribing to this application and that I have read the complete application, and I know the full content thereof. I declare that all of the information contained herein, and evidence or other documents submitted are true and correct. I understand that any falsification or misrepresentation of any item or response in this application, or any attachment, or documents to support this application, is sufficient grounds for denying or revoking a license/permit. I further understand that it is a Class A misdemeanor under Alaska Statute 11.56.210 to falsify an application and commit the crime of unsworn falsification.

ADW

Anthony Wells

Printed Name of licensee

DocuSigned by:
Anthony Wells
4037CF44C27446D...

Signature of licensee



Alaska Marijuana Control Board

Form MJ-14: Licensed Premises Diagram Change

Section 5 - Approvals

Local Government Review is required to be completed before submission to the Alcohol and Marijuana Control Office.

Local Government Review (to be completed by an appropriate local government official): Yes No Pending

The proposed changes shown on this form conform to all local restrictions and laws.

Yes No Pending

A local building permit is required for the proposed changes.

Yes No *Pending Application*

A conditional use permit from the MSB has not been obtained.

[Signature]
Signature of local government official

N/A
Building Permit #

12/12/23
Date

Rick Benedict
Printed name of local government official

current Planner
Title

Section 6 - AMCO Review

AMCO Review: Approved Disapproved

[Signature]
Signature of AMCO Enforcement Supervisor

Joan M. Wilson
Signature of Director

Approved Disapproved

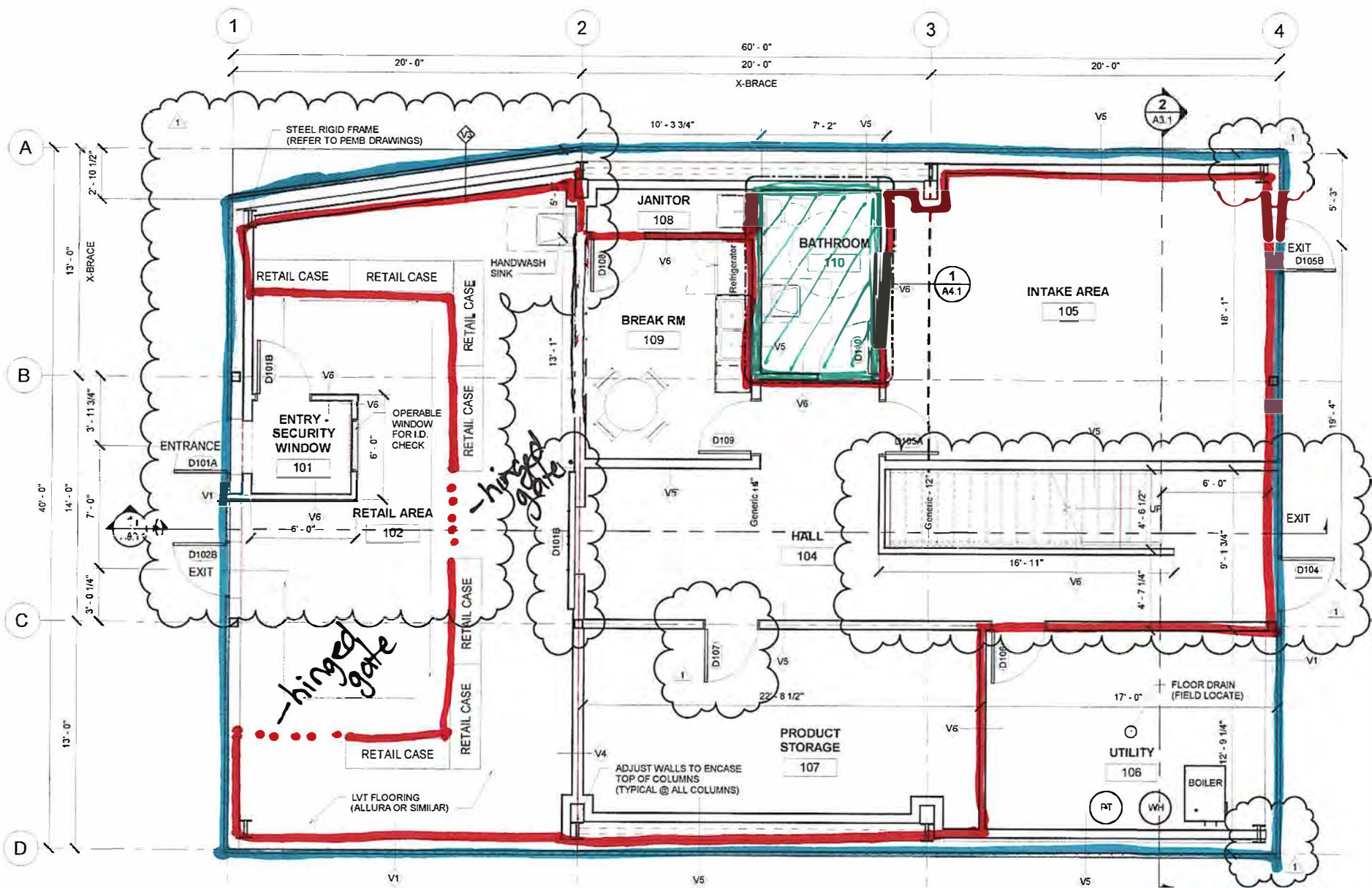
James Hoelscher 1/4/2024
Printed name of AMCO Enforcement Supervisor

Joan M. Wilson
Printed name of Director

1/5/24
Date

AMCO Comments:

Approved effective issuance of conditional use permit



1 FIRST FLOOR
A1.1 SCALE: 1/4" = 1'-0"

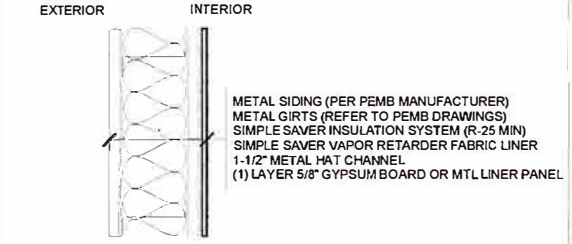
- - Licensed premises
- - Restricted Access Area
- - un-Restricted Restroom

Diagrams 1, 2 & 5.

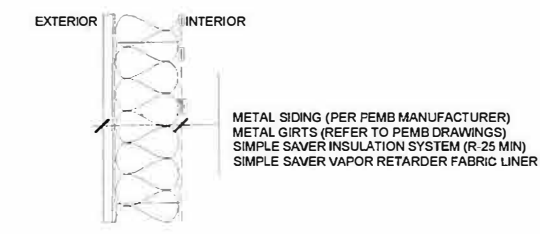
2

VERTICAL ASSEMBLIES :

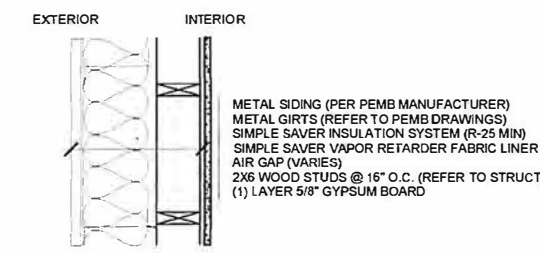
- PROVIDE WALL DEFLECTION TRACKS WHERE NON-LOAD BEARING WALLS MEET STRUCTURE ABOVE.
- REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS



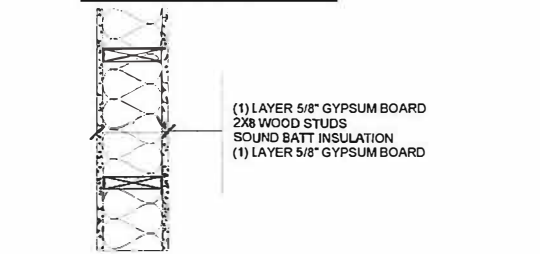
V1 - EXTERIOR WALL



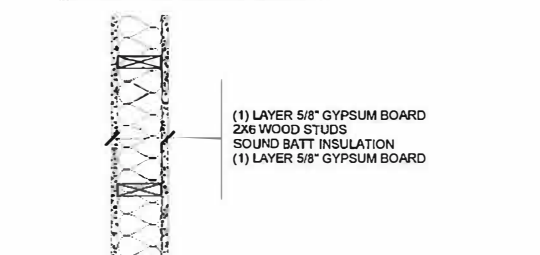
V2 - EXTERIOR WALL



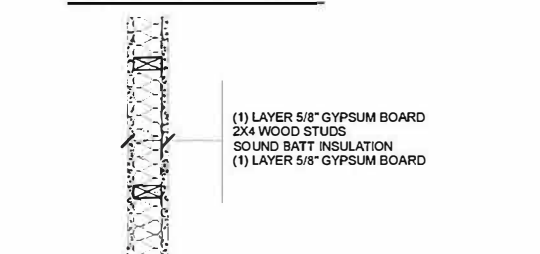
V3 - EXTERIOR WALL



V4 - INTERIOR WALL



V5 - INTERIOR WALL



V6 - INTERIOR WALL

9007 Architecture, LLC
WASILLA, ALASKA 99687
C.O.A. #101114
PO BOX 875570, PH: 907.373.9503

STATE OF ALASKA
49 TH
Matthew Wilson
No. 13356
7.14.2023
REGISTERED PROFESSIONAL ARCHITECT

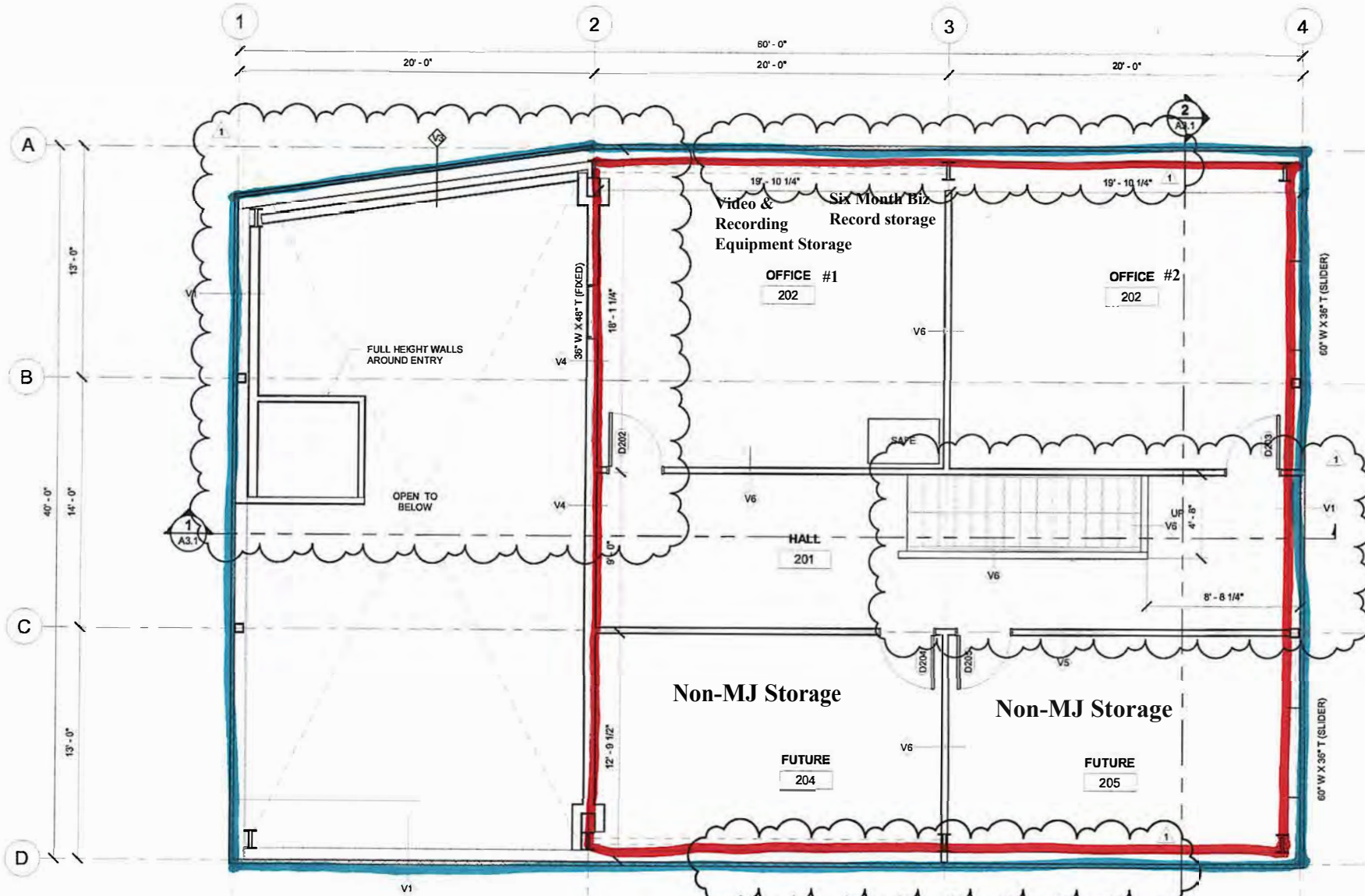
PROJECT:
SMOKE OUT POINT
License # 29874
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE:
FIRST FLOOR PLAN
CONSTRUCTION DRAWINGS

DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8.27.2021

PROJECT No.
21126.00
SHEET NUMBER
A1.1

1	7/14/2023	REV 1 - OWNER CHANGES
No	Date	Item
REVISIONS		



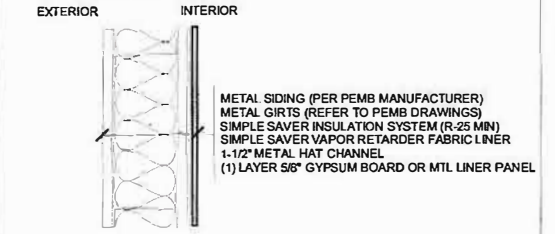
1 SECOND FLOOR
A1.2 SCALE: 1/4" = 1'-0"

Diagrams 1.1, 2.1 & 5.1

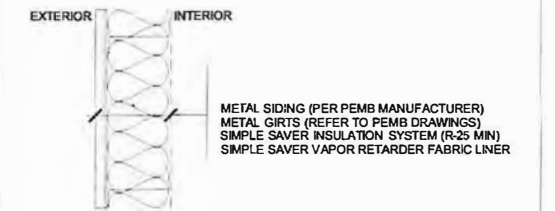
▭ - proposed Licensed premises
▭ - Restricted Access Area

VERTICAL ASSEMBLIES :

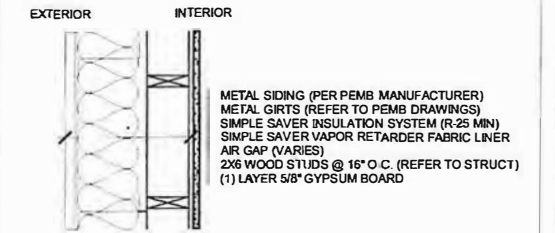
1. PROVIDE WALL DEFLECTION TRACKS WHERE NON-LOAD BEARING WALLS MEET STRUCTURE ABOVE.
2. REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS



V1 - EXTERIOR WALL



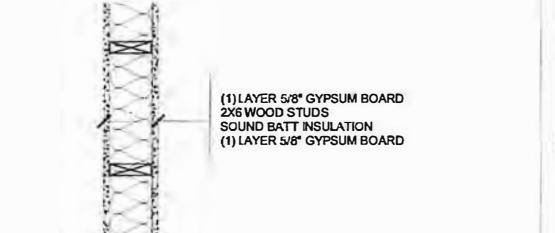
V2 - EXTERIOR WALL



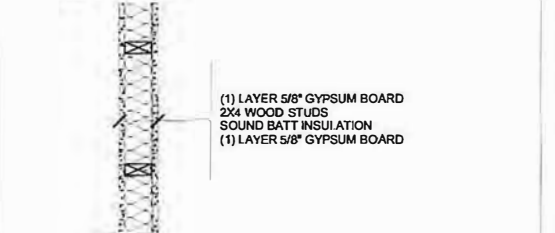
V3 - EXTERIOR WALL



V4 - INTERIOR WALL



V5 - INTERIOR WALL



V6 - INTERIOR WALL

0907 Architecture, LLC
WASILLA, ALASKA 99667
PO BOX 875570, C.O.A. #101114
PH: 907.373.9903



PROJECT: **SMOKE OUT POINT**
License # 29874
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE: **SECOND FLOOR PLAN**
CONSTRUCTION DRAWINGS

DESIGN: MFW
DRAWN: MFW
CHECKED: MFW
DATE: 8.27.2021

PROJECT No. **21126.00**
SHEET NUMBER **A1.2**

NO.	DATE	REVISIONS
1	7.14.2023	REV 1 - OWNER CHANGES

From: [Michelle Olsen](#)
To: ["smopshop907@gmail.com"](mailto:smopshop907@gmail.com)
Cc: [Tim Alley](#); [Peggy Horton](#); [Andy Dean](#)
Subject: Temporary Driveway Approval
Date: Thursday, February 23, 2023 4:25:08 PM
Attachments: [Temporary Driveway Permit.pdf](#)

Hi Scott,

The driveway access has been temporarily approved to allow the conditional use permit to go forward. The construction permit for work in the Max Drive right-of-way will carry some requirements for some additional work on the driveway. Since the roadwork cannot be completed this time of year this temporary approval allows you to go forward with your other permitting and business requirements before the change of seasons allows for groundwork.

Please let me know if you have any questions.

Respectfully,

Michelle Olsen, CFM
Permit Technician
Matanuska-Susitna Borough
907-861-7822



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department
Development Services Division

350 East Dahlia Avenue, Palmer, Alaska 99645
(907) 861-7822 Fax (907) 861-8158
E-mail: PermitCenter@matsugov.us

Driveway Permit Application

Permit Fee \$200 (\$150 Refundable if completed within 3 years)

PERMIT NO: [29385](#)

Application Date:			Notified Date:		
2/23/2023					
Property Owner (Name):			Applicant/Agent (Name):		
Scott Wells			Tim Alley		
Mailing Address:			Mailing Address:		
10600 E Max Dr					
City:	State:	Zip:	City:	State:	Zip:
Palmer	AK	99645			
Phone:			Phone:		
907-982-4272					
Email (optional):			E-mail (optional):		
smopshop907@gmail.com			talley@tbcak.com		
Site Address:			Driveway Location Will Be Marked With:		
10600 Max Drive			Existing		
Property Tax ID #:			Expected Completion Date:	Driveway Surface Type:	
2209B02L001A				Gravel	
Applying for Access Onto:			Distances:		
Max Dr			Left:	Width:	Right:
Only Corrugated Metal Pipe Culvert is Allowed			Path or sidewalk dimension (if applicable):		
Culvert Length:		Diameter:			
Intended Use:					
<input type="checkbox"/> Single Family <input type="checkbox"/> Mutli-Family # of units _____ <input checked="" type="checkbox"/> Commercial - Type: <u>Marijuana Retail</u> Est. "peak hours" trips per day: _____					
Comments:					
Change of use requires new application					

This authorization is temporary only. It is for the temporary use of Max Drive for Commercial Marijuana Retail access. If the conditional use permit application expires or is determined to be inactive this authorization shall expire automatically. Any permanent final approvals shall replace this initial temporary permit authorization.

Approved by:

Andy Dean

Digitally signed by Andy Dean
Date: 2023.02.23 15:44:58
-09'00'



Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division

350 East Dahlia Ave Palmer, AK 99645
Phone (907) 861-7822 / Fax (907) 861-8158
www.matsugov.us

TEMPORARY DRIVEWAY PERMIT

PERMIT # D29385
TAX PARCEL ID # 2209B02L001A

February 23, 2023

The Matanuska-Susitna Borough has performed the Final Inspection of your driveway. The driveway has been adequately constructed to Borough standards and to the conditions outlined by the initial driveway inspector. Your Approved Driveway Permit Number is listed above.

NOTE: This authorization is temporary only. It is for the temporary use of Max Drive for Commercial Marijuana Retail access. If the conditional use permit is not approved or expires then this permit shall be revoked.

Please keep this letter.

Property owner to maintain driveway approach in accordance with the provisions and standards of the permit. Culverts need to be cleaned annually to maintain drainage.

Any changes in land use or modifications of the driveway may require additional permitting. If you have any questions or concerns about your driveway or this permit, you may contact the Permit Center at 907-861-7822.

Sincerely,

Michelle Olsen, CFM
Permit Technician



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department
Development Services Division

350 East Dahlia Avenue, Palmer, Alaska 99645
(907) 861-7822 Fax (907) 861-8158
E-mail: PermitCenter@matsugov.us

Driveway Permit Application

Permit Fee \$200 (\$150 Refundable if completed within 3 years)

PERMIT NO: 29385

Application Date:			Notified Date:		
2/23/2023			2/23/2023		
Property Owner (Name):			Applicant/Agent (Name):		
Scott Wells			Tim Alley		
Mailing Address:			Mailing Address:		
10600 E Max Dr					
City:	State:	Zip:	City:	State:	Zip:
Palmer	AK	99645			
Phone:			Phone:		
907-982-4272					
Email (optional):			E-mail (optional):		
smopshop907@gmail.com			talley@tbca.com		
Site Address:			Driveway Location Will Be Marked With:		
10600 Max Drive			Existing		
Property Tax ID #:			Expected Completion Date:		Driveway Surface Type:
2209B02L001A					Gravel
Applying for Access Onto:			Distances:		
Max Dr			Left:	Width:	Right:
Only Corrugated Metal Pipe Culvert is Allowed			Path or sidewalk dimension (if applicable):		
Culvert Length:		Diameter:			
Intended Use:					
<input type="checkbox"/> Single Family <input type="checkbox"/> Mutli-Family # of units _____ <input checked="" type="checkbox"/> Commercial - Type: <u>Marijuana Retail</u> Est. "peak hours" trips per day: _____					
Comments:					
Change of use requires new application					

Temporary approval for CUP and Glenn Hwy project.

CMP-7-6-3-23085

PLN - DVS - Permits - DVS - 2209B02L001A -
Driveway - D29385 - Bradley Lk #2 RSB B/2 L/1

High Volume Driveway Application Checklist

Street Name: Max Dr

This applies to driveways uses which generate more than ten vehicle trips during the peak hour.

Submittal Item		Standard	
11.12.040(A)(2)			
(a) Street being accessed			Max Dr
Functional classification			Residential
Posted speed limit			20
Surface type			Aggregate
(b) Driveway dimensions			12 LFT lanes 24 LFT total
Landing slope	11.12.050(A)(3)	-2%	2%
Landing length	11.12.050(A)(4)	10 – 30 feet	20 FT
Landing angle	11.12.050(A)(5)	>= 60 degrees	93 degrees
Fill or cut slope grades	11.12.050(A)(6)	2:1 max or designed by engineer	2:1
Corner clearance	11.12.050(A)(11)	>= 60 feet	> 60 FT
Edge clearance	11.12.050(A)(12)	>= 20 feet, or curve return radius if larger	25 FT return radius
Width	11.12.070(A)(3)(a)&(b)	24 – 35 feet	24 FT
Curve return radii	11.12.070(A)(3)(c)&(d)	>= 20 feet	25 FT
Driveway spacing	11.12.070(A)(8)	300 feet 600 feet 300 feet	na
(c) Pathway or sidewalk dimensions			NA
Curb cuts	11.12.050(A)(14)		
ADA requirements	11.12.050(A)(15)		
Relocate in front of stop bar	11.12.070(B)(3)		

High Volume Driveway Application Checklist

(d) Culvert			NA
Type	11.12.050(A)(7)	CMP, 16 gauge	NA
Diameter	11.12.050(A)(7) 11.12.070(A)(2)	18 inch	NA
Stream crossing?	11.12.050(A)(7)(b)		NA
Length	11.12.050(A)(8)(a)		NA
Slope	11.12.050(A)(8)(b)	>=0.5%	NA
Set back	11.12.050(A)(8)(c)	0 – 6 feet from ditch line	NA
End sections	11.12.070(A)(2)		NA
(e) Expected completion date			
(f) Driveway surface type			Aggregate
Paved apron?	11.12.070(A)(6)	>=20 feet	NA
(g) Proposed land use			Commercial
(h) Estimated traffic			
Peak hour			22
Average daily			
Trip generation rate used	11.12.040(A)(2)(h)(i)-(iii)		INSTITUTE OF TRANSPORTATION ENGINEERS COMMON TRIP GENERATION RATES
11.12.040(A)(3) >10 vph			
(a) Design vehicle	11.12.020		Car
(b) Driveway sight triangles	11.12.050(A)(9)	varies	~ 100 ft Right hand > 500 ft Left hand
(c) Driveway plan & profile	11.12.070(A)(1)		Attatched
Stop sign & stop bar	11.12.070(B)(3)	Required for driveways that access parcels that generate more than 50 vehicle trips in the peak hour	Sign Provided without Stop bar

High Volume Driveway Application Checklist

11.12.040(A)(4) >50 vph			NA
Turn lane warrants	11.12.070(B)(4)&(5)		
11.12.040(A)(5) >100 vph			NA
Traffic Impact Analysis	11.12.080		
Sight distance			
Accident history			
Bus stops			
Road width			
Functional area			
Other traffic and safety factors			
Traffic Impact Mitigation	11.12.090		

Cartegraph Road Information

Road Info					
Road Number:	004138	Road Name:	Max Drive	RSA #:	16 SOUTH COLONY RSA
Surface Type:	3" Gravel Avg	Certified:	0	Map #:	WA16
TRS:	S17N01E24	TRS Left:		TRS Right:	
ROW Width:	50	Length:	0.201128787878788	Classification:	Residential UNS Unsurfaced
Route Back:	Colleen Street	Route Ahead:	End	Travel Direction:	Southwest
Custodian:	Unapproved Construction	RSA Superintendent:	Will Barickman	Contractor:	Norse Alaska
Status:	Active				
		<i>Certified Value of 1 denotes Certified.</i>			
Road Number:	004138	Road Name:	Max Drive	RSA #:	16 SOUTH COLONY RSA
Surface Type:	3" Gravel Avg	Certified:	0	Map #:	WA16
TRS:	S17N01E24	TRS Left:		TRS Right:	
ROW Width:	40	Length:	0.225369318181818	Classification:	Residential UNS Unsurfaced
Route Back:	Colleen Street	Route Ahead:	End	Travel Direction:	Southwest
Custodian:	Unapproved Construction	RSA Superintendent:	Will Barickman	Contractor:	Norse Alaska
Status:	Active				
Road Number:	001829	Road Name:	Maxwell Drive	RSA #:	20 GRTR WILLOW RSA
Surface Type:	3" Gravel Avg	Certified:	1	Map #:	WI15
TRS:	S19N04W19	TRS Left:		TRS Right:	
ROW Width:	58	Length:	0.2	Classification:	Residential Gravel
Route Back:	Sides Drive	Route Ahead:	End	Travel Direction:	South
Custodian:	Mat-Su Borough	RSA Superintendent:	Mike Lachelt	Contractor:	D & S Road Service
Status:	Active				

Pharmacy/Drugstore with Drive-Through Window (881)

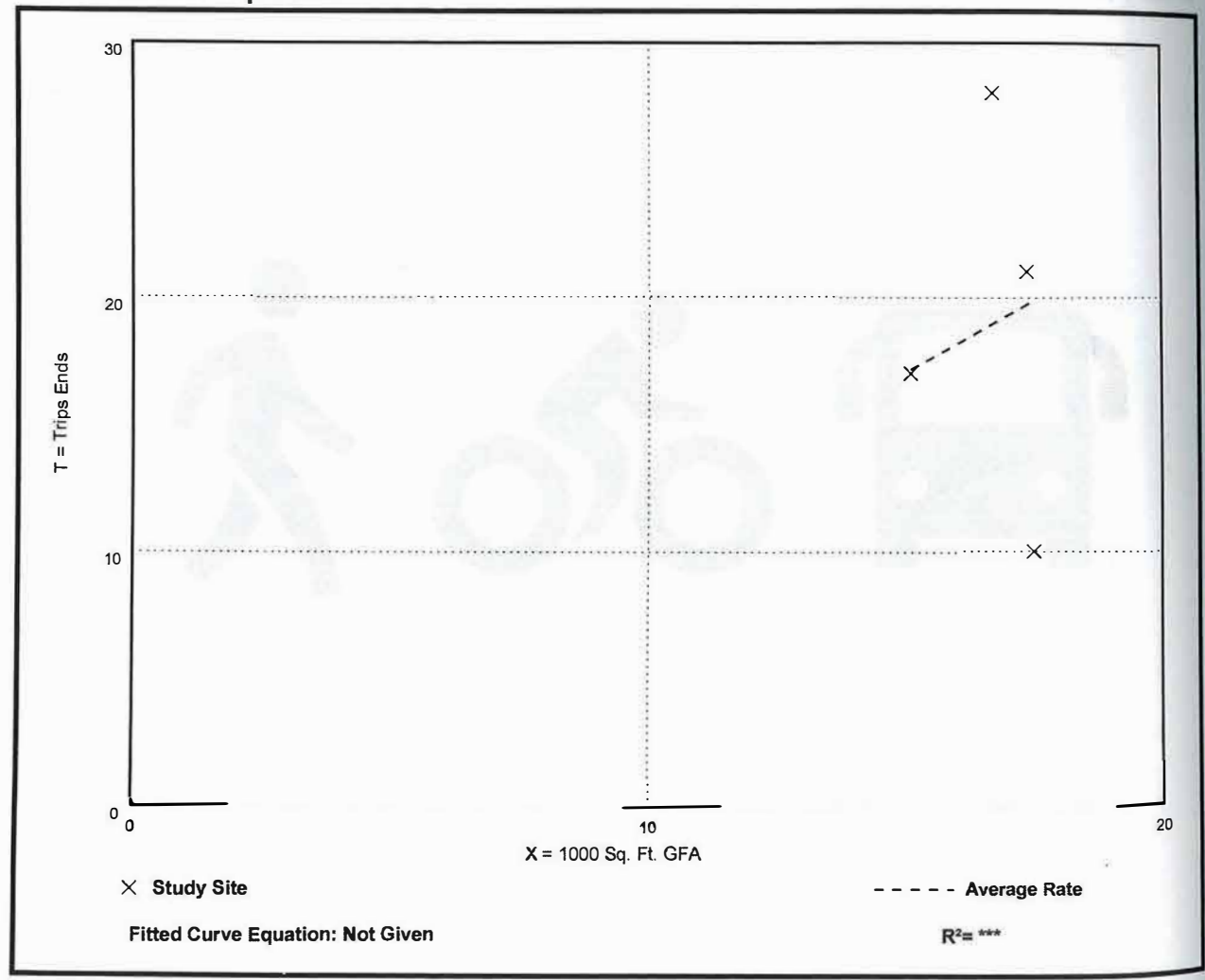
Walk+Bike+Transit Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 4
Avg. 1000 Sq. Ft. GFA: 17
Directional Distribution: 54% entering, 46% exiting

Walk+Bike+Transit Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.14	0.57 - 1.68	0.46

Data Plot and Equation



Land Use: 882 Marijuana Dispensary

Description

A marijuana dispensary is a stand-alone facility where cannabis is sold to patients or retail consumers in a legal manner. Marijuana cultivation and processing facility (Land Use 190) is a related land use.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 2010s in California, Colorado, Massachusetts, and Oregon.

Source Numbers

867, 893, 919, 1041, 1059

Marijuana Dispensary (882)

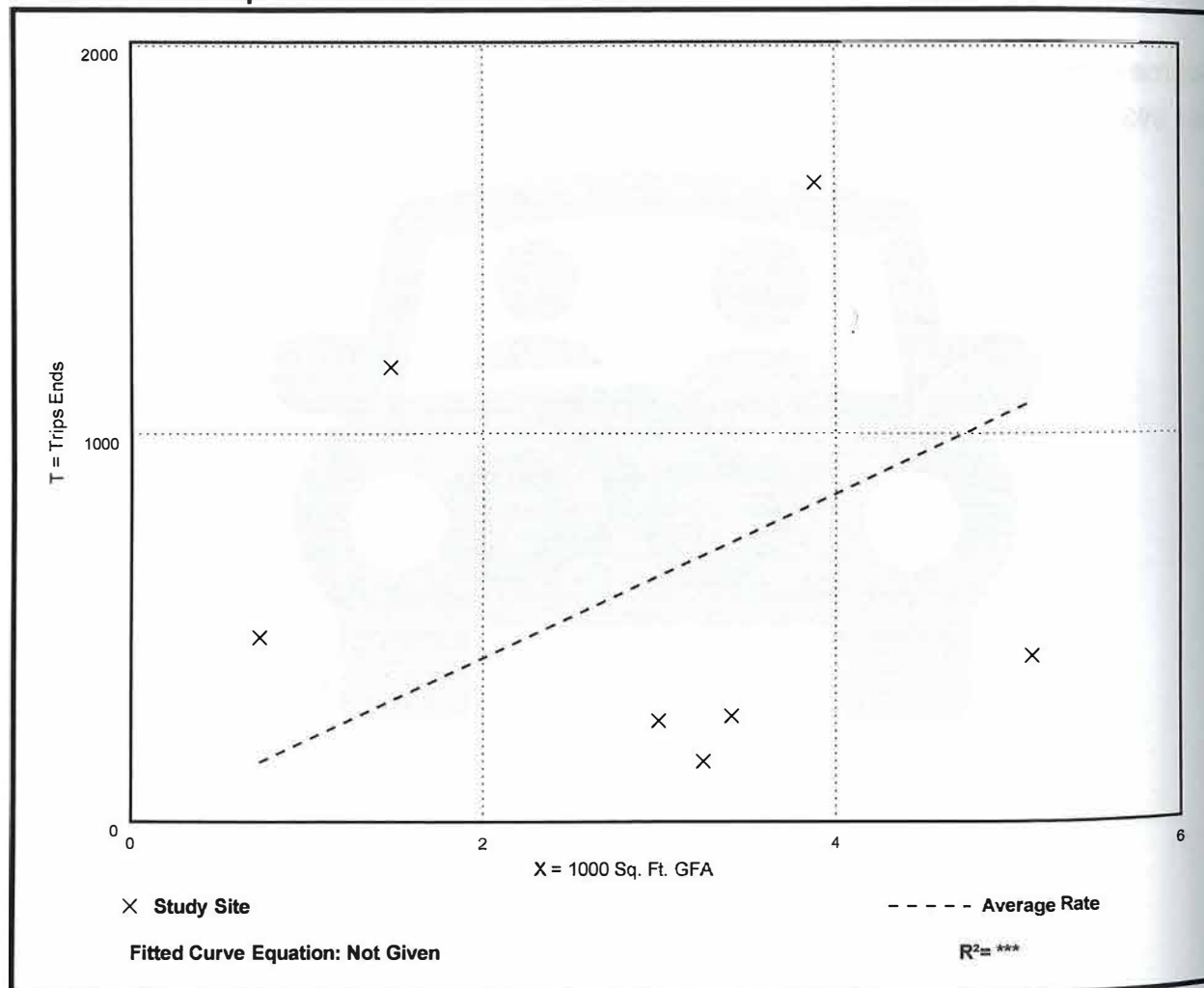
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 7
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
211.12	48.00 - 791.22	246.90

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,

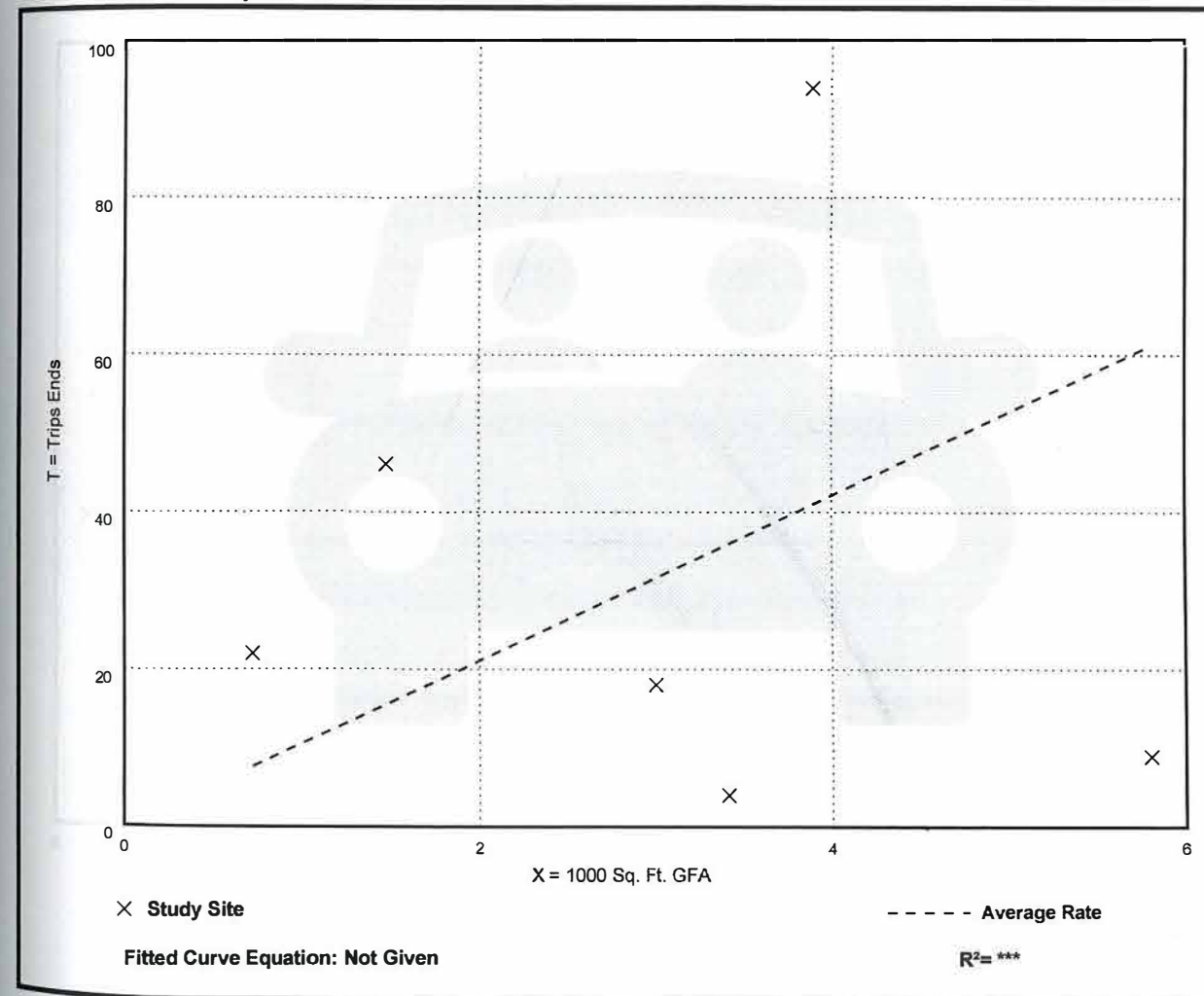
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban
Number of Studies: 6
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
10.54	1.17 - 31.08	12.69

Data Plot and Equation



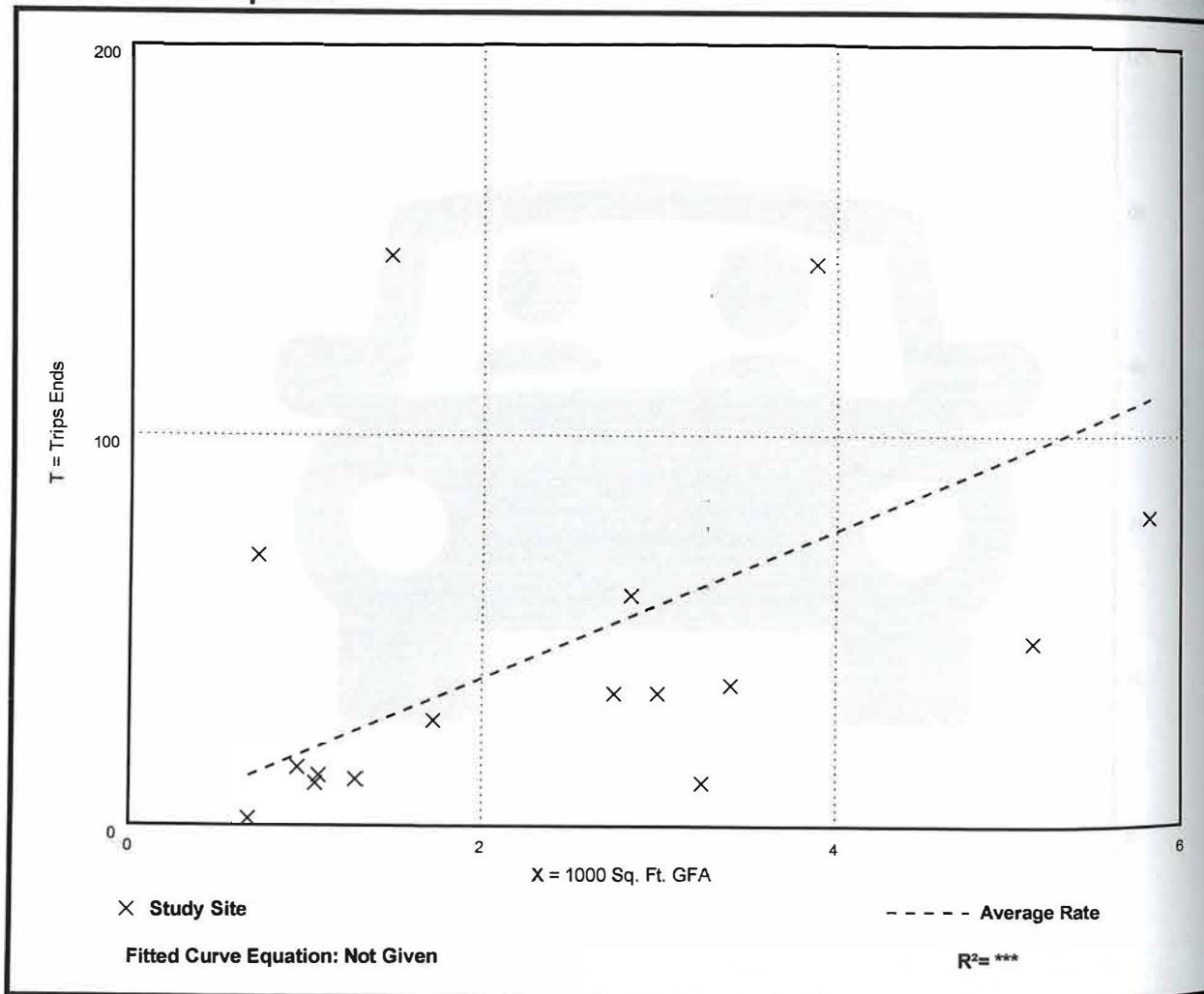
Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: **Weekday,**
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 16
 Avg. 1000 Sq. Ft. GFA: 2
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
18.92	2.94 - 98.65	21.73

Data Plot and Equation



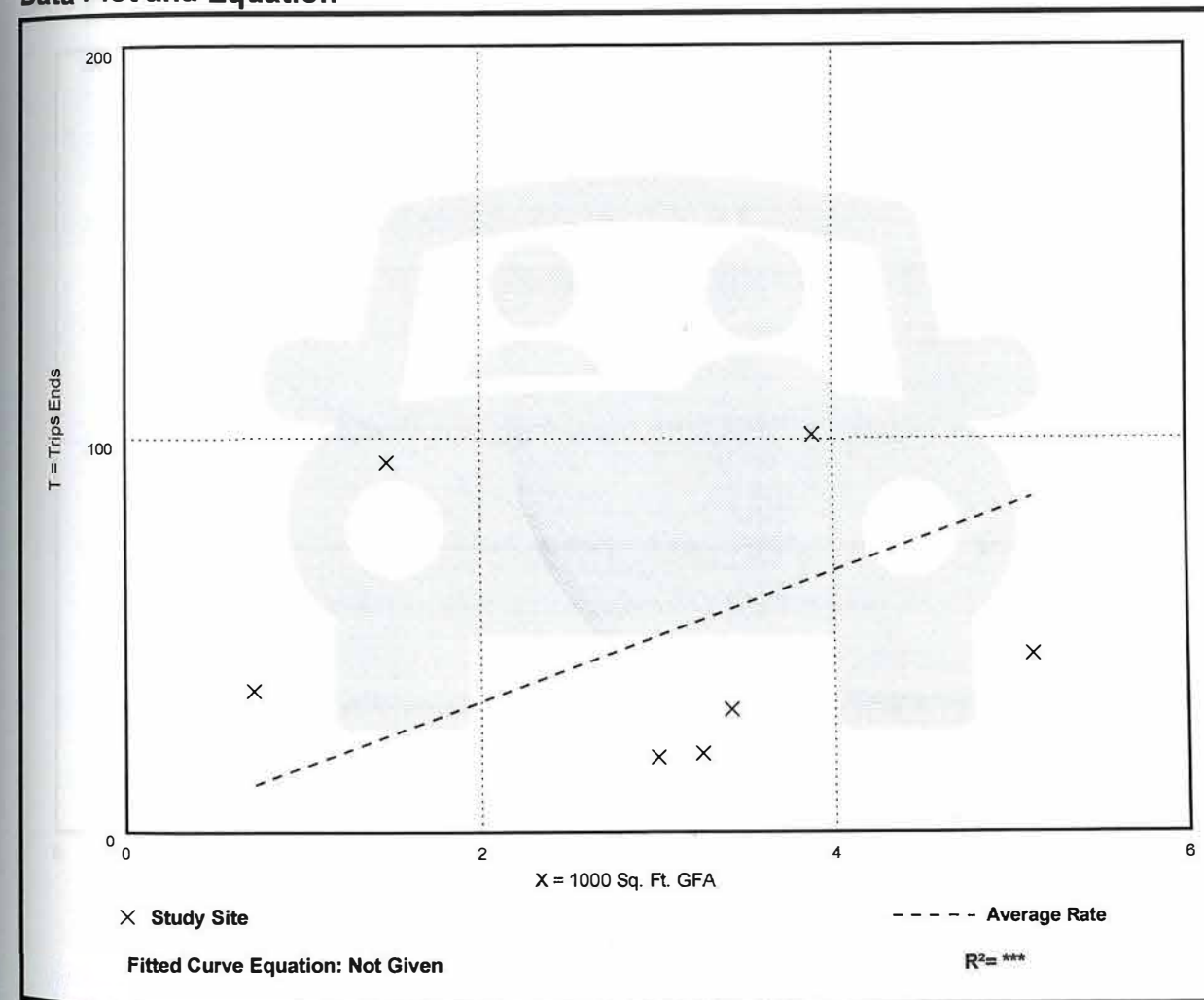
Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: **Weekday,**
AM Peak Hour of Generator
Setting/Location: General Urban/Suburban
 Number of Studies: 7
 Avg. 1000 Sq. Ft. GFA: 3
 Directional Distribution: 54% entering, 46% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
16.57	6.15 - 63.51	17.63

Data Plot and Equation



Marijuana Dispensary (882)

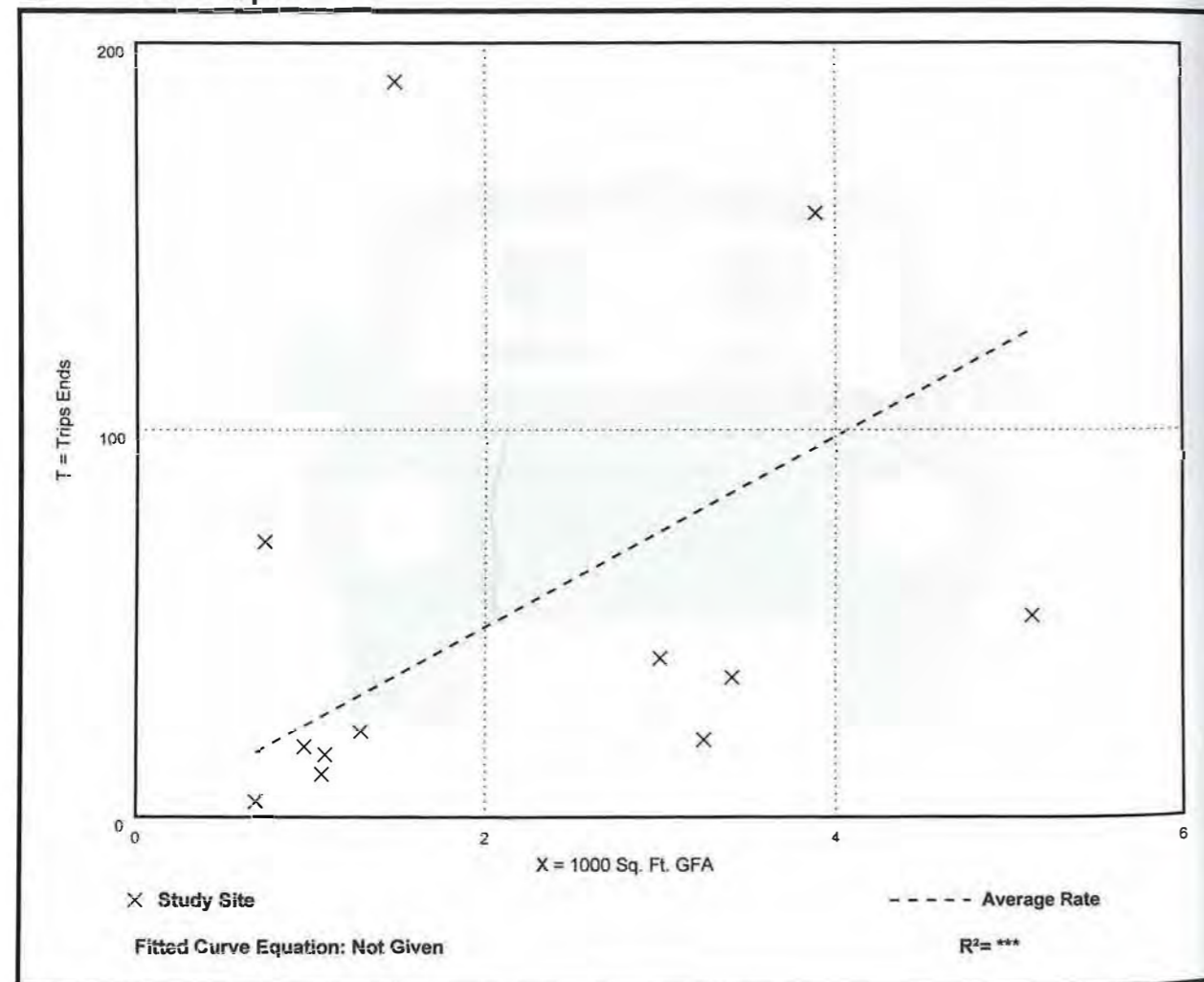
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 12
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: 49% entering, 51% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
24.57	5.88 - 128.38	32.18

Data Plot and Equation



Marijuana Dispensary (882)

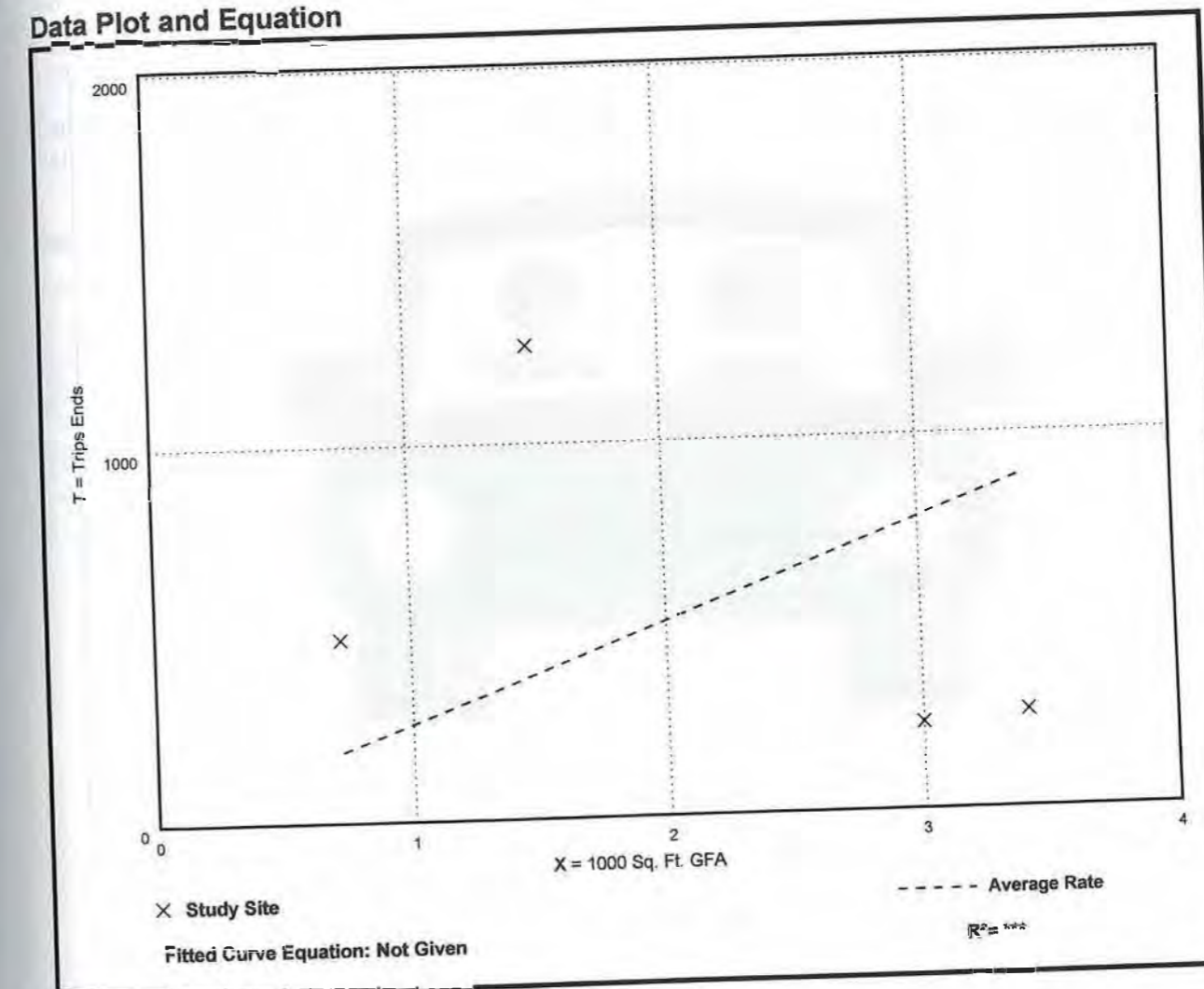
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday

Setting/Location: General Urban/Suburban
Number of Studies: 4
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
259.31	75.34 - 852.03	364.24

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 5

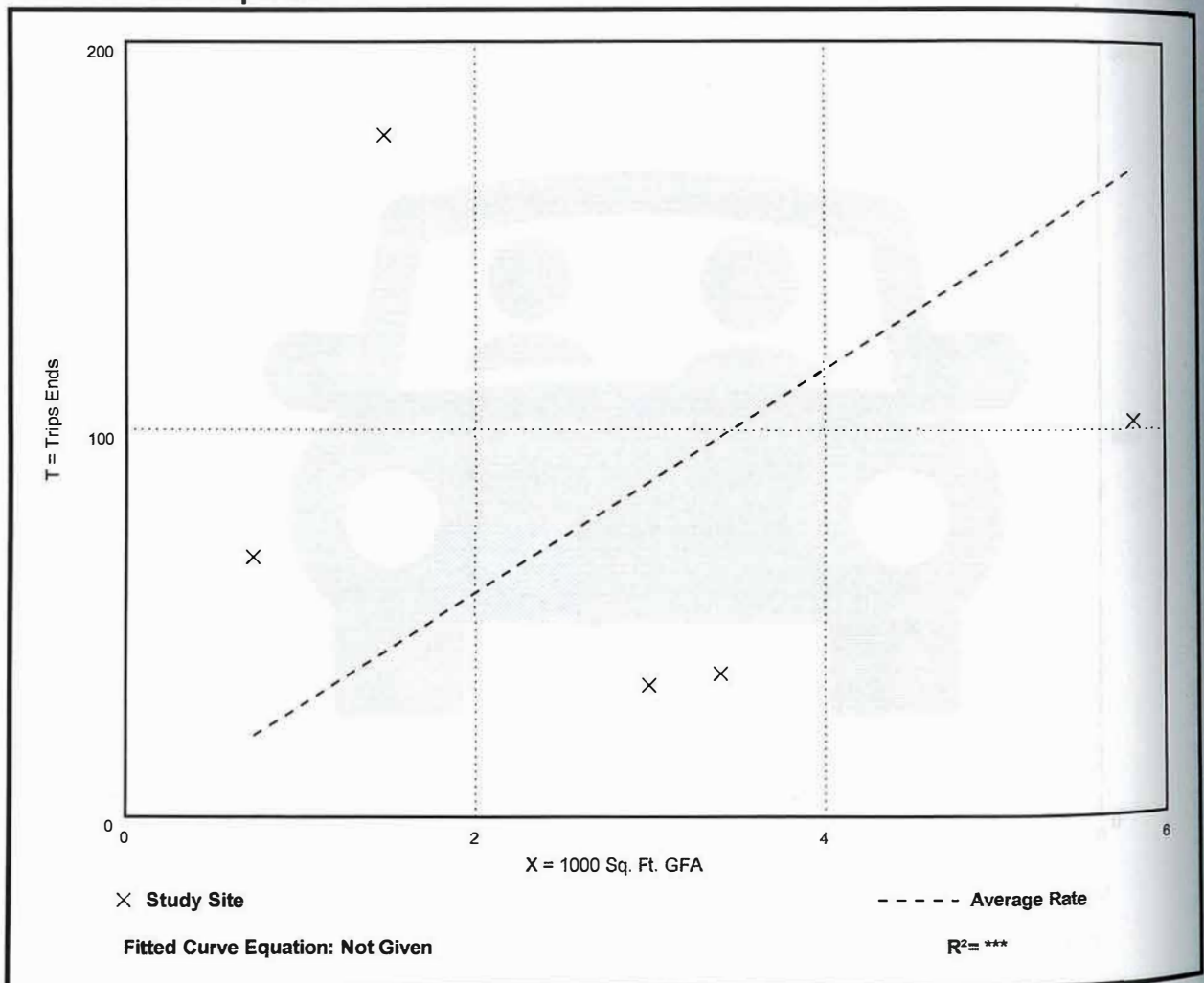
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
28.85	10.85 - 118.92	39.14

Data Plot and Equation



FACT SHEET

Glenn Highway MP 34-42 Projects

Glenn Highway MP 34-42 Reconstruction, Project Number 0A15024/Z581040000

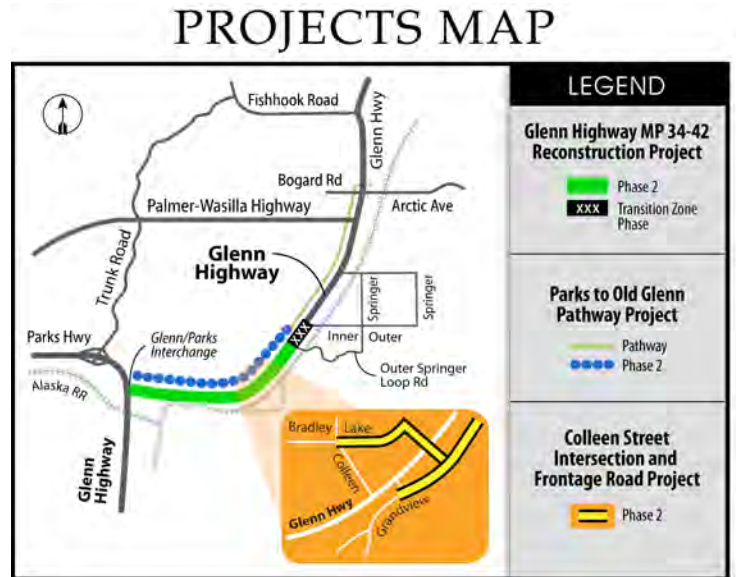
Parks Highway to Old Glenn Highway Pathway, Project Number 0A15032/CFHWY00029

Colleen Street Intersection and Frontage Road, Project Number 0A15033/CFHWY00006

Description

The purposes of the Glenn Highway Milepost (MP) 34-42 projects are to accommodate increasing traffic and reduce safety risks. These projects will add lanes, widen shoulders, add turn lanes and frontage roads, and add a separated pathway. The final roadway will be a four-lane divided highway from the Parks Highway to West Arctic Avenue.

The Colleen Street Intersection and Frontage Road project is included in the final phase which includes a traffic signal on the Glenn Highway to connect South Colleen Street and East Bradley Lake Avenue on the west side and East Grandview Road on the east side to the Glenn Highway.



Phase 1 COMPLETE

The Phase 1, South Inner Springer Loop to West Arctic Avenue, is complete. We hope the public is enjoying the new pathway from Bogard to Outer Springer.

Phase 2 CONSTRUCTION BEGINS SOON

The Phase 2 project bid in April and construction contract award to Granite Construction is anticipated in May 2023 with work to begin in summer 2023. Construction is scheduled to be complete by September 2025.

For more information during construction

Use DOT&PF's **Alaska Project Exchange** tools to learn more about all of DOT&PF's active construction projects statewide!



- Want to know how construction will impact road traffic? Visit 511.alaska.gov
- Want to dig into the details about projects across the state? Visit dot.alaska.gov/construction
- If you have questions or comments about the project, please contact:

Ericka Moore, P.E., Construction Manager, DOT&PF
Phone: (907) 269-0450; Email: ericka.moore@alaska.gov

For individuals requiring TTY communications, please contact [Alaska Relay](https://alaska.gov/relay) at 7-1-1 or 1-800-770-8973.

Project website: www.brooks-alaska.com/glennhighway

Updated 5/18/2023




GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 1 OF 4



**Glenn Highway MP 34-42
Reconstruction**
Parks Highway to Old Glenn Highway
ADOT&PF Project 58104/ Federal Project NH-0A1-S(24)



GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 2 OF 4



**Glenn Highway MP 34-42
Reconstruction**
Parks Highway to Old Glenn Highway
ADOT&PF Project 58104/ Federal Project NH-0A1-S(24)



GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 3 OF 4



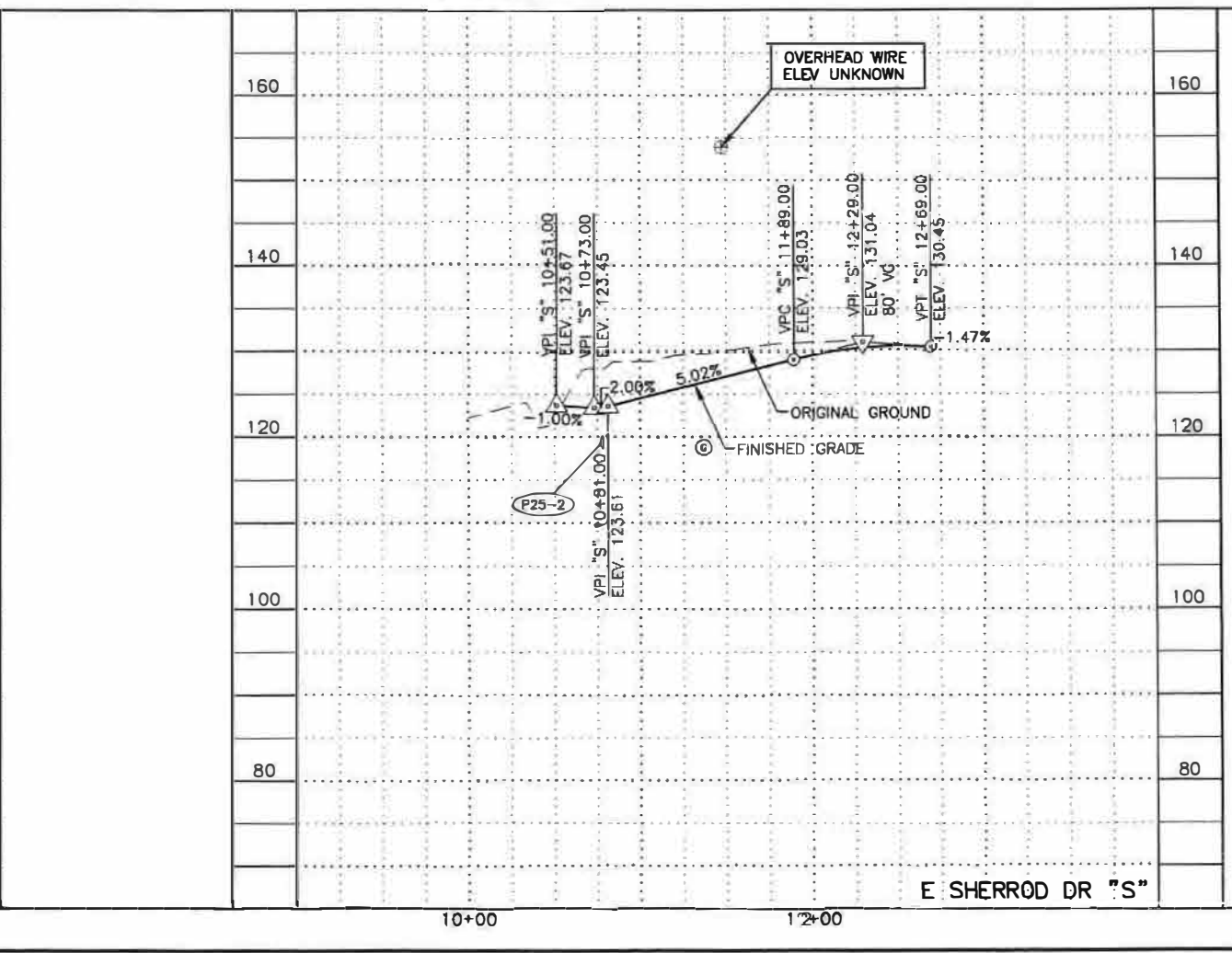
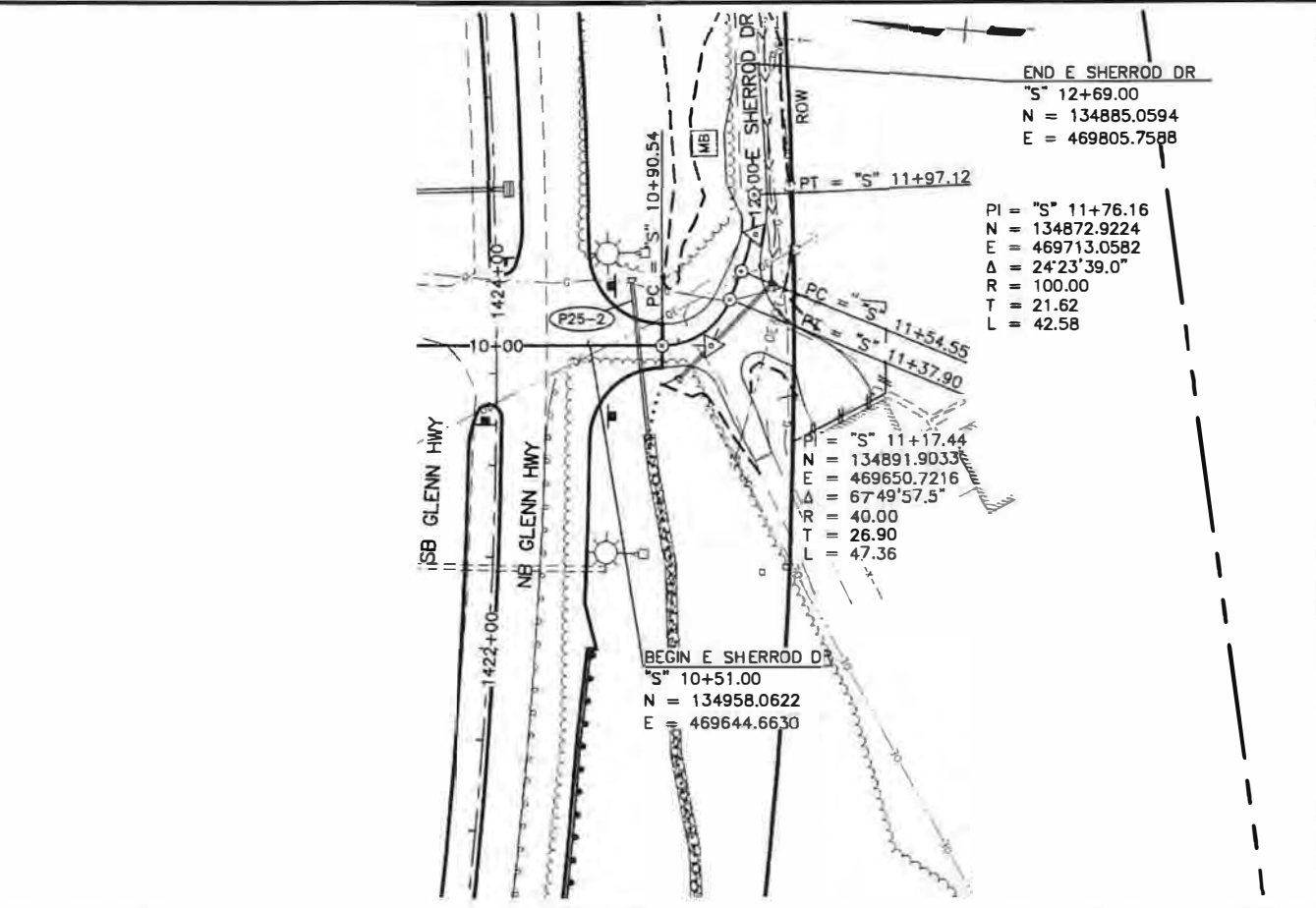
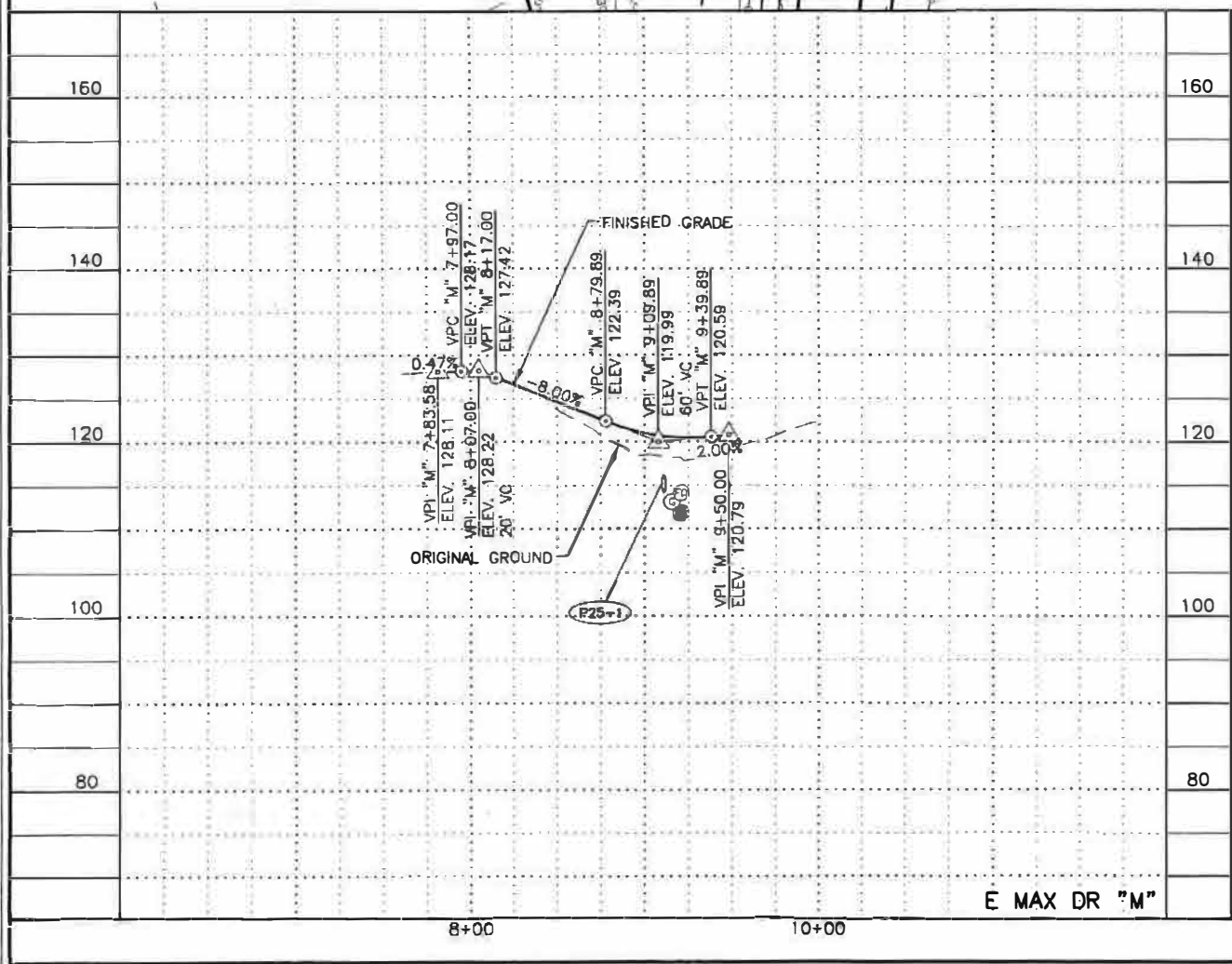
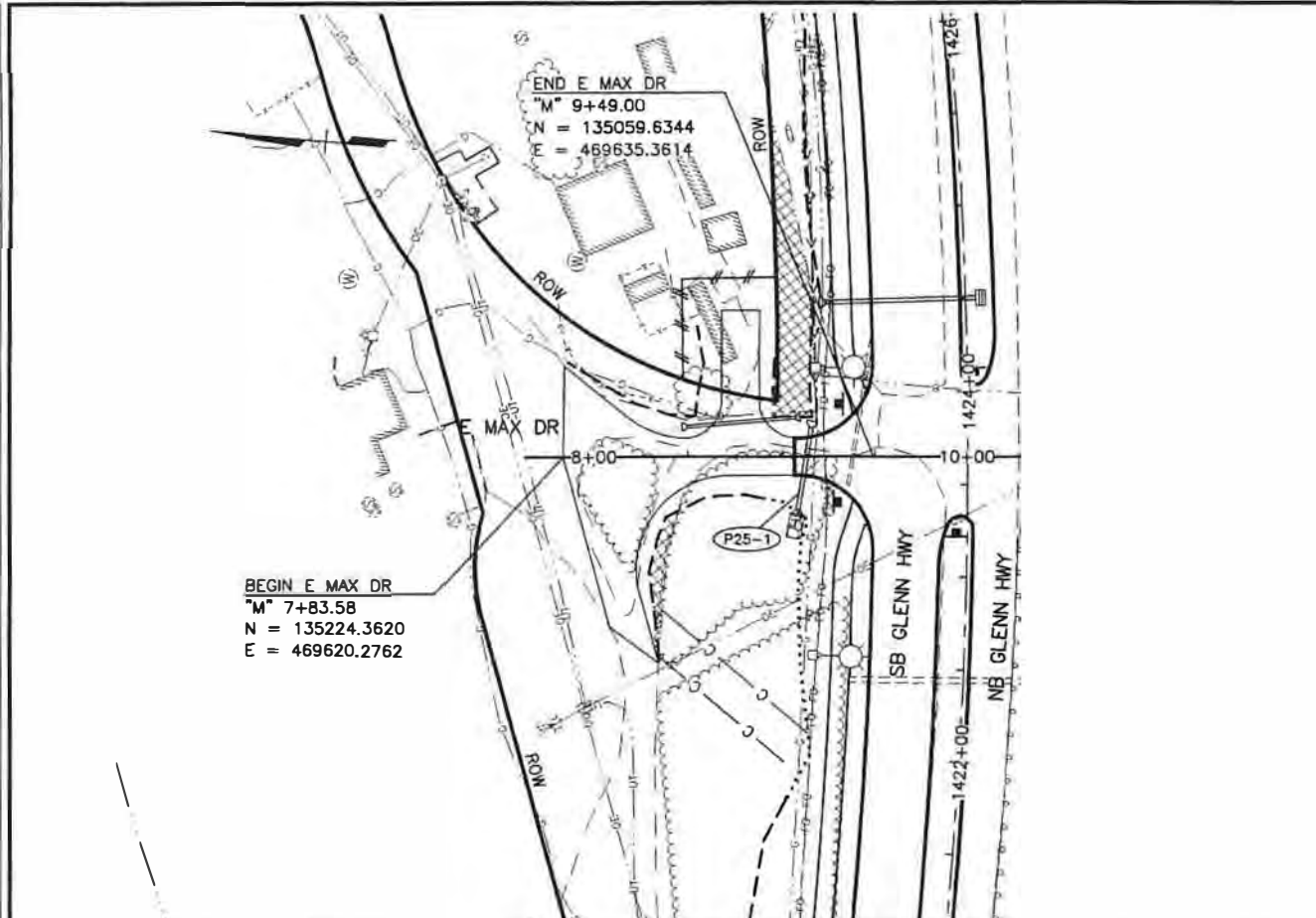
**Glenn Highway MP 34-42
Reconstruction**
Parks Highway to Old Glenn Highway
ADOT&PF Project 58104/ Federal Project NH-0A1-5(24)



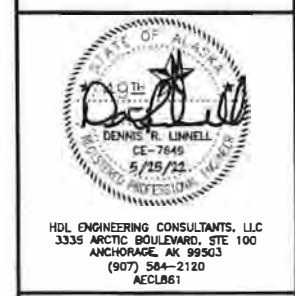
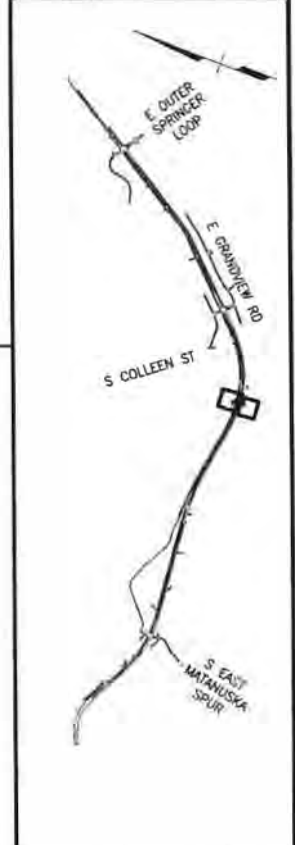
GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 4 OF 4

**Glenn Highway MP 34-42
Reconstruction**
Parks Highway to Old Glenn Highway
ADOT&PF Project 58104/ Federal Project NH-0A1-5(24)

DRAWING LOCATION: H:\JOBS\08-016 GLENN HIGHWAY 34-42 (DOT)\08 - PS&E\CAD_P&E\DRAWINGS\08016_P2_P23-F27_SIDE STREET.DWG
 DATE: 1/7/2022
 TIME:
 SCALE: 1" = 100'
 DESIGNED BY: CAD
 CHECKED BY: BT
 DRAWN BY: BT



SHEET NO.	TOTAL SHEETS
F25	F50
STATE	YEAR
ALASKA	2022
PROJECT DESIGNATION	
OA15037/CFHWY00431	
OA15038/CFHWY00432	
OA15033/CFHWY00006	
NO.	REVISION
DATE	
NO.	REVISION
DATE	
NO.	REVISION
DATE	



STATE OF ALASKA
 DEPARTMENT OF TRANSPORTATION
 AND PUBLIC FACILITIES
 GLENN HWY: PARKS HWY TO
 S. INNER SPRINGER LP.
 (PHASE II)
 E MAX DR/E SHERROD DR
 PLAN & PROFILE

DRAWING LOCATION: H:\JOBS\08-016 GLENN HIGHWAY 34--42 (DOT)\09 - PS&E\CAD_P&E\DRAWINGS\08016_P2_HS20-HS30.DWG
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 TIME: 11:34 AM
 SCALE: NTS
 DESIGNED BY: JAL
 CHECKED BY: JAL
 DRAFTED BY: JAL

NO.	DATE	REVISION	STATE	PROJECT DESIGNATION	YEAR	SHEET NO.	TOTAL SHEETS
			ALASKA	0A15037/CFHWY00431 0A15038/CFHWY00432 0A15033/CFHWY00006	2022	HS23	HS31

SIGN SUMMARY

SHEET NO.	POST NO.	STATION	CL REF.	TYPE	LEGEND	SIZE (INCHES)		AREA SQ FT	SIGN FACES*	POSTS NO., SIZE, & TYPE	THICKNESS (IN)		REMARKS
						WIDTH	HEIGHT				YES	NO	
HS9	51	"G" 1423+40	LT	D3-1	Glenn Hwy	36	8	4.00	E/W	3.0" TS	0.125		2 SIGNS BACK TO BACK
				D3-1	E Max Dr	42	12	7.00	N/S		0.125		2 SIGNS BACK TO BACK
				R6-1R	ONE WAY	36	12	3.00	W		0.125		
				R6-1L	ONE WAY	36	12	3.00	E		0.125		
				R1-1	STOP	36	36	9.00	W		0.125		
	52	"G" 1423+94	LT	R6-1L	ONE WAY	36	12	3.00	E	3.0" TS	0.125		
	53	"G" 1423+97	RT	D3-1	Glenn Hwy	36	8	4.00	E/W	3.0" TS	0.125		2 SIGNS BACK TO BACK
				D3-1	E Sherrod Dr	42	12	7.00	N/S		0.125		2 SIGNS BACK TO BACK
				R6-1R	ONE WAY	36	12	3.00	E		0.125		
				R6-1L	ONE WAY	36	12	3.00	W		0.125		
				R1-1	STOP	36	36	9.00	E		0.125		
	54	"G" 1424+11	RT	R3-7L	LEFT LABEL MUST TURN LEFT	36	36	9.00	N	3.0" TS	0.125		
	55	"G" 1424+14	RT	R5-10C	NO PEDESTRIANS	24	12	2.00	S	POPL		0.125	ON LIGHT POLE
	56	"G" 1428+35	RT	R3-7L	LEFT LABEL MUST TURN LEFT	36	36	9.00	N	3.0" TS	0.125		
	57	"G" 1435+00	RT	W3-3	ADVANCE WARNING BEACON	48	48	16.00	S	POPL	0.125		ADVANCE WARNING BEACON
HS10	58	NOT USED											
	59	"G" 1439+26	LT	D10-202	38	16	36	4.00	N	2.5" PST		0.125	
	60	"G" 1439+26	RT	D3-200	Jimmys Dr	96	24	16.00	S	(2)3.0" TS	0.125		LETTERS - 10.7" EM
				D10-202	38	16	36	4.00	S			0.125	
	61	"G" 1440+38	LT	OM4-1	ADVISORY	18	18	2.25	W	2.5" PST		0.125	
	62	"G" 1440+50	LT	OM4-1	ADVISORY	18	18	2.25	W	2.5" PST		0.125	
	63	"G" 1441+74	RT	W10-2R	ADVISORY	48	48	16.00	S	POPL	0.125		ON LIGHT POLE
				W10-11A	45 FT AHEAD CHASE & HOISTWAY	36	42	10.50	S			0.125	
	64	"G" 1444+74	LT	R2-1-55	SPEED LIMIT 55	36	48	12.00	N	POPL	0.125		ON LIGHT POLE
HS11	65	"G" 1445+34	RT	R3-7R	RIGHT LABEL MUST TURN RIGHT	36	36	9.00	S	3.0" TS	0.125		
	66	"G" 1445+34	LT	R3-7L	LEFT LABEL MUST TURN LEFT	36	36	9.00	S	3.0" TS	0.125		



STATE OF ALASKA
DEPARTMENT OF TRANSPORTATION
AND PUBLIC FACILITIES
**GLENN HWY: PARKS HWY TO S.
INNER SPRINGER LP. (PHASE II)**

SIGN SUMMARY

HDL ENGINEERING CONSULTANTS, LLC
3335 ARCTIC BOULEVARD, STE 100
ANCHORAGE, AK 99503
(907) 584-2120
AECL861

GENERAL CONSTRUCTION PERMIT C29230
Improved Access Roadway
Max Drive

This permit is issued this _____ day of _____ 2023 to:

Smoke Out Point
1000 E. Max Drive
Palmer, AK 99645

Phone #: **907-982-4272**

Email: smopshop907@gmail.com

The Matanuska-Susitna Borough grants the authorization necessary to work in the following described Public Right of Way or easement area: Within the right of way of Max Drive as described on the plat for Bradley Lake #2 RSB Block 2 Lot 1 Subdivision within Sections 24, Township 17 North, Range 01 East, Seward Meridian, Alaska. This construction is for improved access to parcel #**2209B02L001A**.

BEFORE BEGINNING CONSTRUCTION ACTIVITIES, PERMITTEE MUST:

- A. Have a Registered Professional Land Surveyor verify that public rights-of-way exist. Survey and mark the exterior boundary lines of the public rights-of-way and reference all property corners, monuments, and witness markers within or bordering the public rights-of-way. Registered Professional Land Surveyor must provide a letter to Borough Development Services Division stating the above has been completed and attach documentation verifying public rights-of-way exist. Also, give a copy of field notes and drawings showing reference ties to property corners and monuments. **Engineered design plan set provided.**
- B. Notify adjacent property owners before construction and two weeks before beginning any work at the location.
- C. The Permittee is responsible for obtaining any required permits from Federal, State, or local agencies for the proposed construction. For this permit to remain valid, you must follow all other applicable laws, rules, and regulations.

The construction authorized is described as and limited to the following:

Construct the extension of a typical 24' wide access road to minimum Matanuska-Susitna Borough Roadway Standards and within portions of the above-described public easements as shown on the plan set provided and dated 12-8-2022. This construction permit is for improved access to parcel #2209B02L001A.

This construction permit shall expire on **October 31, 2023**.

Providing Outstanding Borough Services to the Matanuska-Susitna Community.

SPECIAL CONDITIONS:

1. The Borough will not spend any public money on maintenance or capital improvements. This road may not serve to meet the minimum construction standards for any subdivision purposes and not be maintained by the Borough for work done under this permit.
2. Trees belong to property owners. Arrangements made with adjacent property owners during your notification process for the disposal of trees are acceptable.
3. Roads or driveways within public rights-of-way or public easements are for general use and cannot be gated or blocked without the authorization of the Borough.
4. At a minimum, the clearing required shall include seven feet from the edge of any established roadway surface for safety and snow storage.
5. The Permittee agrees to accept all responsibility and bear the expense of re-establishing any property corner, monument, or witness marker damaged or destroyed due to the construction activities.
6. Utility facilities cannot be constructed or located within this public way without a Borough-approved Utility Facility Design. This permit authorization will authorize no clearing for installing Utilities under this permit.
7. This permit does not allow for any stream crossings. The permit will need amendment through approved review, the design approved, and the permit amendment signed by the Permittee before a stream crossing can be authorized. Other permit conditions may be required depending on the type of crossing. Please call (907)861-7803 for more information if a stream crossing is needed.
8. The permit will be shown at the preconstruction conference as part of F01.3 Preconstruction Conference item (d) on Page 38 if the roadway is for subdivision purposes. No work should commence before a Notice to Proceed (NTP) is granted by the Platting Division and after signing an approved Subdivision Construction Plan by the Department of Public Works. See Section F. Development Implementation and the 2022 Subdivision Construction Manual for additional requirements.

DURING CONSTRUCTION ACTIVITIES, THE PERMITTEE MUST:

9. Fall and skid all trees 4 inches in diameter and larger before beginning grubbing and road construction.
10. No strip mining for gravel will be allowed within the public easements.
11. The Permittee shall remove all construction debris, large limbs, tree tops, uprooted stumps, disturbed organic material, and large rocks agitated within clearing limits from rights-of-way before the expiration date. Brush to be stacked for burning outside of section line easements. Obtain any necessary burn permits from the State of Alaska Division of Forestry.
12. Center the construction of the access as close as possible to the center of the public easements. Clear and grub up to 20 feet on each side of the center of the Right of Way for road construction, ditching, and to induce maximum sunlight onto the road prism. The Permittee must perform a minimum of seven feet of clearing from the edge of the roadway's surface. Construct ditches at the foot of the road fore-slope to a maximum depth of 2.5 feet, measured from the finished grade of the driving surface, for drainage and snow storage purposes.
13. All cuts and fills shall be constructed and located to a maximum of 2 feet horizontal to 1-foot vertical slopes within the public easement or right of way. A minimum of 5 feet of undisturbed ground must be between the top of a cut slope or the toe of a fill slope and the exterior boundary of the public right-of-way or public easement. The Permittee is responsible for obtaining additional right-of-way and slope easements to contain all improvements. Cut and fill slope areas may be cleared to the edge of the outer five feet of the easements to help establish the grade once easements are approved and obtained or if within existing easements. All cuts and fill slopes shall be within the easements or slope easements by a minimum of five feet to help establish a buffer for possible long-term slope erosion. Before working outside existing easements, an amendment to this permit must be reviewed, approved, and signed for this or any additional work.
14. All hydrology engineering is the responsibility of the Permittee. Install appropriate-sized culverts or swales to maintain natural drainage patterns. The authorized construction may not alter the natural drainage patterns.

AFTER CONSTRUCTION REQUIREMENTS, THE PERMITTEE MUST:

15. The Permittee shall file a written notice of completion with the Development Services Division within ten days after the construction is complete requesting a

final inspection. Call the Permit Center at (907)-861-7822, Option 2, or email the Permit Center at Permit.Center@matsugov.us for the final inspection and review. Upon completion, have the Registered Professional Land Surveyor stamp & certify **in writing** to the Borough Development Services Division or by sending the attached letter to the email address Andy.Dean@matsugov.us that all construction is within the public right-of-way. Also, the surveyor must state that all property corners, monuments, and witness markers, within or bordering the public right-of-way are undisturbed or reset.

16. A one-year mandatory warranty period on all improvements begins at the time of permit closure. Any Bond obtained for this work will remain in effect until the end of the warranty period. Please maintain the improvements and restore any deficiencies in quality or the requirements of this permit during this period.

In consideration for this permit, the Permittee shall indemnify, defend, and hold and save the Borough, its elected officers, agents, and employees, harmless from all claims, demands, suits, or liability of any nature, kind, or character, including costs, expenses, and attorney's fees. The Permittee shall be responsible under this clause for all legal actions or claims of any nature resulting from injuries, death, economic loss, damages, violation of statutes, ordinances, constitutions or other laws, rules or regulations, contractual claims, or any other kind of loss, tangible or intangible, sustained by any person, or property arising from Permittee's construction, alteration or maintenance and the existence of the above-described construction or for any damages whatsoever arising out of the granting of this permit.

The Borough reserves the right to revoke this permit upon 48 hours of written notice to the Permittee. The Permittee agrees upon said notice of revocation to immediately stop all construction activity within the easement, street, or public right of way. Should the Permittee refuse or fail to comply with said written notice, the Borough may, without further notice to the Permittee, make all repairs to the area. The Permittee agrees to reimburse the Borough for all costs incidental to the repair thereof.

The Permittee certifies that he has read and accepted the above conditions by evidence of the below signature, and the Borough authorizes said construction subject to the above conditions.

PERMITTEE

MATANUSKA-SUSITNA BOROUGH

Smoke Out Point Representative
Anthony Wells

Andy Dean – ROW Coordinator



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department
Development Services

350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822 • Fax (907) 861-8158
Email: PermitCenter@matsugov.us

Matanuska-Susitna Borough
Permit Center
SEP 7 0 2022
Received

APPLICATION FOR CONSTRUCTION/CLOSURE WITHIN PUBLIC EASEMENTS & RIGHTS-OF-WAY

Application Fee \$200 each

Permit No. _____

Anthony Wells, Smoke Out Point

Applicant: Tim Alley, PE, TBC, Civil Engineer

Date: 10/5/2022

Address: 10600 E. Max Drive

Phone: (907) 982-4272

Palmer, AK 99645

Email: smopshop907@gmail.com

talley@tbcak.com

1. Give the legal description and tax account no. of property owned by applicant adjacent to construction: Bradley Lake #2 RSB B/2 L/1 Block 2 Lot 1A, Tax Account No. 52209B02L001A
2. Describe the location where construction will occur, (legal description, public easement, or road name): E. Max Dr. ROW from S. Colleen St to Bradley Lake #2 RSB B/2 L/1 Block 2 Lot 1A for commercial access to lot.
3. Proposed length and width of construction (Include map or sketch showing construction limits and cross section & plan drawings, if available. Drawings may be required in cases of steep terrain): Construction access within ROW will be constructed 24' wide 615' long with hammer head turnaround. See attached drawing.
4. Proposed start up date: 10 /10/ 2022 Expected completion date: 10/31/2 0 2
5. This construction is necessary for the following reason(s): Commercial access to proposed marijuana retail facility.
6. Proposed method for disposal of vegetation and grubbed material: Road improvements follow existing alignment and should not require much clearing/grubbing. Downed trees will be stacked at the ROW for adjacent homeowners as required. All other grubbing and clearing debris will be hauled off and disposed.
7. List types of construction equipment that will be used for this project: Excavator, Dozer, Dump Trucks, Grader
8. Identify any special conditions and problems that may be encountered during construction (i.e. Swampy ground, water bodies, steep slopes, forested areas): Steep slopes existing along the ROW making it difficult to widen the existing gravel road within the existing ROW and alignment. Substantial fill will be needed for the hammerhead turnaround.

No work is authorized, including clearing of vegetation, within public easements & rights-of-way until a PERMIT is issued by the Borough and accepted by the applicant. The applicant certifies with their signature below, that they have read the conditions on the reverse side and completed this form accurately to the best of their knowledge.

Applicant's Signature

CMP-7-6-3-22837

PLN - DVS - Permits - DVS - 2209B02L001A -
Construction - C29230 - Bradley Lk #2 RSB

July 12, 2019

STANDARD CONDITIONS

Prior to Construction:

- A. Registered Professional Land Surveyor to verify, survey and mark exterior limits prior to construction and reference and preserve any survey corners and monuments in construction area. Upon completion, Surveyor to certify in writing to the Borough that all construction is in right-of-way and all survey corners are undisturbed or reset.
- B. Notify adjacent property owners by certified mail two weeks prior to construction.
- C. Complete a pre-construction meeting on site with Borough Right-Of-Way Agent after condition "A" is complete and prior to beginning any vegetation clearing.

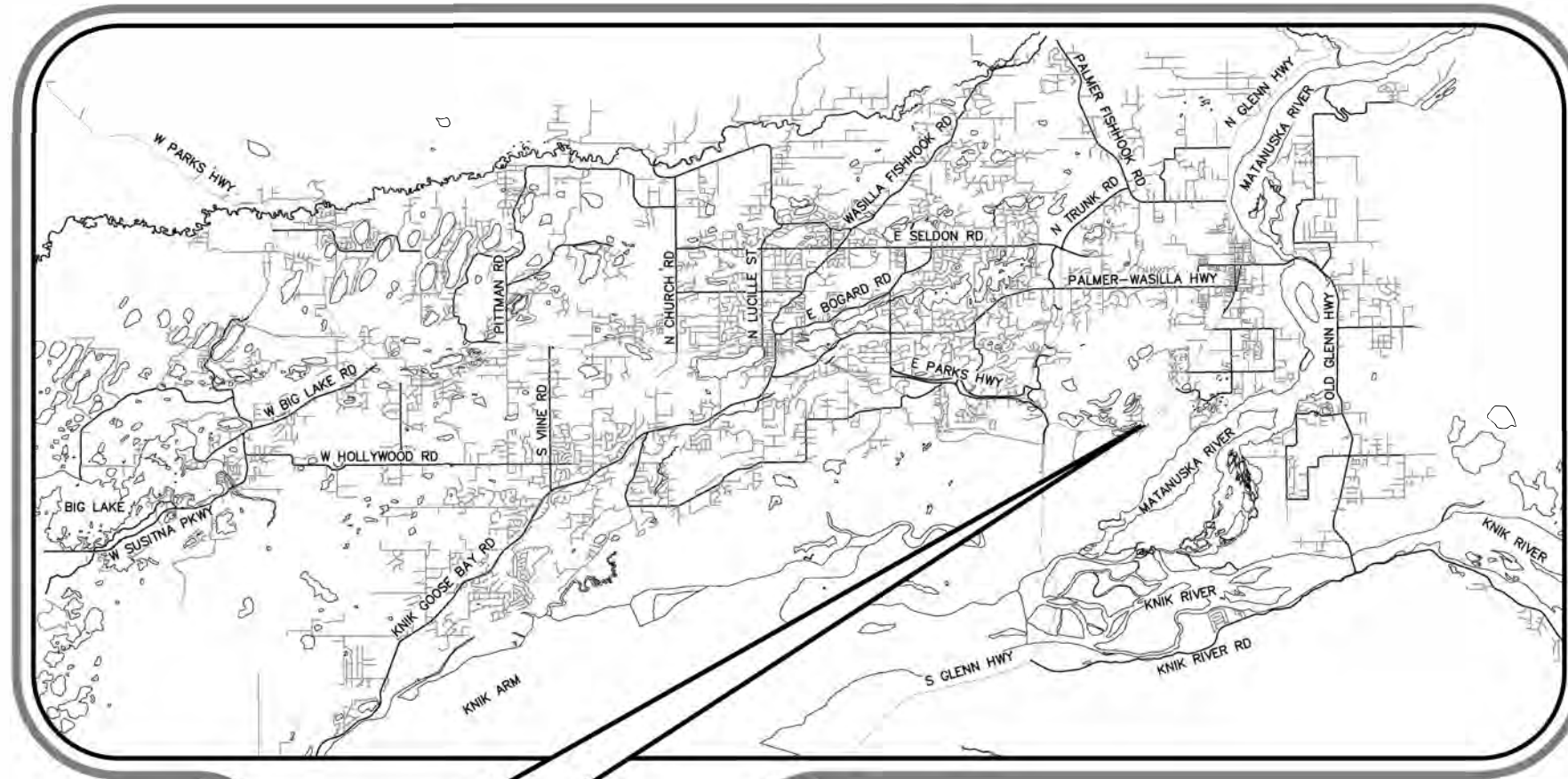
Other Conditions:

- 1. No public money will be spent on maintenance or capital improvements.
- 2. Roads within public right-of-ways or public easements are for public use and cannot be gated or blocked.
- 3. Trees belong to adjacent property owners. Trees left in the right-of-way shall be cut into 4' lengths. Other arrangements made between the Permittee and the property owners are acceptable.
- 4. Disturb and clear only that area necessary for permitted use.
- 5. In site specific locations where public rights-of-way widths are 100 feet or greater the Borough may authorize slit trenching to be in the (southern) (western) 20' of right-of-way.
- 6. All construction debris, including brush, limbs, tree tops, uprooted stumps, organic material and large rocks must be removed from narrow rights-of-way. Construction debris may not be placed onto adjacent properties without written authorization.
- 7. It is the applicant's responsibility to obtain any required permits from local, state, or federal agencies for the proposed construction.
- 8. Permits are subject to additional conditions, as deemed necessary by the Borough, to address special circumstances and construction limitations.
- 9. A Damage Bond and/or Liability Insurance may be required for the proposed construction activity.

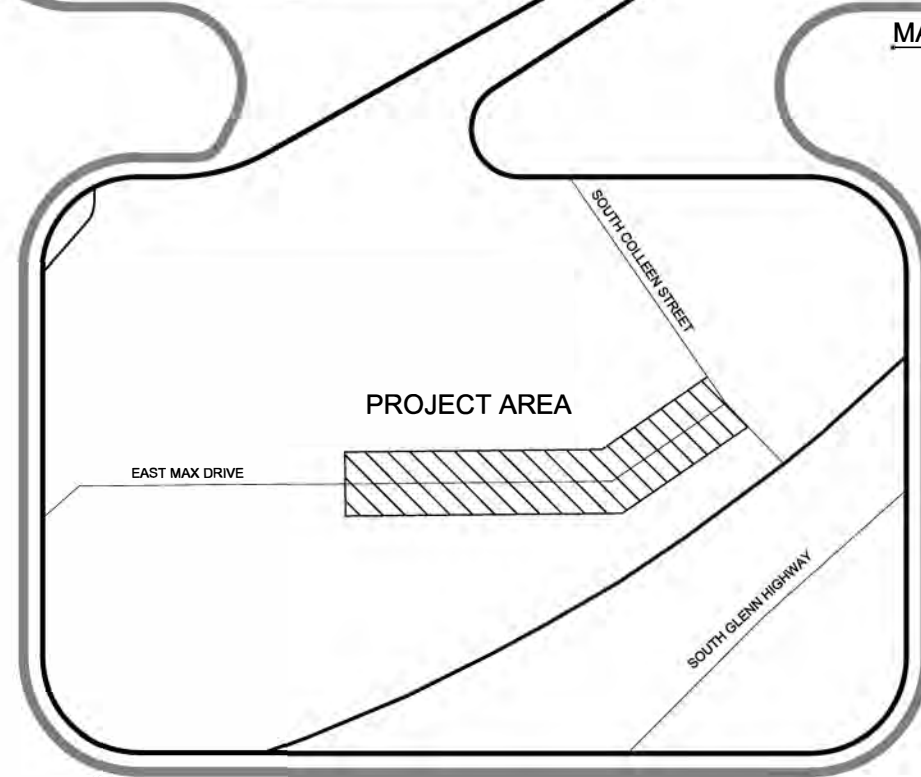
EAST MAX DRIVE

PALMER, AK

ROADWAY IMPROVEMENTS



MAT-SU BOROUGH CORE AREA
VICINITY MAP



EAST MAX DRIVE
VICINITY MAP
(NTS)

SHEET INDEX	
SHEET NO.	SUBJECT
C1	COVER SHEET
C2	GENERAL NOTES, ABBREVIATIONS, TYPICAL SECTION, ESTIMATING FACTORS
C3	LEGEND
C4-C5	ROADWAY PLAN & PROFILE



The Boutet Company, Inc.
601 E. 57th Place #102
Anchorage, AK. 99518
Ph. 907-522-6776
License No. AECC957

DATE: 5/22/2023

DRAWING LOCATION: W:\WassilaFiles\Max Drive\ACAD\TITLE SHEET.dwg
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 CHECKED BY: [blank]
 PLOTTED BY: [blank]
 PLOT DATE: 5/22/2023
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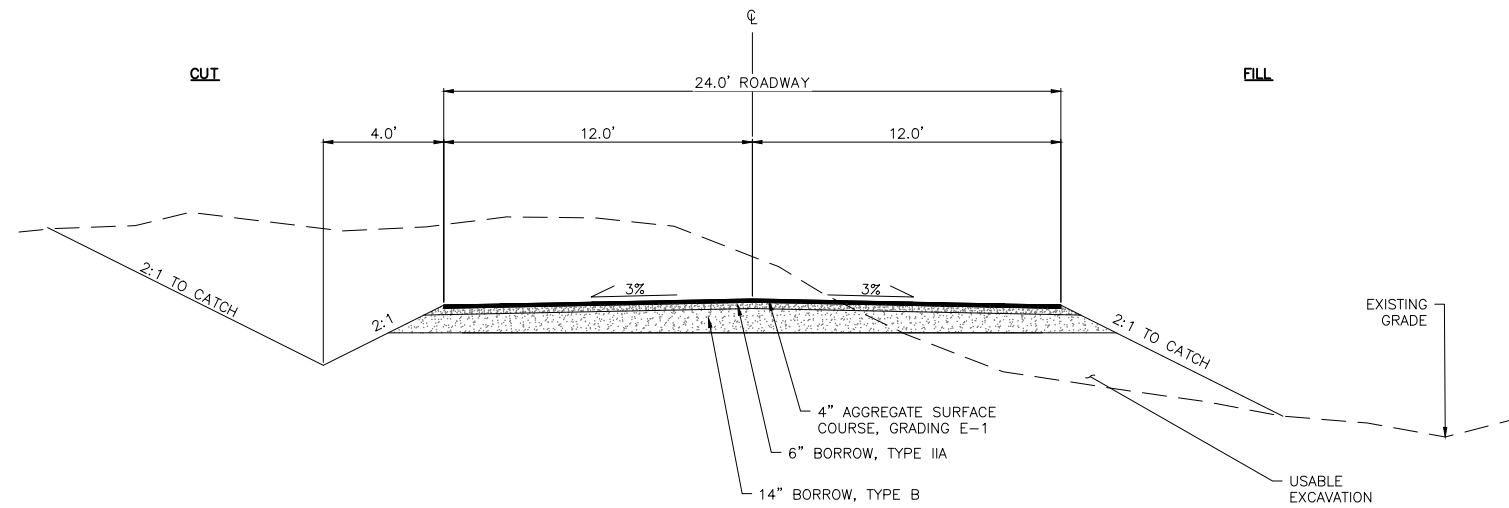
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5/22/2023
DATE
REDESIGN SMJ.DWG

GENERAL NOTES:

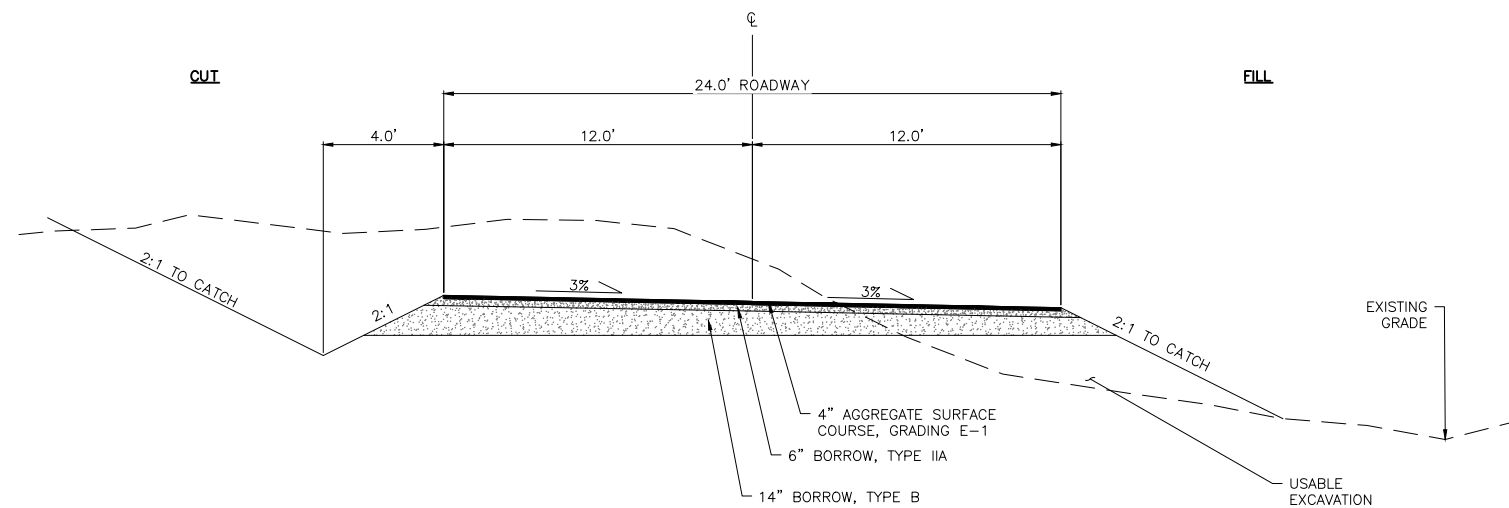
1. ALL CONSTRUCTION SHALL BE INSTALLED AS SPECIFIED IN 2017 ALASKA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED PROPERTY, INCLUDING DRAINAGE SWALES, DISTURBED BY CONTRACT ACTIVITIES TO PRE-CONSTRUCTION CONDITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AS NECESSARY TO COMPLY WITH FEDERAL, STATE, AND MUNICIPAL LAWS THAT PROHIBIT UNPERMITTED DISCHARGE OF POLLUTANTS, INCLUDING SEDIMENTS, THAT ARE A RESULT OF EROSION AND OTHER CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONDUCT ALL WORK SO SEDIMENT IS NOT TRANSPORTED ONTO THE ROADWAY OR ADJACENT PROPERTY. AT A MIN, THE CONTRACTOR SHALL SWEEP UP ANY SEDIMENT TRACKED ONTO PAVED SURFACES IN PUBLIC ROW DURING ALL WORK HOURS TO MINIMIZE THE WASH-OFF OF SEDIMENT INTO THE STORM DRAINS OR WATERWAYS.
4. FINISH GRADE (FG) REPRESENTS THE ELEVATION OF THE FINISHED SURFACE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SUBGRADE OR TOPSOIL TO ALLOW FOR FINISHED SURFACE MATERIAL DIMENSIONS. IF DETAIL IS PROVIDED FOR SPECIAL AREA, DETAIL SHALL DENOTE FINISH GRADES.

ABBREVIATIONS

ADEC	ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION	MAX	MAXIMUM
AL-MON	ALUMINUM MONUMENT	MDD	MAXIMUM DRY DENSITY
AWWA	AMERICAN WATER WORKS ASSOCIATION	MJ	MECHANICAL JOINT
AWG	AMERICAN WIRE GAUGE	MIN	MINIMUM
AWWU	ANCHORAGE WATER & WASTEWATER	#	NUMBER
APPROX	APPROXIMATE	NPT	NATIONAL PIPE THREAD
BGS	BELOW GROUND SURFACE	NSF	NATIONAL SANITATION FOUNDATION
BOP	BEGINNING OF PROJECT	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
BLDG	BUILDING	OC	ON CENTER
CL	CENTERLINE	O&M	OPERATIONS AND MAINTENANCE
CMP	CORRUGATED METAL PIPE	ORIG	ORIGINAL
CONST	CONSTRUCT	PFD	PALMER FIRE DEPARTMENT
COP	CITY OF PALMER	PVC	POLYVINYL CHLORIDE
COPSS	CITY OF PALMER STANDARD SPECIFICATIONS	PSI	POUNDS PER SQUARE INCH
DIA/Ø	DIAMETER	PL/℄	PROPERTY LINE
DIP	DUCTILE IRON PIPE	RT	RIGHT
ELEV	ELEVATION	ROW	RIGHT-OF-WAY
EOP	END OF PROJECT	SSMH	SANITARY SEWER MANHOLE
EX	EXISTING	SCH	SCHEDULE
FT	FOOT	SP	SINGLE PUMPER
F&I	FURNISH AND INSTALL	SF	SQUARE FEET/FOOT
FG	FINISHED GRADE	SS	STAINLESS STEEL
FH	FIRE HYDRANT	STD	STANDARD/STANDARDS
GALVS	GALVANIZED STEEL	STA	STATION
GV	GATE VALVE	TBM	TEMPORARY BENCHMARK
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TC	TOP OF CONCRETE
HMWPE	HIGH MOLECULAR WEIGHT POLYETHYLENE	TH	TEST HOLE
H	HORIZONTAL	TOP	TOP OF PIPE
IN	INCH/INCHES	VB	VAVLE BOX
INV	INVERT	V	VERTICAL
IPS	IRON PIPE SIZE	W/	WITH
L-POLE	LIGHT POLE	YPC	YELLOW PLASTIC CAP
LF	LINEAR FOOT/FEET		
LT	LEFT		



EAST MAX DRIVE AND THE TURN AROUND
TYPICAL SECTION #1
 10+35 - 15+50 EAST MAX DRIVE
 20+00 - 20+58 TURNAROUND



EAST MAX DRIVE AND THE TURN AROUND
TYPICAL SECTION #2
 15+50 - 16+98 EAST MAX DRIVE

ESTIMATING FACTORS	
ITEM DISCRIPTION	ESTIMATING FACTOR
BORROW, TYPE IIA/II	144 LB/CF
AGGREGATE SURFACE COURSE GRADING E-1	148 LB/CF



Know what's below.
Call before you dig.

VERIFY SCALE		THIS BAR REPRESENTS ONE INCH ON ORIGINAL DRAWING.		IF BAR IS NOT ONE INCH, ADJUST DRAWING SCALE ACCORDINGLY.		FULL SIZE SCALE HORZ SCALE: VERT SCALE:	
DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE
BASE			TELEPHONE				
TOPOGRAPHY			ELECTRIC				
PROFILE			CABLE TV				
SANITARY SEWER			TRAFFIC SIGNAL				
STORM SEWER			DESIGN				
WATER			QUANTITIES				
GAS			MUN. FINAL CHECK				
PLAN CHECK			REVISIONS				

The Boutet Company, Inc.
 601 E. 57th Place #102
 Anchorage, AK. 99518
 Ph. 907-522-6776
 License No. AECC957

95% REVIEW

CONSULTANT

EAST MAX DRIVE
 PALMER, ALASKA

CIVIL SITE & UTILITY IMPROVEMENTS

GENERAL NOTES, ABBREVIATIONS, TYPICAL SECTION, AND ESTIMATING FACTORS

HORZ SCALE: N/A
 VERT SCALE: N/A

DATE: 5/22/2023

SHEET **C2 OF C5**

FILE W:\WASILLAFILES\WAX DRIVE\ACAD\EAST MAX DRIVE - REDESIGN SM1.DWG
 DATE 5/22/2023
 LAYOUT LEGEND 3
 DESIGNED TA
 CHECKED HH
 DRAFTED CW

ROADWAY

	EXISTING	PROPOSED
EDGE OF PAVEMENT		
LIMIT OF CUT SLOPE & FILL SLOPE		
GRAVEL EDGE		
DRIVEWAY APPROACH		
SIDEWALK AND PATH/TRAIL		
CONCRETE CURB & GUTTER		
CONCRETE CURB CUT		
PARALLEL CURB RAMP PERPENDICULAR CURB RAMP		
UNIDIRECTIONAL CURB RAMP & MID-BLOCK CURB RAMP		
DETECTABLE WARNING TILE		
BRIDGE		
TUNNEL		
GUARDRAIL		
END & PARALLEL END SECTIONS		
ROADWAY OBLITERATION		
FENCE		
STONE FENCE		
NOISE BARRIER		
RETAINING WALL		
HEADWALL & WINGWALL		
BOTTOM OF DITCH		
SPECIAL DITCH		
FLAT BOTTOM DITCH		
BERM		
RIPRAP		
BOULDER OR BOULDERS		
PRIVATE SIGN, MAILBOX		
POST, BOLLARD		

UTILITIES

	EXISTING	PROPOSED
STORM DRAIN		
STORM DRAIN MANHOLE, CLEANOUT		
CURB INLET CATCH BASIN FIELD INLET CATCH BASIN		
PIPE CULVERT WITH END SECTION		
SANITARY SEWER		
SANITARY SEWER MANHOLE, CLEANOUT		
SEPTIC VENT, SEWER SERVICE CONNECTION		
WATER		
FIRE HYDRANT, VALVE OR RISER		
WELL, WATER SERVICE CONNECTION		
NATURAL GAS		
OIL OR GASOLINE PIPELINE		
TANKS (ABOVE GROUND, UNDERGROUND)		
ELECTRIC		
UTILITY POLE, POLE WITH LUMINAIRE		
GUY POLE, GUY WIRE ANCHOR		
TRANSMISSION TOWER (WOOD, STEEL)		
ELECTRIC PEDESTAL, TRANSFORMER		
ELECTRIC MANHOLE, METER		
ELECTRIC OUTLET, LANDSCAPE LIGHT		
TELEPHONE		
TELEPHONE MANHOLE, PEDESTAL		
FIBER OPTIC		
FIBER OPTIC MANHOLE		
CABLE TV		
CABLE TV PEDESTAL, SATELLITE DISH		
UNDERGROUND DUCT, UTILIDOR (ELECTRIC, TELEPHONE, FIBER OPTIC)		
VENT		

TRAFFIC

	EXISTING	PROPOSED
LOAD CENTER		
TRAFFIC & BEACON CONTROLLER		
TYPE 1A, II, III, IV JUNCTION BOX		
FIBER OPTIC VAULT		
ELECTROLIER		
HIGHTOWER		
SIGNAL POLE WITH MASTARM		
PEDESTRIAN PUSH BUTTON & SIGNAL		
VEHICULAR SIGNAL		
VEHICULAR SIGNAL LEFT & RIGHT		
OPTICAL, CAMERA, RADAR, AND GPS DETECTOR		
LOOP DETECTOR		
COMMUNICATION ANTENNA		
MASTARM BEACON		
RURAL & SCHOOL ZONE BEACON		
LOOP DETECTOR CONDUIT		
SIGNAL CONDUIT		
LIGHTING CONDUIT		
SIGNAL & LIGHTING CONDUIT		
CONDUIT BORING		
CONDUIT SIZE IN INCHES		
INTERCONNECT		
SIGN POST		

PAVEMENT MARKINGS

	EXISTING	PROPOSED
PROJECT CENTERLINE		
8" & 4" WHITE SOLID STRIPE		
4" WHITE SKIP STRIPE		
8" WHITE LANE GUIDE SKIP		
8" & 4" YELLOW SOLID STRIPE		
4" YELLOW SKIP STRIPE		

RIGHT-OF-WAY

	RECOVERED	SET THIS PROJECT
FEDERAL GOV'T SURVEY MONUMENT		
GOV'T CONTROL STATION		
PRIMARY MONUMENT (BRASS/AL CAP)		
MISC SECONDARY CORNER		
PRIMARY CENTERLINE MONUMENT		
SECONDARY CENTERLINE MONUMENT		
RANDOM CONTROL MONUMENT		
PRIMARY GPS CONTROL POINT		
HORIZONTAL CONTROL POINT		
SECONDARY CONTROL POINT		
VERTICAL BENCHMARK		
TEMPORARY BENCHMARK		
TOWNSHIP AND RANGE LINES		
SECTION LINE		
1/4 SECTION LINE		
1/16 SECTION LINE		
CORPORATE or CITY LIMITS		
EXISTING RIGHT-OF-WAY		
RIGHT-OF-WAY OR EASEMENT REQUIRED		
PROJECT RIGHT-OF-WAY LINE		
EXISTING RIGHT-OF-WAY EASEMENT		
EXISTING PROPERTY LINE		
CONTROLLED ACCESS LINE		
EXISTING UTILITY EASEMENT		
PROPOSED UTILITY EASEMENT		
EXISTING CENTERLINE		
RAILROAD CENTERLINE		
TEMPORARY CONSTRUCTION EASEMENT		
TEMPORARY CONSTRUCTION PERMIT		

TOPOGRAPHY

	EXISTING	PROPOSED
LAKE OR POND, WETLANDS		
TREE (CONIFER/DECIDUOUS) TREELINE (EDGE OF VEGETATION)		
PLANTER		
BUILDING OR FOUNDATION		
CONTOUR, MAJOR OR MINOR		
DRAINAGE FLOW		
CREEK (CENTERLINE)		
RIVER (EDGE OF WATER)		

tb
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EAST MAX DRIVE
PALMER, ALASKA

CIVIL SITE & UTILITY IMPROVEMENTS

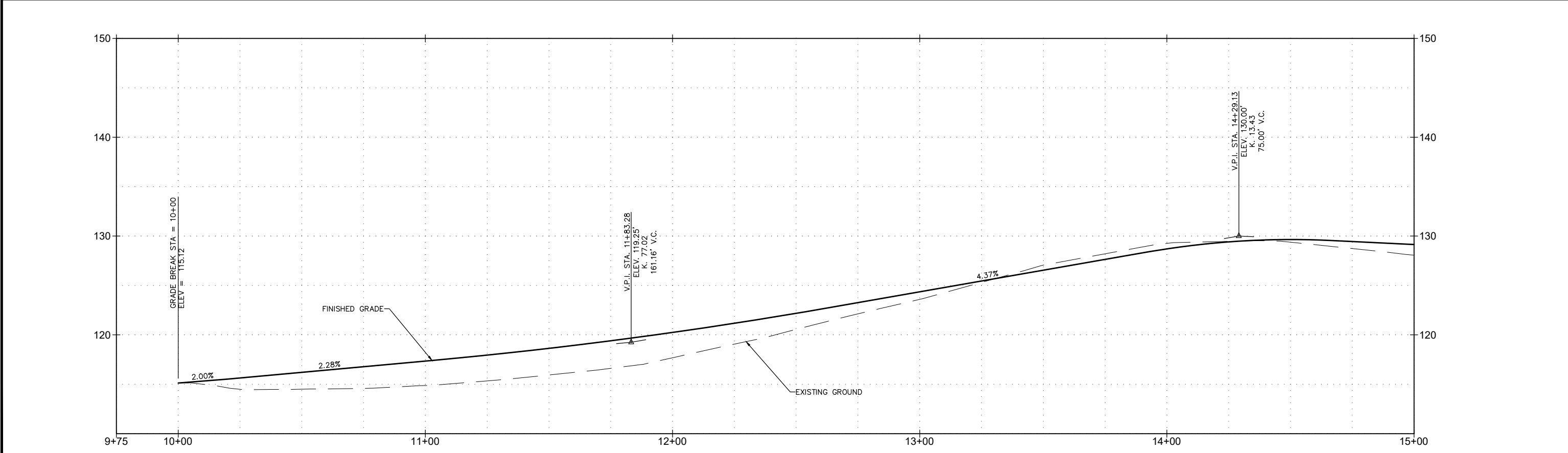
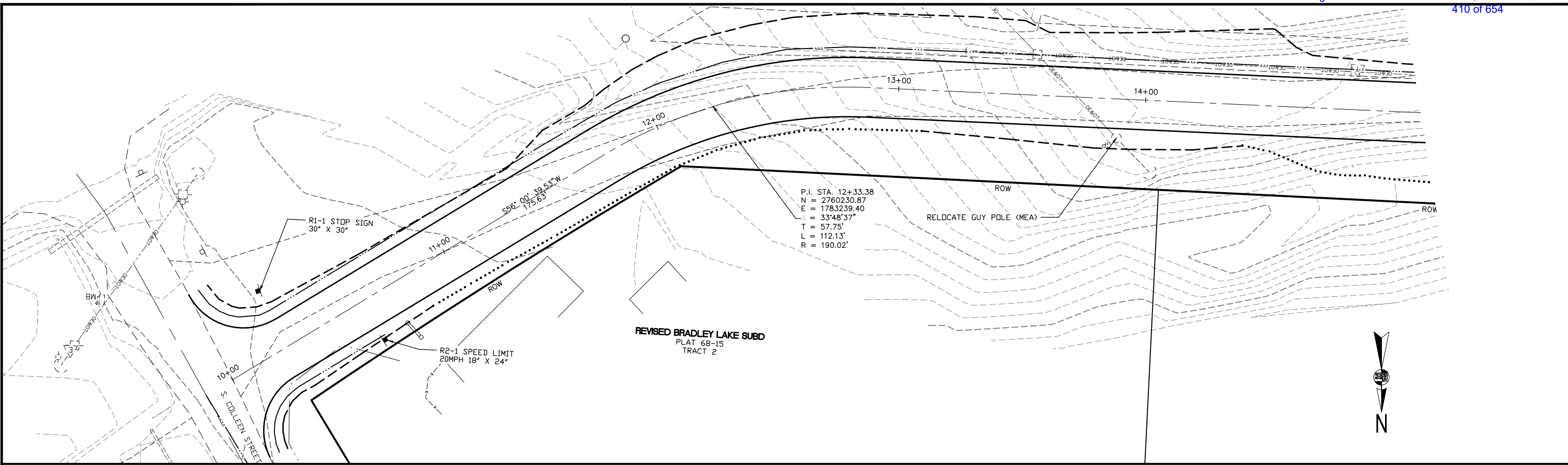
LEGEND

HORZ SCALE: N/A
VERT SCALE: N/A
DATE: 5/22/2023

CONSULTANT SEAL

SHEET **C3** OF **C5**

FILE W:\WASILLAFILES\MAX DRIVE\ACAD\EAST MAX DRIVE - REDESIGN SM.DWG
 DATE 5/22/2023
 LAYOUT
 DESIGNED TA
 CHECKED HH
 DRAFTED CW



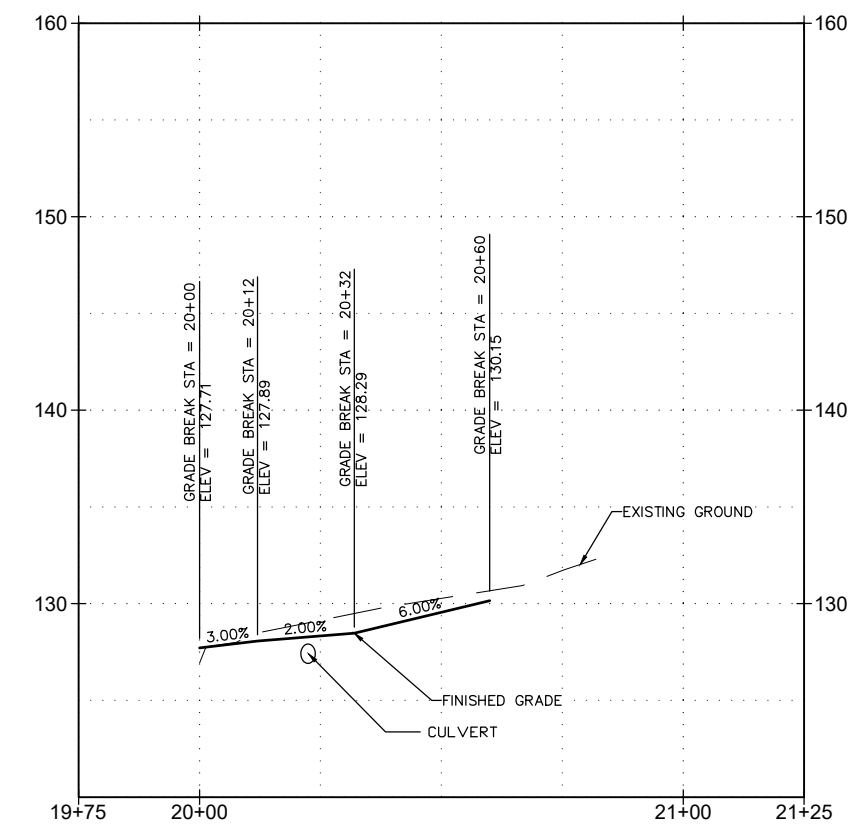
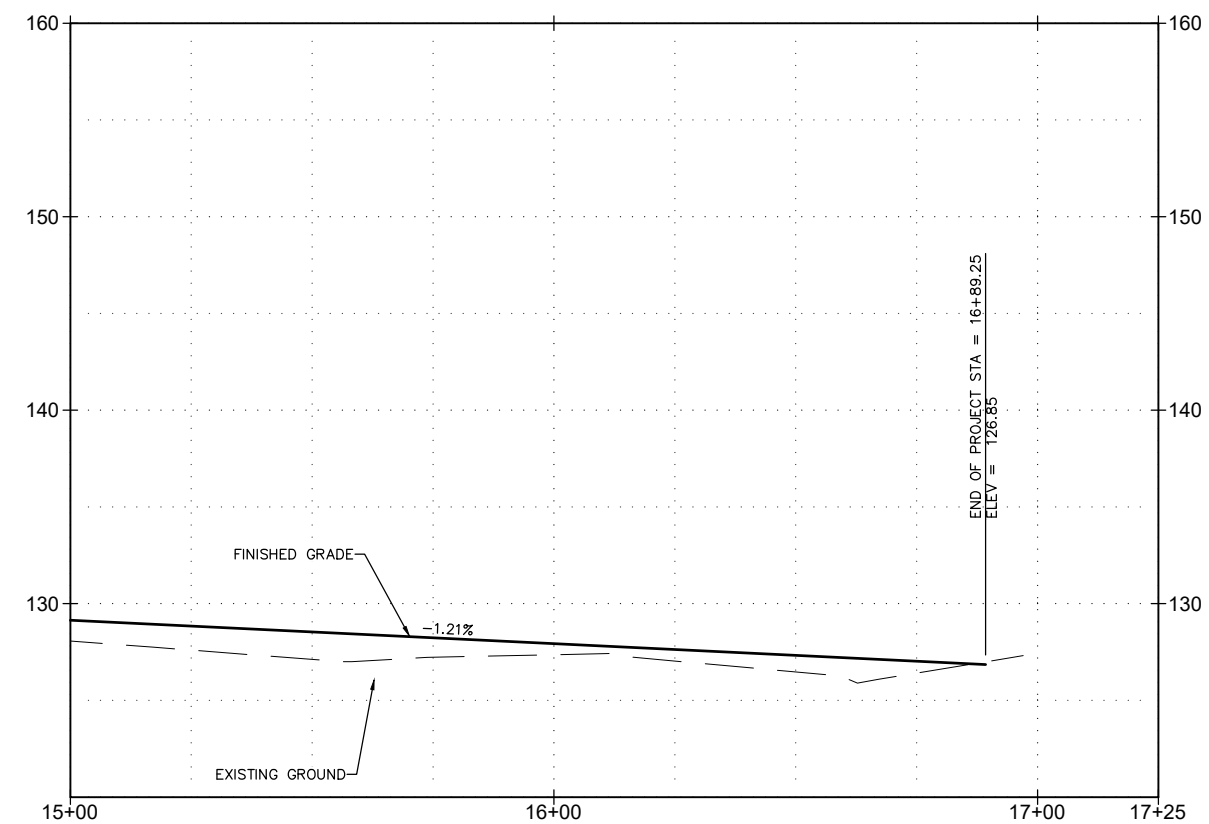
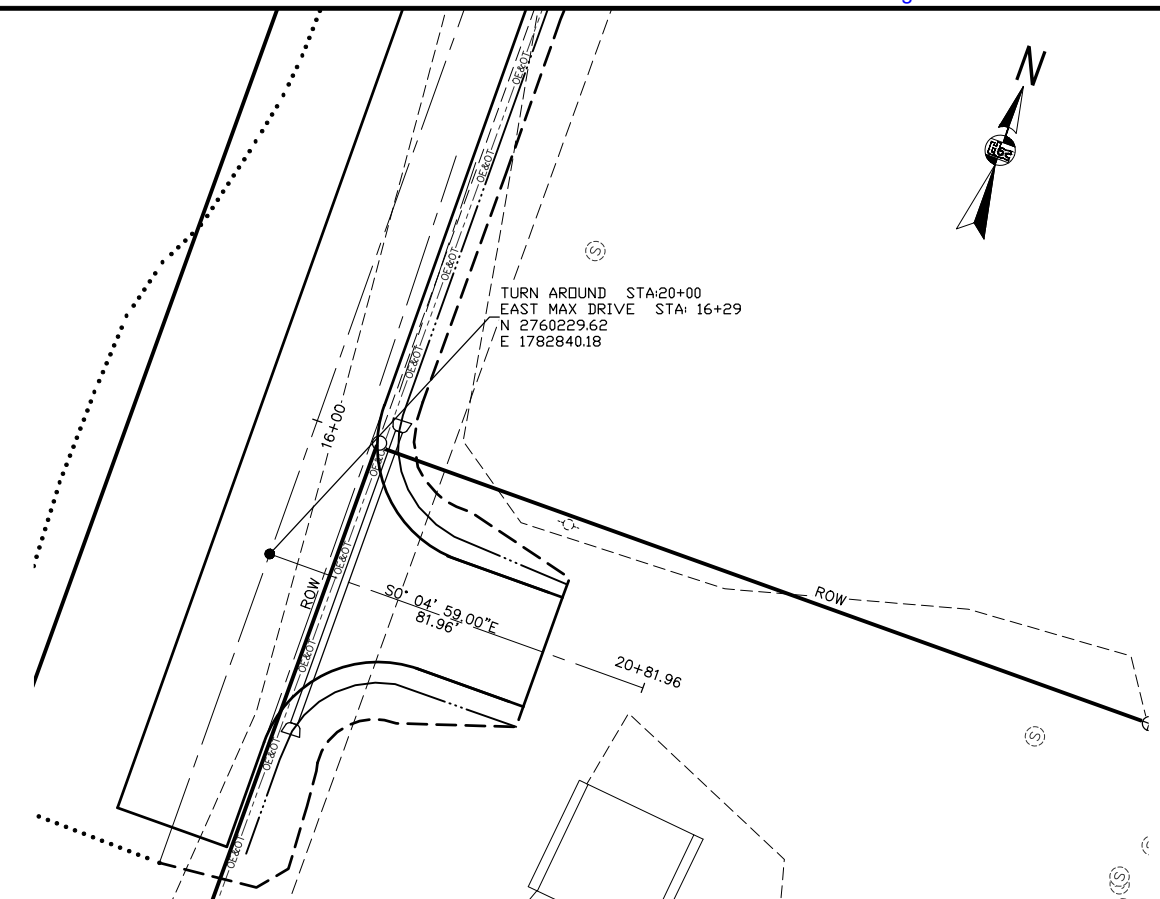
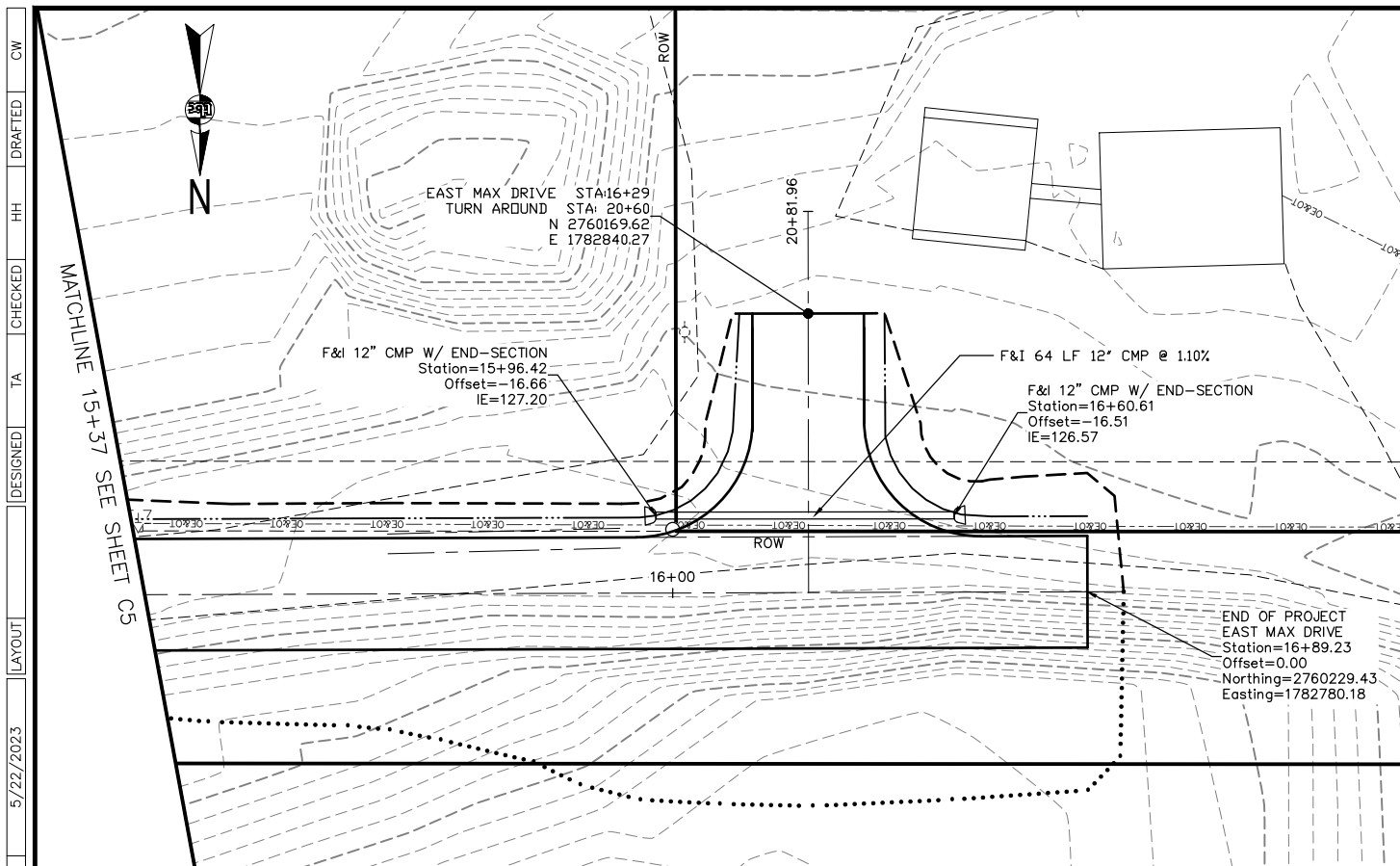
VERIFY SCALE		THIS BAR REPRESENTS ONE INCH ON ORIGINAL DRAWING.		IF BAR IS NOT ONE INCH, ADJUST DRAWING SCALE ACCORDINGLY.		FULL SIZE SCALE	
DATA	DRAWN BY	DATA	CHECKED BY	REV	DATE	DESCRIPTION	BY
BASE		TELEPHONE					
TOPOGRAPHY		ELECTRIC					
PROFILE		CABLE TV					
SANITARY SEWER		TRAFFIC SIGNAL					
STORM SEWER		DESIGN					
WATER		QUANTITIES					
GAS		MUN. FINAL CHECK					
PLAN CHECK				REVISIONS			

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CONSULTANT		SEAL

EAST MAX DRIVE
PALMER, ALASKA

CIVIL SITE & UTILITY IMPROVEMENTS
ROADWAY PLAN AND PROFILE

HORZ SCALE: 1"=20'	DATE: 5/22/2023	SHEET C4 OF C5
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VERIFY SCALE		THIS BAR REPRESENTS ONE INCH ON ORIGINAL DRAWING.		IF BAR IS NOT ONE INCH, ADJUST DRAWING SCALE ACCORDINGLY.		FULL SIZE SCALE HORZ SCALE: VERT SCALE:	
DATA	DRAWN BY	DATA	CHECKED BY	REV	DATE	DESCRIPTION	BY
BASE		TELEPHONE					
TOPOGRAPHY		ELECTRIC					
PROFILE		CABLE TV					
SANITARY SEWER		TRAFFIC SIGNAL					
STORM SEWER		DESIGN					
WATER		QUANTITIES					
GAS		MUN. FINAL CHECK					
PLAN CHECK				REVISIONS			

FILE: W:\AS\FILES\MAX DRIVE\ACAD\EAST MAX DRIVE - REDESIGN SM.DWG

DATE: 5/22/2023 LAYOUT: DESIGNED: TA: CHECKED: HH: DRAFTED: CW:

The Boutet Company, Inc.
601 E. 57th Place #102
Anchorage, AK. 99518
Ph. 907-522-6776
License No. AECC957

CONSULTANT

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SEAL

EAST MAX DRIVE
PALMER, ALASKA

CIVIL SITE & UTILITY IMPROVEMENTS

ROADWAY PLAN AND PROFILE

HORZ SCALE: 1"=20'
VERT SCALE: 1"=4'

DATE: 5/22/2023

SHEET **C5 OF C5**

From: [Brenda Butler](#)
To: [Rick Benedict](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#); [Randi Baker](#)
Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information
Date: Friday, March 29, 2024 1:09:53 PM
Attachments: [21126.00 Smoke Out Point - Site Plan 3-25-2024.pdf](#)
[24-120 AB Signed-2.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Attached is the updated Site Plan and As-Built Survey that should address the items on the latest RFAI. Please let us know if we can deem the CUP complete and get this application in front of the planning commission.

Thank you and Happy Friday!

On Fri, Jan 26, 2024 at 10:22 AM Brenda Butler <brenda@jdwcounsel.com> wrote:

Thank you Rick, we'll get on it.

Happy Friday!

On Fri, Jan 26, 2024 at 10:19 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good Morning Brenda,

I have reviewed the updated application materials submitted on January 9, 2024. Upon review, it has been determined that additional information is required. If you or your client have any questions, please let me know.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

--

**** Please REPLY ALL when responding to this Email****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
Phone: 907-231-3750
Fax: 360-483-3750
brenda@jdwcounsel.com
info@jdwcounsel.com

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JDW Counsel
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& Accounts Payable/Receivable
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Anchorage, Alaska 99503
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CORRESPONDENCE

From: [Anthony Wells](#)
To: [Rick Benedict](#)
Cc: brenda@jdwcounsel.com; jana@jdwcounsel.com
Subject: Re: Re:
Date: Thursday, May 30, 2024 12:51:49 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Rick,

Good afternoon. To answer your 1st question, if you are facing the north of the property the building on the left will remain.

2. Yes it's ok to come out to do a site visit. If you give me a call before you head out I can come meet you there.
3. I have no objections to using a drone.

I will see you either tomorrow or Monday.

Anthony Wells

On Thu, May 30, 2024, 8:49 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good morning Anthony,

Thank you for your responses. Which building is the one-story private residence that you said will remain? Looking north at the site plan you provided, is it the building on the left or on the right? The site plan does not describe the buildings.

In addition, I will need to conduct a site visit to obtain photos to include in my staff report. I do not need access to any of the buildings. I only require exterior photos to demonstrate the proposed use aligns with surrounding properties.

My goal is to get out to the property tomorrow or Monday. You do not have to be present for the site visit unless you wish to. Do you have any objections to this?

In addition, the Borough uses drones in some instances to obtain photos that may be difficult or unsafe due to various scenarios. Because of the proximity to the Glenn Highway road work and the steep hill adjacent to the roadway, I think acquiring photos with a drone would be a good option. Do you have any objections to me using this technology on your property to take photos? No up-close photos will be taken of the private residence. The subject of the photos will be the retail facility, the surrounding properties, and the roadways adjacent to the

property.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Anthony Wells <smopshop907@gmail.com>
Sent: Wednesday, May 29, 2024 7:02 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: brenda@jdwcounsel.com; jana@jdwcounsel.com
Subject: Re: Re:

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Rick,

- 1.No, the 2 story building is in the process of being taken down and will be complete by the end of July. The one story structure will remain standing and is resided in by a family member.
2. Yes
3. Yes
4. Yes we will provide directions and a map aswell as update directions on Apps like Google maps.
5.
The DOT has supersede anything we have done to the road. They fixed the road after replacing utility lines. The road is up to code and meets all requirements.
6. Yes we will maintain the portion of max drive we applied for the permit for. We agree to maintain the East side of Max Drive for the 2 years in the contract.

Please let me know if you have any other questions.

Thank you

Anthony Wells

On Wed, May 29, 2024, 12:34 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good morning Brenda,

Yes, the updated site plan concerning drainage was approved by our PD&E department. Thank you.

I do need to confirm the following information. I am writing the staff report for the public hearing and must confirm and/or clarify the following:

1. Will the two existing buildings depicted north of the proposed retail shop be demolished? If so, when? The previous narrative in the application indicated they would be removed.
2. Will signage be installed at the property's exit to direct departing customers towards Colleen Street?
3. Will signage be installed along the subject property's southern border, adjacent to the Glenn Hwy right-of-way, directing customers to use Colleen Street/Bradley Lake Avenue for access to the facility?
4. Will the facility's website provide access instructions and a map directing customers to use Colleen Street/Bradley Lake Avenue to access the site via the eastern portion of East Max Drive?
5. Anthony applied for a construction permit to improve the eastern portion of East Max Drive from the use's driveway to Colleen Street. Does Anthony intend to follow through with the construction permit and improve the roadway based on the submitted plans after ADOT completes the Glenn Highway Project? If so, what is the anticipated timeline for completion?
6. Does Anthony intend to maintain the eastern portion of East Max Drive to Colleen

Street upon completion of the improvements to the roadway?

Thank you,

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Brenda Butler <brenda@jdwconsult.com>
Sent: Tuesday, May 28, 2024 4:42 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Jana Weltzin <jana@jdwconsult.com>; Anthony Wells <smopshop907@gmail.com>
Subject: Re:

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Does this updated site plan give you everything you need?

On Fri, May 24, 2024 at 11:33 AM Anthony Wells <smopshop907@gmail.com> wrote:

----- Forwarded message -----

From: **Matthew Wilson** <mwilson@907architecture.com>
Date: Fri, May 24, 2024, 11:19 AM
Subject: RE:
To: Anthony Wells <smopshop907@gmail.com>

Anthony,

Here you go.

Thanks,

Matt Wilson, AIA
907 Architecture LLC
907.373.9503 (office)
907.632.6487 (cell)_

From: Anthony Wells <smopshop907@gmail.com>
Sent: Friday, May 24, 2024 11:06 AM
To: Matthew Wilson <mwilson@907architecture.com>
Subject:

Matt plz remove this part marked in red and make it grass as it is not necessary and it should meet everyone's requirements.. thank you I hope you have a grate weekend

--

***** Please REPLY ALL when responding to this Email*****

Brenda Butler
JDW Counsel
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& Accounts Payable/Receivable
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From: [Rick Benedict](#)
To: [Brenda Butler](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#)
Subject: RE: Re:
Date: Wednesday, May 29, 2024 12:34:00 PM

Good morning Brenda,

Yes, the updated site plan concerning drainage was approved by our PD&E department. Thank you.

I do need to confirm the following information. I am writing the staff report for the public hearing and must confirm and/or clarify the following:

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6. Does Anthony intend to maintain the eastern portion of East Max Drive to Colleen Street upon completion of the improvements to the roadway?

Thank you,

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Brenda Butler <brenda@jdwcounsel.com>
Sent: Tuesday, May 28, 2024 4:42 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>

Cc: Jana Weltzin <jana@jdwounsel.com>; Anthony Wells <smopshop907@gmail.com>
Subject: Re:

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

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On Fri, May 24, 2024 at 11:33 AM Anthony Wells <smopshop907@gmail.com> wrote:

----- Forwarded message -----

From: **Matthew Wilson** <mwilson@907architecture.com>

Date: Fri, May 24, 2024, 11:19 AM

Subject: RE:

To: Anthony Wells <smopshop907@gmail.com>

Anthony,

Here you go.

Thanks,

Matt Wilson, AIA
907 Architecture LLC
907.373.9503 (office)
907.632.6487 (cell)_

From: Anthony Wells <smopshop907@gmail.com>

Sent: Friday, May 24, 2024 11:06 AM

To: Matthew Wilson <mwilson@907architecture.com>

Subject:

Matt plz remove this part marked in red and make it grass as it is not necessary and it should meet everyone's requirements.. thank you I hope you have a grate weekend

--

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Brenda Butler

JDW Counsel

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From: [Anthony Wells](#)
To: [Jana Weltzin](#); [Brenda Butler](#); [Rick Benedict](#)
Subject: Fwd:
Date: Friday, May 24, 2024 11:34:27 AM
Attachments: [21126.00 Smoke Out Point - Site Plan 5-24-2024 REV 3.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

----- Forwarded message -----

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Date: Fri, May 24, 2024, 11:19 AM
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From: [Brenda Butler](#)
To: [Rick Benedict](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#); [Randi Baker](#)
Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information
Date: Thursday, April 4, 2024 3:25:20 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Looking forward to the hearing, it's been a long road for the licensee. Thank you for pointing out the missing legend, Anthony is going to contact the architect and get the legend added, we'll send it to you as soon as we get it. The ADA parking space will be a compact surface, either asphalt or concrete once the ground thaws, please add this as a condition of approval. Do you have an idea on a timeframe for the condition so Anthony can plan accordingly? As for the hours, would it be more acceptable for the retail store to open from 10am until 10pm Sunday through Thursday and 10am until Midnight Friday and Saturday? This way the retail store is considering the residents during the work week and allowing for additional hours on weekends?

Thank you

On Thu, Apr 4, 2024 at 1:21 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hello Brenda,

I think we have enough complete to get this scheduled for the June 17th PC public hearing. There are a couple of issues on the updated site plan that I'd like to touch on. First, there needs to be a legend on the site plan to denote the features of the subject property.

Second, ADA parking must be a compact surface, gravel is not acceptable. Does your client intend to asphalt or pour concrete for the ADA spaces? This will have to be added as a condition of approval on the permit if not already completed.

Third, the PC may take issue with the proposed operational hours of 8am to midnight, seven days a week. The application seemed to suggest that the hours were not set yet. Because residential uses are nearby, is your client open to considering shorter operational hours?

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Brenda Butler <brenda@jdwcounsel.com>

Sent: Friday, March 29, 2024 1:08 PM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Cc: Jana Weltzin <jana@jdwcounsel.com>; Anthony Wells <smopshop907@gmail.com>;
Randi Baker <randi@jdwcounsel.com>

Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility -
Request for Additional Information

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Attached is the updated Site Plan and As-Built Survey that should address the items on the latest RFAI.

Please let us know if we can deem the CUP complete and get this application in front of the planning commission.

Thank you and Happy Friday!

On Fri, Jan 26, 2024 at 10:22 AM Brenda Butler <brenda@jdwcounsel.com> wrote:

Thank you Rick, we'll get on it.

Happy Friday!

On Fri, Jan 26, 2024 at 10:19 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good Morning Brenda,

I have reviewed the updated application materials submitted on January 9, 2024. Upon review, it has been determined that additional information is required. If you or your client have any questions, please let me know.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

--

***** Please REPLY ALL when responding to this Email *****

Brenda Butler

JDW Counsel

Senior Paralegal, Notary Public

& Accounts Payable/Receivable

901 Photo Avenue, Second Floor

Anchorage, Alaska 99503

Phone: 907-231-3750

Fax: 360-483-3750

brenda@jdwcounsel.com

info@jdwcounsel.com

The author of this email is not an attorney. This communication does not constitute legal advice and should not be construed as such. The information contained in this message is privileged and confidential. It is intended only to be read by the individual or entity named above or their designee. If the reader of this message is not the intended recipient, you are on notice that any distribution of this message, in any form is strictly prohibited. If you have received this message in error, please immediately notify the sender by telephone at 630-913-1113 and delete or destroy any copy of this message. Thank you.

Think green, please don't print unnecessarily

--

***** Please REPLY ALL when responding to this Email*****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
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COMMENTS



Matanuska-Susitna Borough

Development Services Division

Request for Review

Contact: Phone:

Due Date:

Project:

Special Considerations

Reviewed By: Date:

No Comment:

Comments:

PROPERTY INFORMATION

LEGAL DESCRIPTION:
BRADLEY LAKE SUBDIVISION, BLOCK 2, LOT 1A

PLAT NO.
81-156

STREET ADDRESS:
10600 E. MAX DRIVE, PALMER, ALASKA

SIZE:
0.86 ACRES

907 Architecture, LLC
PO Box 875570, Westhill, Alaska 99687
PH 907.632.6487

10600 E. MAX DR, PALMER, ALASKA

SMOKE OUT POINT

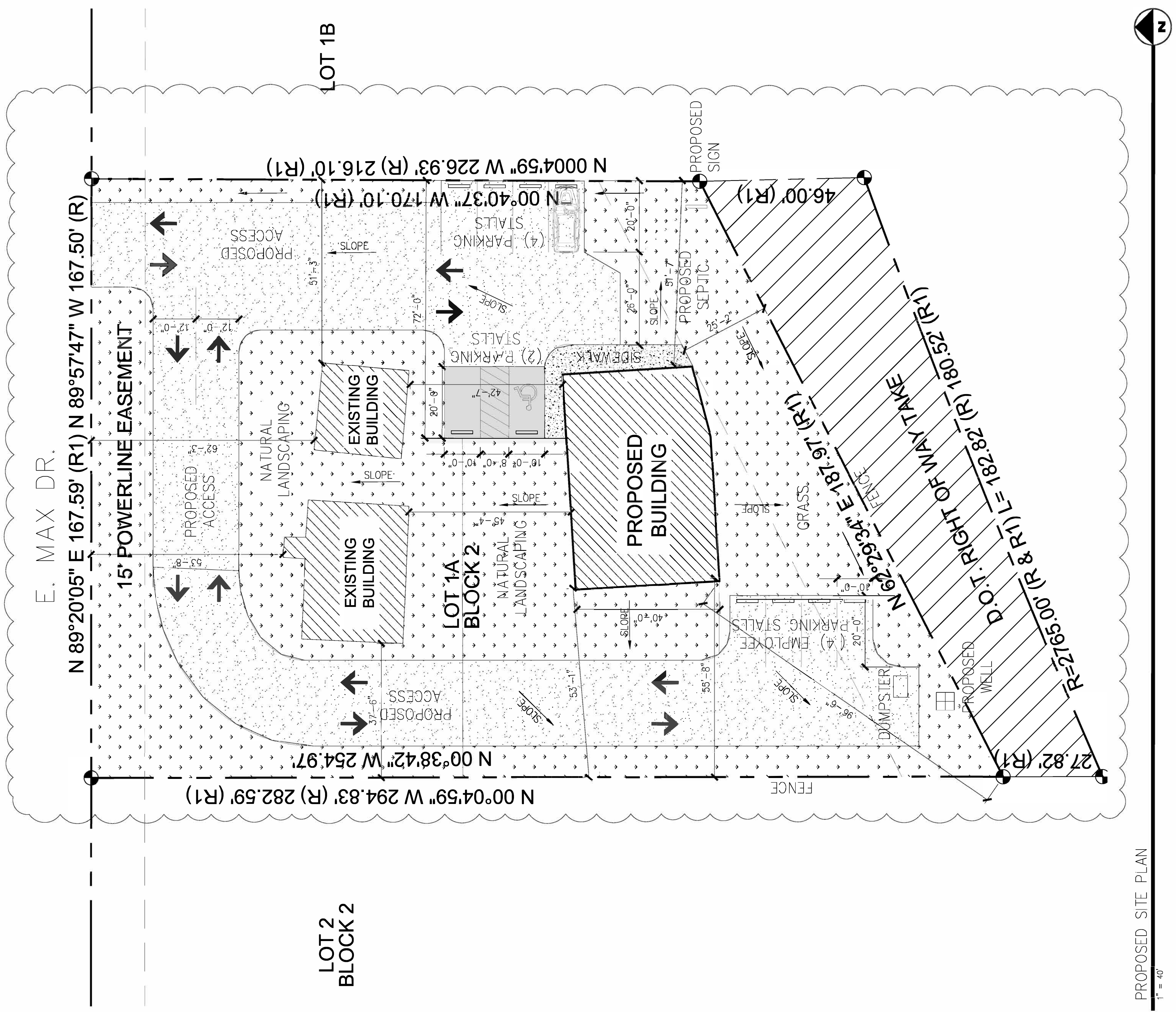
PROPOSED
SITE PLAN

REVISIONS:
10.7.21 ADDED DIMENSIONS
4.29.22 OWNER REVISIONS
6.7.22 OWNER REVISIONS
6.7.22 OWNER REVISIONS
8.26.22 OWNER REVISIONS
7.14.23 OWNER REVISIONS
2.15.24 OWNER REVISIONS
3.25.24 OWNER REVISIONS
4.9.24 OWNER REVISIONS
5.24.24 MSB REVISIONS

DRAWN BY: MFW
CHECKED BY: MFW
DATE: 5.24.2024
JOB NUMBER: 21126.00

SHEET CONTENTS:
PROPERTY INFO
PROPOSED SITE PLAN

CATEGORY
G 1.2
SHEET



PROPERTY INFORMATION

LEGAL DESCRIPTION:
BRADLEY LAKE SUBDIVISION, BLOCK 2, LOT 1A

PLAT NO.
81-156

STREET ADDRESS:
10600 E. MAX DRIVE, PALMER, ALASKA

SIZE:
0.86 ACRES

LEGEND

- PROPERTY LINES
- EASEMENT LINES
- ROADWAY, PAVED
- DRAINAGE (WATER FLOW)
- TRAFFIC FLOW
- NATURAL VEGETATION
- NEW PAVING (ASPHALT)
- NEW SIDEWALK (CONCRETE)
- NEW GRAVEL

PROPOSED SITE PLAN

1" = 40'

PLOTTING DATE:

XREF:



From: [Daniel Dahms](#)
To: [Rick Benedict](#)
Cc: [Brad Sworts](#); [Jamie Taylor](#); [Tammy Simmons](#)
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Wednesday, May 1, 2024 11:08:09 AM

Rick,

Based on 2019 contours, the existing drainage patterns show that runoff from the lot will discharge to Lot 2 Block 2 and sheet flow over Max Drive to the parcels to the north. Since the proposed construction will turn existing gravel surfaces into paved surfaces, the stormwater runoff generated from the site will increase. To account for this, a retention basin or similar drainage feature should be designed and constructed on the site to retain the increased runoff.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 9:43 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Anthony Wells, on behalf of Smoke Out Point

LOCATION: 10600 E. Max Drive, Palmer, AK 99645; Tax ID# 2209B02L001A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before **Friday, May 31, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: [Permit Center](#)
To: [Rick Benedict](#)
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Friday, April 26, 2024 11:12:48 AM

Hi Rick. No comments from the Permit Center for this. Thanks.

Brandon Tucker

Permit Technician

[Matanuska-Susitna Borough Permit Center](#)

350 E Dahlia Ave

Palmer AK 99645

P (907) 861-7871

F (907) 861-8158

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 9:43 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Anthony Wells, on behalf of Smoke Out Point

LOCATION: 10600 E. Max Drive, Palmer, AK 99645; Tax ID# 2209B02L001A

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Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough

(907)861-8527 direct

Agency Comments

From: [Huling, Kristina N \(DOT\)](#)
To: [Rick Benedict](#)
Cc: [Baski, Sean M \(DOT\)](#); [Beckwith, Morris R \(DOT\)](#); [Bosin, Anna D \(DOT\)](#); [Brad Sworts](#); [Rearden, Devki \(DOT\)](#); [Walsh, Matthew H \(DOT\)](#)
Subject: DOT&PF CUP Comment Letter - Smoke Out Point, Shoreline Cannabis
Date: Monday, May 13, 2024 1:03:53 PM
Attachments: [5-13-24 DOT&PF CUP Comment Letter - Smoke Out Point LLC, Shoreline Cannabis LLC.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Rick,

Attached are DOT&PF agency comments for the Smoke Out Point and Shoreline Cannabis Conditional Use Permits.

Thank you,

Kristina Huling

Mat-Su Area Planner | 907.269.0509
Alaska DOT&PF, Anchorage; Planning



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

Department of Transportation and Public Facilities

Division of Project Delivery
Anchorage Field Office

4111 Aviation Avenue
P.O. Box 196900
Anchorage, AK 99519-6900
Main: 907-269-0520
Fax: 907-269-0521
dot.alaska.gov

May 13, 2024

Rick Benedict, Planner II
Development Services Division
Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645

[Sent Electronically]

Re: Conditional Use Permit Review

Dear Mr. Benedict:

The Alaska Department of Transportation and Public Facilities (DOT&PF) Central Region has reviewed the following conditional use permits and have the following comments:

- **CUP M10302 – Conditional Use Permit for Marijuana Related Facilities – MSB 17.60 – Lake Landing Investments, LLC DBA Shoreline Cannabis (Palmer-Wasilla Highway)**
 - Please ensure that driveway permit is current.
 - Future access from the Palmer-Wasilla Highway may be limited to right turns in and right turns out only.
 - Future access to property may be limited to Snider Drive only. Please consider this in your site plans.

- **CUP M10261 – Conditional Use Permit for Marijuana Related Facilities – MSB 17.60 – Smoke Out Point LLC, DBA Smoke Out Point (Glenn Highway)**
 - No direct access to the Glenn Highway will be permitted. All access must be through Max Drive.
 - All utilities must access through Max Drive, no utility connections through the Glenn Highway or Glenn Highway right of way.
 - Please ensure that well, fence, septic, and business sign, including any overhang from the sign, are outside of the Glenn Highway right of way.
 - Please be advised that this site is within the corridor of the [Glenn Highway MP 34-42 Reconstruction Project](#) which is in active construction. Further questions about the project can be directed to project manager Ericka Moore at ericka.moore@alaska.gov or (907) 269-0450.

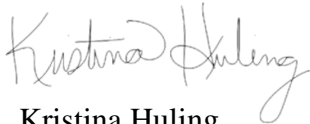
All properties accessing DOT&PF roads must apply to Right of Way for a driveway permit and/or approach road review, subject to provisions listed in 17 AAC 10.020. Any previously issued access permits become invalid once the property undergoes a platting action or change in use and must be reissued.

We recommend the petitioner verify all section line easements and DOT&PF road rights-of-way adjacent to their property. For assistance, the petitioner may contact the Engineering group within the Right of Way section in DOT&PF at (907) 269-0700. The petitioner is liable to remove any improvements within the easements and rights-of-way that impede the operation and maintenance of those facilities even if they are not shown on the plat, so it is in the petitioner's best interest to identify the exact locations and widths of any such easements or rights-of-way before they improve the property.

If any section line easements or road rights-of-way exist within the bounds of their plat, we recommend the petitioner dedicate them. If there is an existing right-of-way or easement, the petitioner is unable to develop that portion of the property yet continues to pay property taxes on it; dedicating will remove that cost to the petitioner.

If there are any questions regarding these comments please feel free to contact me at (907) 269-0509 or kristina.huling@alaska.gov.

Sincerely,



Kristina Huling
Mat-Su Area Planner, DOT&PF

cc: Sean Baski, Highway Design Chief, DOT&PF
Matt Walsh, Property Management Supervisor, Right of Way, DOT&PF
Devki Rearden, Engineering Associate, DOT&PF
Morris Beckwith, Right of Way, DOT&PF
Brad Sworts, Pre-Design & Engineering Div. Manager, MSB
Anna Bosin, Traffic & Safety Engineer, DOT&PF

From: [Fire Code](#)
To: [Rick Benedict](#)
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Thursday, April 25, 2024 4:07:14 PM
Attachments: [image001.png](#)

10600 E. Max Drive, Palmer is not in our jurisdiction, so our division has not plan reviewed this facility. You will need to notify the State Fire Marshal’s office at dps.prb@alaska.gov.



NOTE: 13 AAC 50.027 prohibits the beginning of any construction, repair, remodel, addition or change of occupancy of any structure regulated by the Fire Marshal until plans and specifications have been reviewed and approved.

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Thursday, April 25, 2024 9:43 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Anthony Wells, on behalf of Smoke Out Point

LOCATION: 10600 E. Max Drive, Palmer, AK 99645; Tax ID# 2209B02L001A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](http://www.matsugov.us)

Comments are due on or before **Friday, May 31, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner

Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

Public Comments

From: [Gateway Community Council](#)
To: [Rick Benedict](#)
Subject: Re: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility
Date: Friday, May 10, 2024 4:39:58 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mr. Wells,

The GCC met on 8 May 24. Mr. Wells attended our meeting. He shared all the updates on his applications and answered any questions asked by members. The GCC voted to submit that we have no comments to provide on this application. We realize this has to go to the public for testimony on 17 Jun, then to the Borough. I'm told that this should be all you need from us. I'm still learning the process on these matters.

Thank you,

v/r
Michelle Dempsey
President, GCC

From: Rick Benedict <Rick.Benedict@matsugov.us>
Date: Monday, May 6, 2024 at 12:14 PM
To: Gateway Community Council <GatewayCommunityCouncil@gmail.com>
Cc: sandy traini <sandytraini@hotmail.com>, dick traini <dtraini@msn.com>, Chad Ragsdale <tokawear@outlook.com>, Tim Alley <talley@tbca.com>, Timothy Breeden <timothy.breeden@nrim.com>, Anthony Wells <smopshop907@gmail.com>, Brenda Butler <brenda@jdwcounsel.com>, Jana Weltzin <jana@jdwcounsel.com>, Jason Ortiz <Jason.Ortiz@matsugov.us>, Erin Dooling <Erin.Dooling@matsugov.us>
Subject: RE: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

Good afternoon Michelle,

The borough recommends that the applicant and/or their representative conduct the requested update and Q&A session for the GCC regarding this application. This ensures they can advocate for themselves and work with the GCC to resolve or update their proposed plans resulting from community feedback, if applicable. I have copied the applicant, Anthony Wells, and their representative, JDW LLC, in these communications for their availability.

Upon conclusion of the community meeting, please provide any comments for inclusion in my staff report to the Planning Commission. Should the GCC ultimately show favor for this operation but have comments, concerns, or recommendations, that feedback will be included in my staff report and potentially lead to conditions of approval. The Planning Commission is the deciding body and has the final authority for approvals or denials of these permits.

Here is a link to code MSB 17.60, along with the standards the Planning Department considers concerning marijuana retail facility applications:

[Chapter 17.60 CONDITIONAL USES \(codepublishing.com\)](#)

MSB 17.60.100 General Standards

(A) A conditional use may be approved only if it meets with the requirements of this section in addition to any other standards required by this chapter.

(B) In granting a conditional use permit, the planning commission must make the following findings:

- (1) the conditional use will preserve or not detract from the value, character, and integrity of the surrounding area;
- (2) that granting the conditional use permit will not be harmful to the public health, safety, convenience, and welfare;
- (3) that sufficient setback, lot area, buffers, or other safeguards are being provided to meet the conditions listed in subsections (B)(1) through (3) of this section; and
- (4) the conditional use fulfills all other requirements of this chapter pertaining to the conditional use in this section.

MSB 17.60.150 Standards for Marijuana-Related Facilities

(A) In addition to the standards set forth by MSB [17.60.100](#), the planning commission shall weigh factors which contribute or detract from the development of a safe, convenient, and attractive community, including, but not limited to:

- (1) any potential negative effect upon other properties in the area due to such factors as noise and odor.
- (2) the effectiveness of measures to reduce negative effects upon adjacent properties by:
 - (a) increased property line and right-of-way buffers;
 - (b) planted berms and landscaping;
 - (c) site and building design features which contribute to the character of the surrounding area.
- (3) whether the use is compatible with the character of the surrounding area.

(B) At the time of their establishment, marijuana related conditional uses shall meet the following requirements and not be located within:

- (1) one thousand feet of school grounds;

(C) Separation distances referenced in subsection (B) of this section are measured in a direct line between the closest point of the facility within which the marijuana facility is located, and the closest point on the lot or parcel of land upon which any of the above itemized uses are located.

(D) Prior to final approval of the permit the applicant shall provide written documentation demonstrating that:

- (1) all applicable licenses have been obtained as required by [3 AAC 306.005](#).
- (2) from the fire marshal having jurisdiction, that the proposed conditional use is in full compliance with applicable fire code, including but not limited to AS [18.70.010](#) through [18.70.160](#), Fire Protection, and [13 AAC 50.025](#) through 50.080, Fire Code.

MSB 17.60.170 Standards for Marijuana Retail Facilities

(A) Marijuana retail facilities shall only be approved upon finding by the commission that the proposed facility is located on a parcel that is appropriate for commercial use. At a minimum, the commission shall consider:

- (1) proximity of the proposed use to existing businesses;
- (2) proximity to parcels developed for residential use; and
- (3) whether roads associated with the proposed use have been, or will be, appropriate for commercial use.

(B) The minimum number of parking spaces for retail facilities shall be one space per 350 square feet of net floor area. Each parking space shall be at least: 20 feet in length, ten feet wide, and have a vertical clearance of at least seven feet.

(C) Parking spaces shall be provided to comply with current Americans with Disabilities Act guidelines.

(D) On-site consumption of marijuana is prohibited.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Gateway Community Council <gatewaycommunitycouncil@gmail.com>

Sent: Sunday, May 5, 2024 7:27 PM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Cc: sandy traini <sandytraini@hotmail.com>; dick traini <dtraini@msn.com>; Chad Ragsdale <tokawear@outlook.com>; Tim Alley <talley@tbca.com>; Timothy Breeden <timothy.breeden@nrim.com>

Subject: Re: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

It's Michelle Dempsey, I'm the new GCC Chair, would you like to come 8 May 24, 600 pm to our meeting and give a 10 minute update/10 mins for Q&A and on this subject? We have a response due by 31 May from our council. I will advertise this public hearing on our Facebook page and website for the citizens in our community to be aware in case they want to attend the public hearing. We have a full schedule so we can't take more the 20-30 minutes on this. Would you be interested in coming to our meeting, if so I'll add you to our agenda. We met at the Extreme Fun Center upstairs.

v/r

Michelle Dempsey

From: Rick Benedict <Rick.Benedict@matsugov.us>

Date: Thursday, April 25, 2024 at 9:43 AM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Subject: Request for Review and Comments: MSB 17.60 – Conditional Use for Marijuana Retail Facility

APPLICANT: Anthony Wells, on behalf of Smoke Out Point

LOCATION: 10600 E. Max Drive, Palmer, AK 99645; Tax ID# 2209B02L001A

An application for a Conditional Use Permit under MSB 17.60 – Conditional Uses for the Operation of a Marijuana Retail Facility. The Planning Commission will conduct a public hearing on this request on **Monday, June 17, 2024, at 6:00 p.m.**

Application materials may be viewed online at www.matsugov.us by clicking on 'All Public Notices & Announcements'. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Comments are due on or before **Friday, May 31, 2024**, and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: [Rick Benedict](#)
To: [Jeff Riley](#)
Cc: hriley17@mtaonline.net
Subject: RE: Smoke out point
Date: Thursday, May 2, 2024 11:55:00 AM

Hello Jeff,

My apologies for the wrong road reference for Fishback Circle. I intended to refer to the southwestern entrance to East Max Dr from South Glenn Highway.

Your options for addressing your concerns are through your local Assembly person (District 2), the Gateway Community Council, and/or at the public hearing by providing testimony to the Planning Commission. Your comments via these emails will also be placed in the applicant's Planning Commission packet for review. The Planning Commission makes the final decision and may consider your comments for further restrictions, increased standards, and/or denial of the permit.

Should you, your neighbors, or other members of the public not agree with the decisions of the Planning Commission, an appeal process will be available to you up to 21 days from the decision under MSB 15.39.140.

[Chapter 15.39 BOARD OF ADJUSTMENT AND APPEALS \(codepublishing.com\)](#)

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Jeff Riley <jeffr@pwinvestment.com>
Sent: Wednesday, May 1, 2024 4:12 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: hriley17@mtaonline.net
Subject: RE: Smoke out point

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mr. Benedict,

Thank you for the quick response. I'm not familiar with Fishback Circle as the only reference I found for it was in the Meadow Lakes area, but I am familiar with E. Max Drive which is my primary concern. I look forward to hearing the response but remain concerned about the potential increase in traffic for a road that is not designed for any amount of traffic on a regular basis. Is the only options for us and our neighbors to oppose this on the front end? As I mentioned my preference is to not get into Anthony's business, but your response implies there would be no recourse available to us and our neighbors should the unimproved portion of E. Max Drive become a regularly used access point for this business but to get out in front of

it as a collective group of neighbors and through our Gateway Community Council.

Thanks again,
Jeff

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Monday, April 29, 2024 3:10 PM
To: Jeff Riley <jeffr@pwinvestment.com>
Cc: hriley17@mtaonline.net
Subject: RE: Smoke out point

Hello Jeff,

Linked below is the borough's public notice, which includes updated application materials. The applicant has obtained a temporary commercial driveway permit (#D29385) and a commercial construction permit (#C29230) to improve Max Drive from S. Colleen Street up to and including the driveway of the proposed marijuana retail store. Should the Planning Commission approve the permit, staff will recommend as a condition of approval that the applicant complete the improvement of Max Drive and the driveway by September 30, 2025.

The applicant has indicated traffic for the use is initially expected from the intersection of S. Colleen Street and Max Drive via the Glenn Highway at Colleen Street. Once the Glenn Highway and Bradley Lake Avenue intersection is complete, traffic access from Colleen Street via the Glenn should be alleviated. There has been no indication the applicant will promote using Fishback Circle for access to the proposed use. With that in mind, Fishback Circle and Max Drive are public-use easements, and the applicant will have little control over the public and how they choose to access the site. The applicant has indicated the intent is for the improved and commercially constructed Max Drive roadway from Colleen Street to be the primary access point. I have relayed your feedback to the applicant for an updated narrative to address your concerns from their perspective.

[Matanuska-Susitna Borough - Public Hearing Notice for a Conditional Use Permit Application - Marijuana Retail Facility \(matsugov.us\)](#)

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Jeff Riley <jeffr@pwinvestment.com>

Sent: Friday, April 26, 2024 12:13 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Cc: Heathers Email <hriley17@mtaonline.net>
Subject: Smoke out point

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Ms. Horton,

I am a neighbor of Anthony's at 10451 E. Max Dr. and am concerned about the traffic pattern for this facility. I reviewed the 68 page application but I'm not finding the specifics of the permit application's traffic flow. Anthony has (marginally) improved E. Max Drive from Colleen to the weed shop, a distance of approximately a couple of hundred yards, however with the improvements to the Glenn Highway my fear is that patrons of this establishment will not go to the new intersection at Bradley Lake road and we've back around Colleen to enter E. Max Drive they will instead come in through the E. Max Drive intersection to the Glenn (by the Funny Farm) and cut through on a completely unimproved portion of E. Max that is adjacent to my property. We've already seen increased traffic over the past couple of years, especially on weekends. I've attached a couple of photos below to assist in your understanding my concerns. In the images you'll see our driveway that leads down to the main house on Bradley Lake and then the unimproved portion of E. Max Drive that parallels my property line which is a couple of feet to the right to the right of the utility poles. The main portion of E. Max Drive easement is not driveable and until last fall when they cleared to relocate the gas and communications lines was covered with 20' tall trees.

I'm not trying to get into Anthony's business, he has been a good neighbor, but rather trying to understand the traffic pattern submitted as I'm assuming it is where they did the work between the business and Colleen Drive. Then secondly, what is the recourse if that traffic pattern isn't what gets used by the patrons as I suspect it won't.

Your insights are appreciated as I have no concerns if the Colleen Drive access is the only one used for the establishment but traffic flows like water and I'm fearful we will see much on the traffic on this unimproved single lane path adjacent to our garden and kids play area which is not prepared to handle any sort of volume of traffic.

Thanks so much,

Jeff Riley
907.230.0119

DOT plans to block Colleen direct access to Glenn Highway and reroute through extension of Bradley Lake road to new intersection and light.

https://www.brooks-alaska.com/glennhighway/documents/Web_sheets-4-2-2023-reduced.pdf







DRAFT
PLANNING COMMISSION
RESOLUTION

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By: Rick Benedict
Introduced: June 3, 2024
Public Hearing: June 17, 2024
Action:

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. PC 24-09

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A MARIJUANA RETAIL FACILITY AT 10600 E. Max Drive, TAX ID#2209B02L001A.

WHEREAS, an application has been received from Scott Wells on behalf of Smoke Out Point for a conditional use permit for the operation of a marijuana retail facility at 10600 E. Max Drive, TAX ID#2209B02L001A; and

WHEREAS, MSB 17.60.030(A)(4) requires a conditional use permit for the operation of a marijuana retail facility; and

WHEREAS, unless this type of use is maintained under and in accordance with a lawfully issued permit, marijuana retail facilities are declared to be a public nuisance; and

WHEREAS, the subject parcel is approximately .86 acres in size; and

WHEREAS, based on the information provided by the applicant, a Core Area Conditional Use Permit in accordance with MSB 17.61.020(A)(1) through (4) is not required; and

WHEREAS, the subject parcel is within the boundary of the Gateway Community Council; and

WHEREAS, the subject parcel is part of the Bradley Lake #2 Subdivision; and

WHEREAS, the applicant has submitted an authorization form signed by the property owner, permitting Smoke Out Point to operate as a marijuana retail store within the new commercial building; and

WHEREAS, according to the application material, the proposed marijuana retail store will not generate noise or odors; and

WHEREAS, the proposed hours of operation are 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday; and

WHEREAS, consumption of marijuana is prohibited at the site; and

WHEREAS, persons under 21 are prohibited from entering the facility; and

WHEREAS, according to the application material, signs will be posted at the proposed use's entrance prohibiting loitering; and

WHEREAS, the application material states that exterior lighting will be downward-directional and shielded to prevent light pollution; and

WHEREAS, all the required site plans and operational information have been provided by the applicant; and

WHEREAS, according to the application materials, employees of the proposed use will immediately check the identification of all persons who enter the facility; and

WHEREAS, according to the application material, the operation will utilize an alarm and video surveillance system, along with lighting, as part of its security plan; and

WHEREAS, according to the application material, the operation has a security plan, which includes educating employees on all security measures; and

WHEREAS, the commercial structure fully complies with the State of Alaska fire code; and

WHEREAS, the State of Alaska Marijuana Control Board met April 12-14, 2022, and awarded the operation a marijuana retail store license currently in delegated status; and

WHEREAS, the MSB Development Services Division received a copy of the delegated approval for the applicant's marijuana retail facility; and

WHEREAS, a marijuana retail facility with an area of 3,195 square feet must provide nine parking spaces, one of which must be ADA-compliant; and

WHEREAS, according to the application material, ten parking spaces will be provided for the proposed use, one of which will comply with ADA requirements; and

WHEREAS, each parking space is twenty feet long and ten feet wide; and

WHEREAS, according to the application material, no vertical clearance limitations are on-site; and

WHEREAS, the proposed retail facility will be contained within a new 60' x 40' two-story commercial structure of approximately 4,800 square feet; and

WHEREAS, according to the application material, approximately 3,195 square feet of net floor space are licensed for marijuana retail sales; and

WHEREAS, according to the application material, the building proposed for marijuana retail sales was completed in 2023; and

WHEREAS, according to the application material, two pre-existing residential structures are located north of the proposed operation on the subject parcel; and

WHEREAS, according to Borough records, the pre-existing residential structures were constructed in the mid-1970s; and

WHEREAS, according to the application material, one residential structure located northwest of the use will remain on the property, and the second located northeast of the use will be demolished by the end of July 2024; and

WHEREAS, according to the application material, the building's exterior is beige and tan, with steel side panels and metal roofing; and

WHEREAS, the proposed use will access East Max Drive, for which the applicant has obtained a commercial driveway permit from the Borough's permitting center (#D29385); and

WHEREAS, according to the application material, the operation will advertise the access route to the facility on its website and popular mapping platforms; and

WHEREAS, according to the application material, a sign will be installed at the exit of the subject parcel directing traffic to South Colleen Street and discouraging left turns; and

WHEREAS, the applicant has obtained a general construction permit (#C29230) from the Borough to improve the eastern portion of East Max Drive from the intersection of South Colleen Street to the subject parcel's driveway; and

WHEREAS, according to the application material, the operation will maintain the improved portion of East Max Drive from the intersection at South Colleen Street to the subject parcel's driveway; and

WHEREAS, East Max Drive is a Borough roadway that, upon improvement, will be acceptable for commercial use, according to a review by MSB PD&E; and

WHEREAS, East Max Drive is not maintained by the Borough; and

WHEREAS, uses along East Max Drive are a mix of commercial and residential; and

WHEREAS, the area surrounding the subject parcel comprises a mix of commercial, residential, and vacant uses; and

WHEREAS, an antique store exists west of the proposed use on the adjacent parcel, and a seasonal produce market exists to the northeast; and

WHEREAS, residential uses comprise many remaining north, west, and south uses; and

WHEREAS, the proposed use is approximately 45 feet southeast of the nearest residential structure on the subject parcel and 94 feet east of the nearest commercial structure on the adjacent parcel; and

WHEREAS, according to the application material, the operation will have one free-standing metal, aluminum, and fiberglass advertising sign, 5'2" W x 7'7" L, at the southeast corner of the subject parcel adjacent to South Glenn Highway; and

WHEREAS, according to the application material, the advertising sign will be backlit during operating hours and off when closed; and

WHEREAS, according to the application material, the advertising sign will be visible from South Glenn Highway and promote access to the facility from South Colleen Street; and

WHEREAS, no advertising signage is proposed along East Max Drive; and

WHEREAS, the proposed use is approximately 25 feet north of the South Glenn Highway right-of-way, approximately 53 feet east of the western property line, approximately 128 feet south of the East Max Drive right-of-way, and approximately 51 feet west of the South Glenn Highway right-of-way; and

WHEREAS, according to the application material, the advertising signage will not be installed or overhang the South Glenn Highway right-of-way; and

WHEREAS, ADOT is in Phase 2 of the project, which extends East Bradley Lake Avenue and adds a signaled intersection where the roadway will meet at South Glenn Highway to the northeast of the subject property; and

WHEREAS, Phase 2 of the Glenn Highway Reconstruction Project will remove access to South Colleen Street from South Glenn Highway; and

WHEREAS, according to the application material, the applicant proposes to advertise access to the use via the signaled intersection at South Glenn Highway and East Bradley Lake Avenue when Phase 2 of the Glenn Highway Reconstruction Project is complete; and

WHEREAS, South Glenn Highway is a state-maintained major arterial roadway capable of handling commercial traffic; and

WHEREAS, on October 5, 2021, the State of Alaska Fire Marshal issued an approved Full Plan Review (#2021Anch1557) for the commercial structure; and

WHEREAS, the closest school (Amazing Grace Academy) is approximately 9,088 feet from the proposed use; and

WHEREAS, the director of the Alcohol & Marijuana Control Office (AMCO) is authorized to issue the license once the applicant obtains a conditional use permit to operate within the borough; and

WHEREAS, the applicant provided a copy of the approved Full Plan Review (#2021Anch1557) to the MSB Development Services Division; and

WHEREAS, the Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, shows a "Marijuana Dispensary" of approximately 3,195 square feet in an urban area is expected to produce approximately 75 trips per weekday PM hour based on the average trip start/end generation rates; and

WHEREAS, South Colleen Street is a Borough-owned and maintained roadway; and

WHEREAS, according to the application material, the applicant proposes advertising access to the marijuana retail facility from the eastern portion of East Max Drive via South Colleen Street; and

WHEREAS, ADA guidelines require one van-accessible parking space, 11 feet wide with a five-foot-wide parking aisle, for every 1 to 25 spaces; and

WHEREAS, the Planning Commission has reviewed this application with respect to standards set forth in MSB 17.60.100, 17.60.150 and 17.60.170; and

WHEREAS, the Planning Commission conducted a public hearing on June 17, 2024, on this matter.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby adopts the aforementioned findings of fact and makes the following conclusions of law supporting approval of Planning Commission Resolution 24-09:

1. The proposed use, with conditions, will not detract from the value, character, and integrity of the surrounding area (MSB 17.60.100(B)(1)).
2. The proposed use, with conditions, will not be harmful to the public health, safety, convenience, and welfare (MSB 17.60.100(B)(2)).
3. Sufficient setbacks, lot area, buffers or other safeguards are being provided (MSB 17.60.100(B)(3)).
4. The application material meets all of the requirements of this chapter (MSB 17.60.100(B)(4)).

5. The proposed use, with conditions, will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).
6. Measures are in place, with conditions, to reduce negative affects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).
7. The proposed use, with conditions, is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).
8. The proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).
9. The applicant has provided documentation demonstrating all applicable licenses pertaining to 3 AAC 306.005 have been obtained (MSB 17.60.150(D)(1)).
10. The applicant has provided documentation demonstrating the proposed use is in full compliance with all applicable fire code (MSB 17.60.150(D)(2)).
11. The proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).
12. The proposed use meets the minimum number of parking spaces for retail facilities (MSB 17.60.170(B)).
13. The proposed use complies with current ADA parking space guidelines (MSB 17.60.170(C)).

BE IT FURTHER RESOLVED, that the Planning Commission finds this application does meet the standards of MSB 17.60 and does hereby approve the conditional use permit for the operation of a marijuana retail facility, with the following conditions:

1. Prior to operating, the applicant shall notify the Borough upon completion of improvements to East Max Drive. Provide evidence of compliance to Planning staff.
2. Prior to operating, the applicant shall have the ADA parking stall and access aisle painted and compliant with the current ADA guidelines, including mounting the ADA van-accessible sign to indicate its location. Provide evidence of compliance to Planning staff.
3. The operation shall comply with all applicable federal, state, and local regulations.
4. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the conditional use permit shall be required before any expansion of the conditional use.
5. Borough staff shall be permitted to enter premises subject to this permit to monitor compliance with permit requirements. Such access will, at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times as

necessary to monitor compliance. Denial of access to Borough staff shall violate this conditional use permit.

6. On-site consumption of marijuana and marijuana products is prohibited.
7. The hours of operation shall not exceed 10:00 a.m. to 10:00 p.m., Sunday through Thursday, and 10:00 a.m. to 12:00 a.m., Friday and Saturday.
8. The applicant shall maintain the improved portion of East Max Drive for commercial use.
9. Signs directing traffic to access/egress routes appropriate for commercial use shall be maintained on the subject property, as described in the application materials.
10. The operation shall maintain online mapping applications and its website with the proposed access/egress plan described in the application materials.

ADOPTED by the Matanuska-Susitna Borough Planning Commission
this ___ day of _____, 2024.

C.J. Koan, Chair

ATTEST

KAROL RIESE, Planning Clerk

(SEAL)

YES:

NO:

DRAFT

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PUBLIC HEARING QUASI-JUDICIAL

Resolution No. 24-11

Higher By Bad Gramm3r

PUBLIC HEARING

STAFF REPORT



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

DEVELOPMENT SERVICES DIVISION STAFF REPORT

Date: June 5, 2024

File Number: 10300


Applicant: Teri Zell for Higher by Bad Gramm3r

Property Owner: Zell 2015 Family Trust

Request: Planning Commission Resolution 24-11
Conditional Use Permit for the operation of a marijuana retail facility under MSB Chapter 17.60 – Conditional Uses

Location: 6199 E. Mountain Heather Way, Tax ID# 6932B01L001A

Size of Facility: Approximately 2606 Square Feet

Reviewed By: Jason Ortiz, Development Services Manager 

Staff: Peggy Horton, Current Planner

Staff Recommendation: Approval with conditions

EXECUTIVE SUMMARY

Teri Zell submitted a conditional use permit application to relocate a marijuana retail facility from 1204 North Hyer Spur to 6199 East Mountain Heather Way. The proposed facility will be approximately 2606 square feet, and the proposal includes operating a drive-thru window at the new location. MSB 17.60.030 requires a conditional use permit to operate a marijuana retail facility. Unless this type of use is maintained under and in accordance with a lawfully issued permit, a marijuana retail facility is declared to be a public nuisance. Operation of such a land use without a permit is prohibited.

LAND USE

Existing Land Use/Background:

The subject parcel is part of the Mountain Ash subdivision and lies within the South Lakes Community Council area. The South Lakes Community Council is inactive. Before 2016, school

buses crossed this property to access the bus barn located north and west of the subject parcel. The subject parcel is currently vacant. East Mountain Heather Way provides access to the property and is maintained by the Borough.

Once the building is moved from its current site, evidence that it meets the structural setback restrictions will be necessary. As of the writing of this report, the building has not been moved.

Surrounding Land Uses:

East Mountain Heather Way is a frontage road off East Palmer-Wasilla Highway and is classified as a collector. East Palmer-Wasilla Highway is classified as a major arterial, and varied land uses have frontage on it, including commercial, industrial, residential, and vacant. Surrounding uses include the applicant's current retail facility on North Hyer Road, which is proposed to be moved onto the subject property. The surrounding area comprises parcels ranging in size from approximately one to 15 acres. The proposed use will be located south of and approximately 240 feet from the closest residential structure. Directly to the north is a corner of the former bus barn parcel, which is now being used commercially. Further north and northwest are residential uses. In 1981, the State of Alaska Department of Transportation took ownership of the lot directly northeast of the subject parcel when obtaining Palmer-Wasilla Highway right-of-way. East Mountain Heather Way runs along the southeastern boundary of the subject parcel. Parcels with frontage on East Mountain Heather Way are being used for commercial or industrial purposes and include an office building, a meat market, a gymnastics facility, and a tank fabrication facility. Further southwest, south, and southeast is the Palmer-Wasilla Highway, with a vacant parcel, a furniture store, and a multi-occupant commercial building on the opposite side of the highway from the subject parcel.

REVIEW OF APPLICABLE CRITERIA AND FINDINGS

MSB 17.03 – Public Notification

Staff mailed 28 notices to property owners within the Mountain Ash subdivision and to those within a 600-foot radius of the subject property on April 4, 2024. The Frontiersman published the public notice in the April 5, 2024 issue. Staff posted the application material on the Borough website for public review on April 1, 2024. Staff also emailed the public notice and a request for comments to borough offices and outside agencies on April 1, 2024. No public comments were received regarding the proposed use. Staff received comments from the Borough Project Development and Engineering (PD&E) concerning drainage and the traffic impact information provided by the applicant. As of the writing of this report, the applicant and PD&E are actively working towards a solution.

A CORE AREA PERMIT IS NOT REQUIRED

Section 17.61.020 Intent

(A) This ordinance is intended to promote the positive effects of development while insuring the public health, safety, order, prosperity and general welfare of the core area by establishing a review process for commercial and industrial land use activities with the following impacts:

(1) Any commercial or industrial use that generates noise beyond the boundaries of the lot line of the site on which it is located in excess of the levels permitted by MSB 17.61.080;

Findings of Fact:

1. According to the application material, the proposed retail facility will be wholly contained within a 2,606-square-foot commercial structure.
2. There is no industrial equipment or processes that generate noise associated with the proposed use.
3. There are no outdoor speakers or public announcement systems associated with the proposed use.

Conclusion of Law: Based on the findings above, the use will not exceed sound levels set forth in MSB 17.61.080, and noise levels exceeding the levels in MSB 17.61.080 are prohibited. As such, a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(1)).

(2) Any commercial or industrial use that generates traffic in excess of 100 vehicles during the morning or afternoon peak hour, or more than a total of 750 vehicles per day (measured from 12 a.m. to 12 p.m.).

Findings of Fact:

1. Pannone Engineering prepared a Traffic Impact Analysis Worksheet as part of the application material.
2. According to the application material, the current business's self-reported peak hour traffic is currently 12 trips.
3. According to the application materials, the Institute of Transportation Engineers (ITE) Trip Generation Manual indicates an average of 28.85 trips per 1,000 square feet of Gross Floor Area (GFA) on Saturdays, which is the day with the highest traffic. This data is based on only five studies, which is a limited study database for trip rates for this type of land use.
4. According to the application material, the average rates for Higher by Bad Gramm3r proposed location will never exceed 20 trips per hour at peak times on any day of the week.
5. According to the application material, the proposed facility does not require a traffic impact analysis.

Conclusion of Law: Based on the findings above, a Core Area Conditional Use Permit is not required under this standard, as the number of vehicles will not exceed 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles a day (MSB 17.61.020(A)(2)).

(3) Any commercial or industrial use involving processing, manufacturing, or storage of hazardous substances over thresholds established by federal or state community right-to-know laws and regulations (40 CFR 370, AS 29.35.500), any use which generates combustible dust produced in sufficient quantity to produce an explosion or combustion hazard, any use involving the storage and handling of combustible fiber in quantities greater than 100 cubic feet (2.8 m3), and any use which involves generation or

management of more than 2,200 pounds of hazardous waste per month as defined by federal regulations (40 CFR 261, 262). Note that these facilities would also be subject to significant federal/state regulatory requirements. Among other obligations, facilities that exceed community right-to-know thresholds are required to submit annual reports to the state and to the local emergency planning committee (LEPC), and facilities that exceed hazardous waste limits are required to notify the environmental protection agency and comply with requirements for waste storage and disposal.

Finding of Fact:

1. The proposed use will not be processing, manufacturing, or storing hazardous substances identified in MSB 17.61.020(A)(3).

Conclusion of Law: Based on the finding above, a Core Area Conditional Use Permit is not required under this standard because the proposed use will not process, manufacture, or store hazardous substances beyond the thresholds identified (MSB 17.61.020(A)(3)).

(4) Any use that generates contaminated water runoff or other discharges that are likely to violate state water quality standards or negatively impact groundwater or surface water quality beyond adjacent property lines.

Findings of Fact:

1. The proposed use is confined to a generally flat area on the parcel.
2. The proposed use is commercial retail in nature and will not generate contaminated water runoff.

Conclusion of Law: Based on the findings above, the proposed use will not generate contaminated water runoff or other discharges that are likely to violate state water quality standards or negatively impact groundwater or surface water quality beyond adjacent property lines. As such, a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(4)).

Section 17.60.100 General Standards

(A) A conditional use may be approved only if it meets with the requirements of this section in addition to any other standards required by this chapter:

(B) In granting a conditional use permit, the planning commission must make the following findings:

(1) the conditional use will preserve or not detract from the value, character, and integrity of the surrounding area;

Findings of Fact:

1. The subject parcel is 1.34 acres in size.
2. According to the application material, the existing Higher by Bad Gramm3r Retail building at 1204 North Hyer Spur will be moved approximately 850 feet east to the subject parcel.
3. The subject parcel has frontage on East Mountain Heather Way, which is classified as a collector and can accommodate the traffic associated with commercial use.

4. East Mountain Heather Way has commercial and industrial uses along its frontage, including an office building, butcher shop, tank fabrication company, and gymnastics center.
5. East Mountain Heather Way is a frontage road located off East Palmer-Wasilla Highway.
6. East Palmer-Wasilla Highway is classified as a major arterial and has several different uses on its frontage, including commercial, industrial, residential, and vacant or undeveloped.
7. According to the application material, the proposed retail facility will be wholly contained within a 2,606-square-foot commercial structure.
8. According to the application material, the proposed hours of operation are 9:00 a.m. to 10:00 p.m., seven days a week.
9. According to the application material, the proposed use will be located approximately 85 feet from the East Mountain Heather Way right-of-way, approximately 30 feet to the southwesterly lot line, approximately 86 feet to the northwesterly corner lot line, and approximately 114 feet to the northeasterly lot line.
10. The proposed use will be located south of and approximately 240 feet from the closest residential structure.
11. The proposed use will be located approximately 125 feet northwest of the closest commercial structure.
12. Within 1,000 feet, various land uses exist, including commercial, industrial, residential, and vacant or undeveloped.
13. There is no industrial equipment or processes that generate noise associated with the proposed use.
14. Consumption of marijuana is prohibited at the site.
15. Persons under 21 are prohibited from entering the facility.
16. According to the application material, loitering will not be allowed.

Discussion: The applicant has submitted driveway permit applications for the two driveways shown on the site plans. The applicant's engineer is currently working on plans to demonstrate that the driveways meet the standards of MSB 11.12 – Driveway Standards, ensuring proper drainage, maintenance, movement, and safety for the traveling public. Staff recommends a condition requiring approval of the driveway permits prior to operating the retail facility.

Conclusion of Law: Based on the findings above and subject to the conditions, the proposed use will not detract from the value, character, and integrity of the surrounding area (MSB 17.60.100(B)(1)).

(2) that granting the conditional use permit will not be harmful to the public health, safety, convenience, and welfare;

Findings of Fact:

1. The closest school (Birchtree Charter School) is approximately 3,700 feet from the proposed use.

2. Consumption of marijuana is prohibited at the site.
3. Persons under 21 are prohibited from entering the facility.
4. The subject parcel has frontage on East Mountain Heather Way, which is classified as a collector and can accommodate the traffic associated with commercial use.
5. According to the application material, the facility has a 24-hour monitoring alarm system, exterior lighting, and a video surveillance system.
6. According to the application materials, AMCO's emergency order approved the use of the current building's drive-thru window during the COVID-19 pandemic, and the applicant proposes to use it when they move the building to the new location.
7. According to the application material, marijuana or marijuana products will not be visible to the public from the drive-thru window.
8. According to the application materials, the drive-thru window is equipped with safety features, including safety plate glass, iron bars, a security shutter, a transaction drawer similar to that of a drive-thru bank, and surveillance cameras.
9. According to the application material, the use has a security plan in place, which includes education of employees on all security measures.
10. The Central Mat-Su Fire Department Deputy Fire Marshal issued Plan Review #2024-101 for the commercial structure.
11. The commercial structure fully complies with the State of Alaska fire code.
12. The proposed use will be located south of and approximately 240 feet from the closest residential structure.
13. According to the application material, all unusable marijuana products are mixed into organic soil and then disposed of at the Borough Central Landfill.

Discussion: The exterior lighting around the existing building on North Hyer Spur is exceptionally bright, as discussed in the application narrative. Staff is concerned that the bright lights could be considered glaring to those drivers on the Palmer-Wasilla Highway. Staff recommends that the exterior lighting be shielded to prevent glare onto the nearby properties and roadways.

Conclusion of Law: Based on the findings above and subject to the conditions, the proposed use will not adversely affect public health, safety, convenience, and welfare (MSB 17.60.100(B)(2)).

(3) that sufficient setback, lot area, buffers, or other safeguards are being provided to meet the conditions listed in subsections (B)(1) through (3) of this section; and

Findings of Fact:

1. The subject parcel is 1.34 acres in size.
2. According to the application material, the existing Higher by Bad Gramm3r Retail building at 1204 North Hyer Spur will be moved approximately 850 feet east to the subject parcel.

3. According to the application material, the proposed use will be located approximately 85 feet from the East Mountain Heather Way right-of-way, approximately 30 feet to the southwesterly lot line, approximately 86 feet to the northwesterly corner lot line, and approximately 114 feet to the northeasterly lot line.
4. The closest school (Birchtree Charter School) is approximately 3,700 feet from the proposed use.
5. According to the application material, security cameras, motion detectors, and lighting monitor all activities at the facility.
6. The Central Mat-Su Fire Department Deputy Fire Marshal issued Plan Review #2024-101 for the commercial structure.
7. The commercial structure fully complies with the State of Alaska fire code.

Discussion: The applicant is preparing to move the existing facility to the subject parcel. Staff recommends a condition that the applicant provide a surveyor's as-built drawing, performed after moving the building, showing the location and dimensions of the commercial structure to indicate compliance with MSB 17.55, Setback, and Screening Easements.

The exterior lighting around the existing building on North Hyer Spur is exceptionally bright, as discussed in the application narrative. Staff is concerned that the bright lights could be considered glaring to those drivers on the Palmer-Wasilla Highway. Staff recommends that the exterior lighting be shielded to prevent glare onto the nearby properties and roadways.

Conclusion of Law: Based on the findings above and subject to the conditions, sufficient setbacks, lot area, buffers, and other safeguards are being provided (MSB 17.60.100(B)(3)).

(4) the conditional use fulfills all other requirements of this chapter pertaining to the conditional use in this section.

Finding of Fact:

1. The applicant submitted all required site plans and operational information, except for evidence showing that the commercial structure will be relocated to comply with the setback requirements of MSB 17.55.

Discussion: The applicant is preparing to move the existing facility to the subject parcel. Staff recommends a condition that the applicant provide a surveyor's as-built drawing, performed after moving the building, showing the location and dimensions of the commercial structure to indicate compliance with MSB 17.55, Setback, and Screening Easements.

Conclusion of Law: Based on the above finding and subject to the conditions, the application material has met all of this chapter's requirements (MSB 17.60.100(B)(4)).

Section 17.60.150 General Standards for Marijuana Related Facilities

(A) In addition to the standards set forth by MSB 17.60.100, the planning commission shall weigh factors which contribute or detract from the development of a safe, convenient, and attractive community, including, but not limited to:

- (1) any potential negative effect upon other properties in the area due to such factors as noise and odor.*

Findings of Fact:

1. According to the application material, the proposed retail facility will be wholly contained within a 2,606-square-foot commercial structure.
2. The proposed use has no industrial equipment or processes that generate noise.
3. According to the application material, all retail operations will occur indoors.
4. There are no outdoor speakers or public announcement systems associated with the proposed use.
5. Consumption of marijuana is prohibited at the site.
6. According to the application material, loitering will not be allowed.

Conclusion of Law: Based on the above findings, the proposed use will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).

- (2) the effectiveness of measures to reduce negative effects upon adjacent properties by:*
- (a) increased property line and right-of-way buffers;*
 - (b) planted berms and landscaping;*
 - (c) site and commercial structure design features which contribute to the character of the surrounding area.*

Findings of Fact:

1. According to the application material, the existing Higher by Bad Gramm3r Retail building at 1204 North Hyer Spur will be moved approximately 850 feet east to the subject parcel.
2. According to the application material, the proposed retail facility will be wholly contained within a 2,606-square-foot commercial structure.
3. According to the application material, the proposed use will be located approximately 85 feet from the East Mountain Heather Way right-of-way, approximately 30 feet to the southwesterly lot line, approximately 86 feet to the northwesterly corner lot line, and approximately 114 feet to the northeasterly lot line.
4. According to the application material, the structure will meet all applicable setback requirements of MSB 17.55.
5. According to the application material, the site drainage plan includes a swale along the southwest property line to retain the increased stormwater runoff due to the larger impervious surfaces being installed on this lot.
6. The Central Mat-Su Fire Department Deputy Fire Marshal issued Plan Review #2024-101 for the commercial structure.
7. The commercial structure fully complies with the State of Alaska fire code.
8. According to the application materials, AMCO's emergency order approved the use of the current building's drive-thru window during the COVID-19 pandemic, and the applicant proposes to use it when they move the building to the new location.

9. According to the application material, marijuana or marijuana products will not be visible to the public from the drive-thru window.
10. According to the application materials, the drive-thru window is equipped with safety features, including safety plate glass, iron bars, a security shutter, a transaction drawer similar to that of a drive-thru bank, and surveillance cameras.
11. According to the application material, the commercial structure will have lighting on all four sides and five light poles installed separately from the building. The lighting will be downward-directional and shielded to mitigate unwanted light pollution.
12. According to the application material, the facility will have a sign with the company name on the top of the building and an independent signpost. Signs are also planned on the sides of the building.
13. According to the application material, the applicant will install a 40' pole with the mounted sign approximately 15 feet from the southwest property boundary.
14. According to the application materials, Alaska Statute 19.25.105 delineates the restrictions for outdoor advertising signs. It allows outdoor advertising signs within 660 feet of a right-of-way, visible from the main traveled way, and advertising activities conducted on the property.

Discussion: MSB PD&E recommended the applicant develop a stormwater management facility on the lot due to the sizeable impervious surface being placed on the property. The applicant's engineer created a plan showing a drainage swale along the southwest property line. Staff recommends a condition of approval that the drainage swale, as described in the site drainage plan dated May 16, 2024, be installed prior to the facility opening.

Conclusion of Law: Based on the findings above and subject to the conditions, measures are in place to reduce negative effects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).

(3) whether the use is compatible with the character of the surrounding area.

Findings of Fact:

1. According to the application material, the existing Higher by Bad Gramm3r Retail building at 1204 North Hyer Spur will be moved approximately 850 feet east to the subject parcel.
2. According to the application material, the proposed retail facility will be wholly contained within a 2,606-square-foot commercial structure.
3. According to the application material, the commercial structure will have lighting on all four sides and five light poles installed separately from the building. The lighting will be downward-directional and shielded to mitigate unwanted light pollution.
4. The subject parcel has frontage on East Mountain Heather Way, which is classified as a collector and can accommodate the traffic associated with commercial use.
5. East Mountain Heather Way has commercial and industrial uses along its frontage, including an office building, butcher shop, tank fabrication company, and gymnastics center.

6. East Palmer-Wasilla Highway is classified as a major arterial and has several different uses on its frontage, including commercial, industrial, residential, and vacant or undeveloped.
7. Within 1,000 feet, various land uses exist, including commercial, industrial, residential, and vacant or undeveloped.
8. According to the application material, the proposed hours of operation are 9:00 a.m. to 10:00 p.m., seven days a week.
9. Consumption of marijuana is prohibited at the site.
10. According to the application material, loitering will not be allowed.

Conclusion of Law: Based on the findings above and subject to the conditions, the proposed use is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).

(B) At the time of their establishment, marijuana-related conditional uses shall meet the following requirements and not be located within:

(1) One thousand feet of school grounds;

(C) Separation distances referenced in subsection (B) of this section are measured in a direct line between the closest point of the facility within which the marijuana facility is located and the closest point on the lot or parcel of land upon which any of the above itemized uses are located.

Finding of Fact:

1. The closest school (Birchtree Charter School) is approximately 3,700 feet from the proposed use.

Conclusion of Law: Based on the above finding, the proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).

(D) Prior to final approval of the permit the applicant shall provide written documentation demonstrating that:

(1) all applicable licenses have been obtained as required by 3 AAC 306.005.

Findings of Fact:

1. The State of Alaska Marijuana Control Board (AMCO) voted to approve a transfer of location application for Higher by Bad Gramm3r Retail Marijuana Store License # 19178 with delegation at the November 15-16, 2023 meeting.
2. Planning staff received a copy of AMCO's delegated approval for the applicant's transfer of location application.

Conclusion of Law: Based on the above findings, documentation demonstrating the applicant obtained all applicable licenses pertaining to 3 AAC 306.005 was provided to planning staff (MSB 17.60.150(D)(1)).

(2) from the fire marshal having jurisdiction, that the proposed conditional use is in full compliance with applicable fire code, including but not limited to AS 18.70.010 through 18.70.160, Fire Protection, and 13 AAC 50.025 through 50.080, Fire Code.

Findings of Fact:

1. The Central Mat-Su Fire Department Deputy Fire Marshal issued Plan Review #2024-101 for the commercial structure.
2. The commercial structure fully complies with the State of Alaska fire code.
3. The applicant provided a copy of the approved Plan Review #2024-101.

Conclusion of Law: Based on the above findings, the proposed use will be in full compliance with all applicable fire codes (MSB 17.60.150(D)(2)).

Section 17.60.170 Standards for Marijuana Retail Facilities

(A) Marijuana retail facilities shall only be approved upon finding by the commission that the proposed facility is located on a parcel that is appropriate for commercial use. At a minimum, the commission shall consider:

- (1) proximity of the proposed use to existing businesses;*
- (2) proximity to parcels developed for residential use; and*
- (3) whether roads associated with the proposed use have been, or will be, appropriate for commercial use.*

Findings of Fact:

1. According to the application material, the existing Higher by Bad Gramm3r Retail building at 1204 North Hyer Spur will be moved approximately 850 feet east to the subject parcel.
2. A marijuana retail facility has operated in the structure for over four years in its current location.
3. The bus access road that previously bisected the subject property was vacated, as shown on Plat # 2002-87. The remaining pavement is proposed to be removed.
4. According to the application material, the commercial structure will have lighting on all four sides and five light poles installed separately from the building. The lighting will be downward-directional and shielded to mitigate unwanted light pollution.
5. The subject parcel has frontage on East Mountain Heather Way, which is classified as a collector and can accommodate the traffic associated with commercial use.
6. East Mountain Heather Way has commercial and industrial uses along its frontage, including an office building, butcher shop, tank fabrication company, and gymnastics center.
7. East Palmer-Wasilla Highway is classified as a major arterial and has several different uses on its frontage, including commercial, industrial, residential, and vacant or undeveloped.
8. Various land uses, including commercial, industrial, residential, and vacant or undeveloped, exist within 1,000 feet of the subject property.

9. The proposed use will be located south of and approximately 240 feet from the closest residential structure.
10. The proposed use will be located approximately 125 feet northwest of the closest commercial structure.
11. According to the application material, the proposed use will be located approximately 85 feet from the East Mountain Heather Way right-of-way, approximately 30 feet to the southwesterly lot line, approximately 86 feet to the northwesterly corner lot line, and approximately 114 feet to the northeasterly lot line.

Conclusion of Law: Based on the findings above and subject to the conditions, the proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).

(B) The minimum number of parking spaces for retail facilities shall be one space per 350 square feet of net floor area. Each parking space shall be at least: 20 feet in length, ten feet wide, and have a vertical clearance of at least seven feet.

Findings of Fact:

1. According to the application material, the net floor area is approximately 2,606 square feet in size.
2. A marijuana retail facility, 2,606 square feet in size, is required to provide eight parking spaces, one of which must be an Americans with Disabilities Act (ADA) compliant space.
3. According to the application material, nine customer parking spaces are proposed.
4. According to the application material, each parking space is 20 feet long and 10 feet wide.

Conclusion of Law: Based on the above findings, the proposed use meets the minimum number of parking spaces for retail facilities (MSB 17.60.170(B)).

(C) Parking spaces shall be provided to comply with current Americans with Disabilities Act guidelines.

Findings of Fact:

1. A marijuana retail facility, 2,606 square feet in size, is required to provide eight parking spaces, one of which must be an Americans with Disabilities Act (ADA) compliant space.
2. According to the application material, nine customer parking spaces are proposed.
3. ADA guidelines require one van-accessible parking space, 11 feet wide with a five-foot-wide parking aisle, for every 1 to 25 spaces.
4. According to the application material, one ADA-compliant space is proposed.
5. There are no vertical clearance limitations on site.

Discussion: Current ADA guidelines require the surface of accessible spaces and access aisles to be smooth, stable, and virtually level in all directions to ensure safe use for people with

disabilities. Staff recommends a condition requiring that the parking space and access aisle comply with current ADA guidelines prior to operating.

Conclusion of Law: Based on the findings above and subject to the conditions, the proposed use will comply with current ADA parking space guidelines (MSB 17.60.170(C)).

STAFF RECOMMENDATIONS

Staff recommends approval of the conditional use permit to operate a Marijuana Retail Facility, approximately 2606 square feet in size, at 6199 East Mountain Heather Way, Tax ID #6932B01L001A. The proposed use meets all of the standards in MSB 17.60.100, 17.60.150, and 17.60.170 with the conditions listed. Staff recommends approval of this permit with the following conditions:

1. Prior to operating, the applicant shall obtain approved driveway permits for both proposed driveways onto East Mountain Heather Way.
2. Prior to operating, the applicant must submit a surveyor's as-built drawing to the Planning staff, conducted after the building has been moved. The drawing shall show the location and dimensions of the commercial structure in relation to property lines, demonstrating compliance with MSB 17.55 – Setback and Screening Easements.
3. Prior to operating, the applicant must install the drainage facilities as shown on the site drainage plan, approved by MSB PD&E. Provide evidence of compliance to Planning staff. These drainage facilities shall be maintained for the duration of the conditional use permit.
4. Prior to operating, the applicant shall have the ADA parking stall and access aisle painted and compliant with the current ADA guidelines. Provide evidence of compliance to Planning staff.
5. Exterior lighting will be designed to direct light downwards and be shielded, if necessary, to mitigate spill light and glare from impacting neighboring properties or traffic on nearby roads.
6. The operation shall comply with all applicable state and local regulations.
7. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the Conditional Use Permit shall be required prior to any expansion of the conditional use.
8. Borough staff shall be permitted to enter the premises subject to this permit to monitor compliance with permit requirements. Such access will, at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times as necessary to monitor compliance. Denial of access to Borough staff shall be a violation of this Conditional Use Permit.
9. The hours of operation shall not exceed 9:00 a.m. to 10:00 p.m., seven days a week.
10. On-site consumption of marijuana and marijuana products is prohibited.

If the Planning Commission chooses to deny this modification, findings for denial must be prepared by the Commission.

SQL Server Reporting Services

★ Favorites | Browse

Home > Cartegraph > Cartegraph Road Lookup

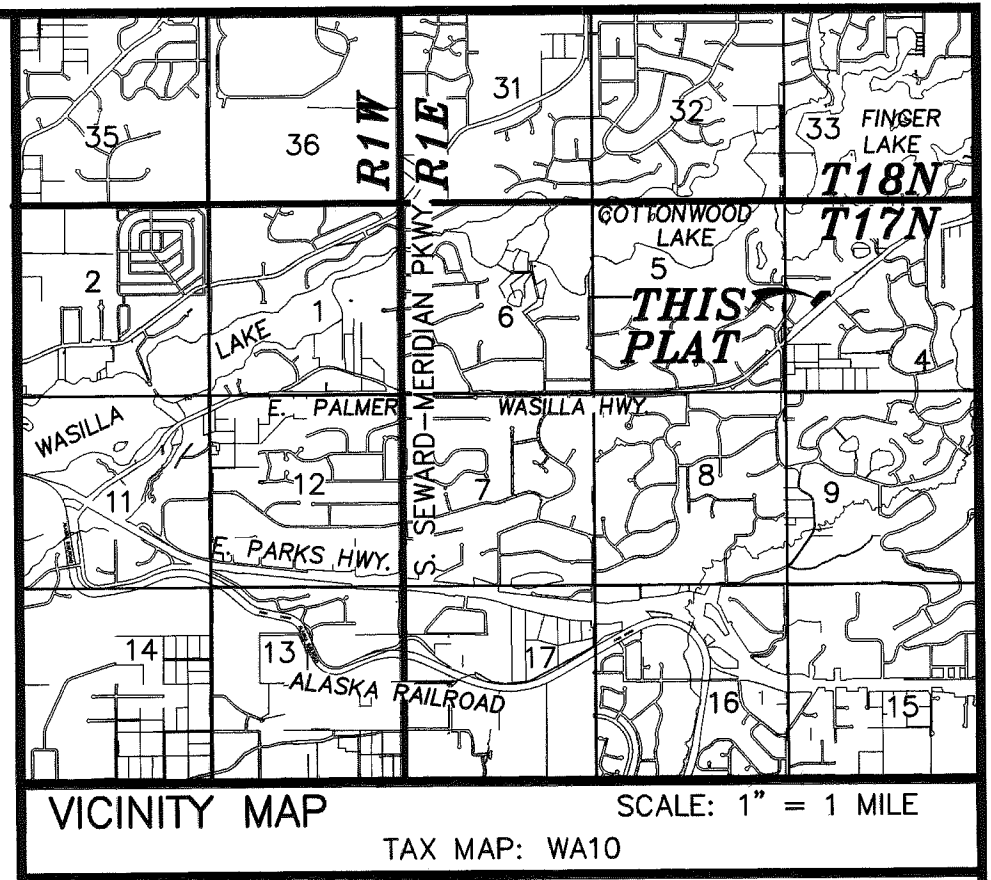
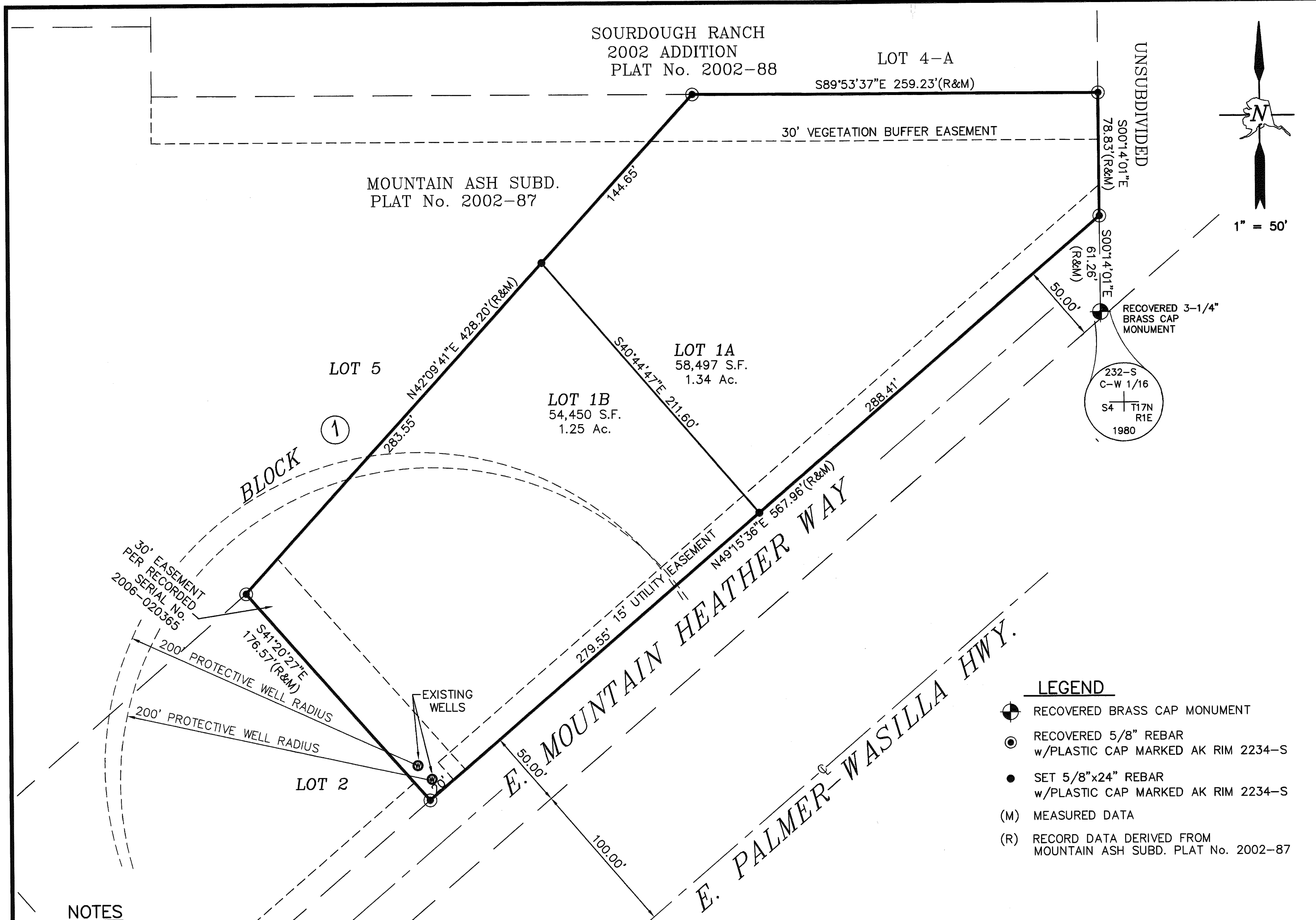
Enter Road Name:

Navigation: 1 of 1 | 100% | Find | Next

Cartegraph Road Information

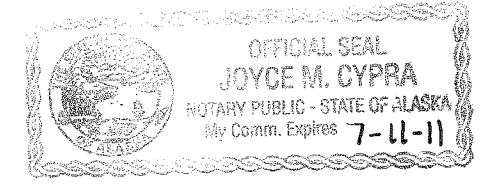
Road Info					
Road Number:	005400	Road Name:	Mountain Heather Way	RSA #:	25
Surface Type:	HMA	Certified:	1	Map #:	WA10
TRS:	S17N01E04	TRS Left:		TRS Right:	
ROW Width:	50	Length:	0.28	Classification:	Collector
Route Back:	Palmer Wasilla Highway	Route Ahead:	End	Travel Direction:	Southwest
Custodian:	Mat-Su Borough	RSA Superintendent:	Will Barickman	Contractor:	Mckenna Brothers
OSHP:	Local	MSB Functional Classification:	Local	SCM:	
Status:	Active				

Certified Value of 1 denotes Certified.



CERTIFICATE OF OWNERSHIP
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION BY MY FREE CONSENT.

DR Smith 11-23-09
DATE
DJI, LLC, OWNER
DORWIN R. SMITH, TRUSTEE
THE D&J SMITH JOINT
REVOCABLE TRUST
2970 COTTLE LOOP RD.
WASILLA, AK. 99654



NOTARY'S ACKNOWLEDGEMENT
SUBSCRIBED AND SWORN TO BEFORE ME THIS 23RD DAY OF NOV., 2009 FOR
Dorwin R. Smith
Joyce M. Cypora
NOTARY FOR THE STATE OF ALASKA 7-11-2011
MY COMMISSION EXPIRES

- LEGEND**
- RECOVERED BRASS CAP MONUMENT
 - RECOVERED 5/8" REBAR w/PLASTIC CAP MARKED AK RIM 2234-S
 - SET 5/8"x24" REBAR w/PLASTIC CAP MARKED AK RIM 2234-S
 - (M) MEASURED DATA
 - (R) RECORD DATA DERIVED FROM MOUNTAIN ASH SUBD. PLAT No. 2002-87

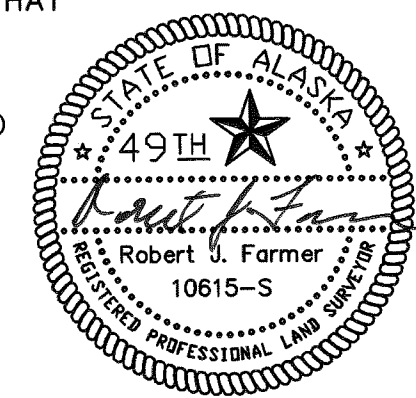
- NOTES**
1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNER TO OBTAIN A DETERMINATION WHETHER SUCH REQUIREMENTS APPLY TO THE DEVELOPMENT OF THE PARCELS SHOWN HEREON.
 2. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THOSE SYSTEMS.
 3. COVENANTS, CONDITIONS AND RESTRICTIONS FOR TRACT 2, SOURDOUGH RANCH ESTATES, PLAT No. 84-246 WERE RECORDING NOVEMBER 2, 1984 IN BOOK 387 AT PAGE 596 AND JANUARY 2, 1985 IN BOOK 397 AT PAGE 726, PALMER RECORDING DISTRICT.
 4. THERE IS LESS THAN ONE PERCENT CHANCE THAT ANY PART OF THE PLATTED AREA WILL BE INUNDATED BY THE BASE FLOOD EVENT IN ANY GIVEN YEAR.
 5. BASIS OF BEARING IS DERIVED FROM MONUMENTATION RECOVERED AT THE 1/4 CORNER COMMON TO SECTIONS 4 & 5 AND AT THE CENTER WEST 1/16 CORNER OF SECTION 4. THE BASIS OF BEARING IS N89°55'16"W 1319.35'(R&M).
 6. MEA UTILITY EASEMENT AS RECORDED AUGUST 1, 1979 IN BOOK 195 AT PAGE 955.
 7. MEA UTILITY EASEMENT AS RECORDED OCTOBER 13, 2000 IN BOOK 1094 AT PAGE 854.
 8. MEA UTILITY EASEMENT AS RECORDED SEPTEMBER 7, 2001 IN BOOK 1162 AT PAGE 64

PLANNING & LAND USE DIRECTOR'S CERTIFICATE
I CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY PLAT RESOLUTION No. 2009-107-SUB DATED NOVEMBER 2, 2009, AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED.
Christina Wilson 11/1/09
PLANNING AND LAND USE DIRECTOR DATE
ATTEST: Maile M. Lewis
PLATTING CLERK



CERTIFICATE OF PAYMENT OF TAXES
I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS THROUGH December 31, 2009 AGAINST THE PROPERTY, INCLUDED IN THIS SUBDIVISION OR RESUBDIVISION, HEREON HAVE BEEN PAID.
Stephan Dorch 11/24/09
TAX COLLECTION OFFICIAL, MAT-SU BOROUGH DATE

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.
Robert J. Farmer
REGISTERED PROFESSIONAL LAND SURVEYOR
10615-S
DATE 11-23-09



A PLAT OF
MOUNTAIN ASH SUBDIVISION
BLOCK 1, LOTS 1A AND 1B
A SUBDIVISION OF
MOUNTAIN ASH SUBDIVISION, BLOCK 1, LOT 1
PLAT No. 2002-87, PALMER RECORDING DISTRICT
LOCATED WITHIN THE SW1/4NW1/4, NW1/4SW1/4,
SEC. 4, T17N, R1E, S.M., AK.
CONTAINING 2.59± ACRES

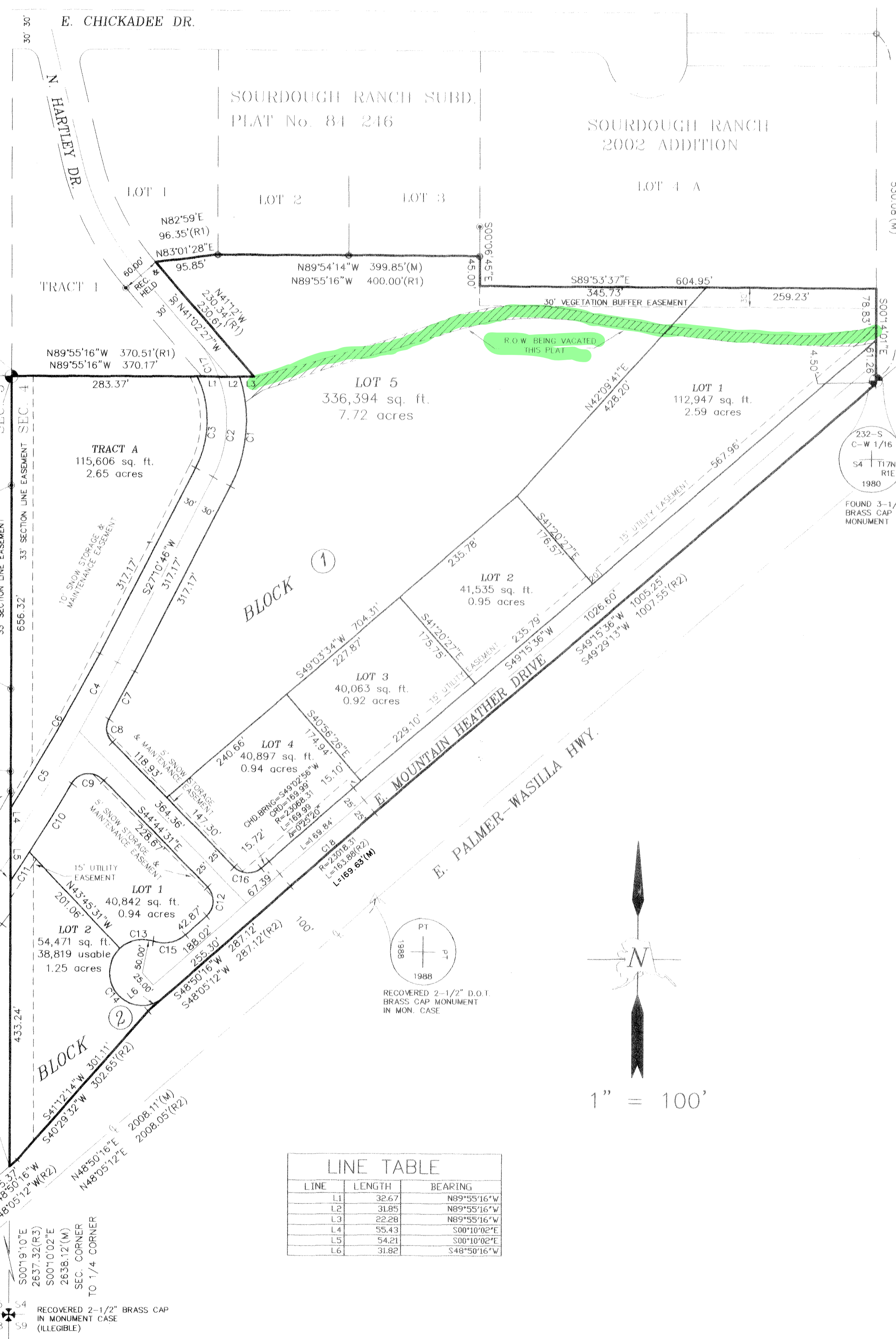
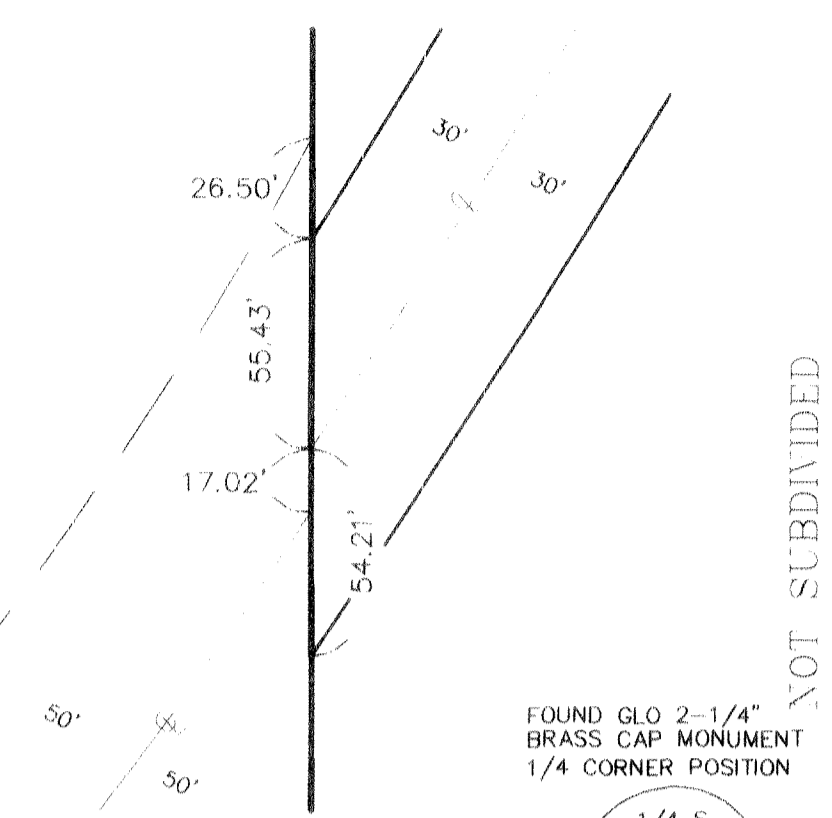
ALASKA RIM ENGINEERING, INC.
P.O. Box 2749, PALMER, AK 99645
9131 E. FRONTAGE ROAD, SUITE 1
PH: (907)745-0222 : FAX: (907)746-0222
EMAIL: akrim@alaskarim.com : WEB: www.alaskarim.com

ARE
Engineers : Planners : Surveyors

W.O. 0800300	DATE: NOV., 2009
DRAWN BY: JRG	SCALE: 1" = 50'
FILE: 0800300_PL	SHEET 1 OF 1

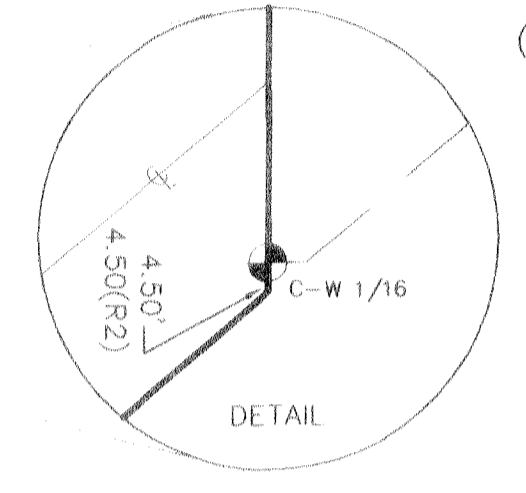
2009-101
PALMER REC DIST
Date 12-2 2009
Time 2:46 P
Requested By _____
Address _____

ENLARGED DETAIL 'A'



LEGEND

- ▲ RECOVERED D.O.T. MON IN CASE.
- RECOVERED BRASS CAP
- RECOVERED 5/8" REBAR
- RECOVERED 1/2" REBAR
- ⊥ SET 5/8" X 24" REBAR W/ ORANGE PLASTIC CAP MARKED "AK RIM 2234-S" AT ALL LOT CORNERS UNLESS NOTED OTHERWISE.
- (R1) RECORD INFORMATION DERIVED FROM SOURDOUGH RANCH PLAT# 84-246
- (R2) RECORD INFORMATION DERIVED FROM D.O.T. & P.F. ROW MAP S-0572(1) WASILLA - PALMER AND DATED MARCH 1980.
- (R3) RECORD INFORMATION DERIVED FROM COLONIAL PARK PLAT #76-40
- (M) MEASURED DATA

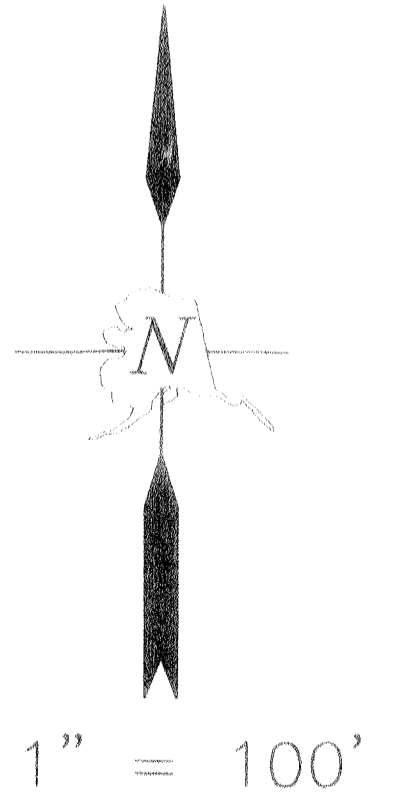


CURVE TABLE
CURVES WITH * ARE NONTANGENTIAL

CURVE	LENGTH	RADIUS	DELTA	DIRECTION	CHORD	TANGENT
*C1	169.80	215.00	45°15'02"	N04°33'15"E	165.42	89.61
C2	156.03	185.00	48°19'30"	N03°01'01"E	151.45	83.00
*C3	142.57	155.00	52°42'03"	N00°49'45"W	137.60	76.78
*C4	120.91	3152.10	2°11'52"	N28°16'42"E	120.90	60.46
*C5	200.48	3152.10	3°38'39"	N31°11'58"E	200.45	100.28
*C6	271.94	3122.10	4°59'26"	N29°40'29"E	271.86	136.06
*C7	82.26	3182.10	1°28'52"	N27°55'12"E	82.25	41.13
C8	38.43	30.00	73°24'09"	N08°02'27"W	35.86	22.36
C9	54.75	30.00	104°33'38"	N82°58'40"E	47.46	38.79
C10	122.68	3182.10	2°12'32"	N31°48'07"E	122.67	61.35
*C11	51.76	3182.10	0°55'55"	S33°22'21"W	51.76	25.88
C12	49.00	30.00	93°34'47"	S02°02'52"W	43.73	31.94
C13	54.69	50.00	62°40'07"	N77°30'12"E	52.00	30.44
C14	154.86	50.00	177°27'27"	S42°33'35"E	99.98	225.313
C15	52.36	50.00	59°59'59"	N78°50'15"E	50.00	28.87
C16	45.25	30.00	86°25'13"	N87°57'08"W	41.08	28.18
C17	64.61	185.00	20°00'32"	N31°08'59"W	64.28	32.64
C18	169.63	23018.31	0°25'20"	N49°02'56"E	169.63	84.83

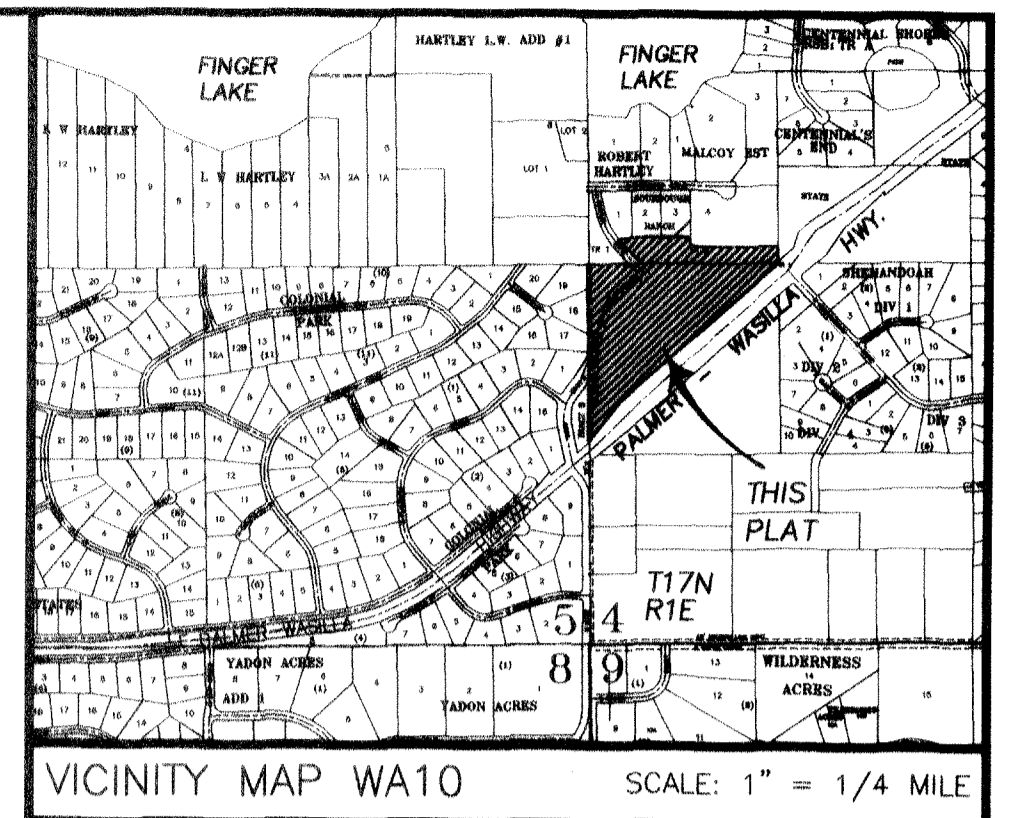
NOTES

- THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNER TO OBTAIN A DETERMINATION WHETHER SUCH REQUIREMENTS APPLY TO THE DEVELOPMENT OF THE PARCELS SHOWN HEREON.
- NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THOSE SYSTEMS.
- RECORD INFORMATION WAS TAKEN FROM COLONY PARK EST. SUBD., PLAT No. 76-40, SOURDOUGH RANCH SUBD., PLAT No. 84-246, AND D.O.T. & P.F. R.O.W. MAP S-0572(1) WASILLA-PALMER AND DATED MARCH 1980.
- BASIS OF BEARING IS DERIVED FROM MONUMENTATION RECOVERED @ THE 1/4 CORNER COMMON TO SECTIONS 4 & 5 AND AT THE CENTER WEST 1/16 CORNER OF SECTION 4. THE BASIS OF BEARING IS N89°55'16"W 1320.00'(R1) 1319.35'(MEAS.)
- COVENANTS, CONDITIONS AND RESTRICTIONS FOR TRACT 2, SOURDOUGH RANCH ESTATES, PLAT No. 84-246 WERE RECORDING NOVEMBER 2, 1984 IN BOOK 387 AT PAGE 596 AND JANUARY 3, 1985 IN BOOK 397 AT PAGE 726, PALMER RECORDING DISTRICT.



LINE TABLE

LINE	LENGTH	BEARING
L1	32.67	N89°55'16"W
L2	31.85	N89°55'16"W
L3	22.28	N89°55'16"W
L4	55.43	S00°10'02"E
L5	54.21	S00°10'02"E
L6	31.82	S48°50'16"E

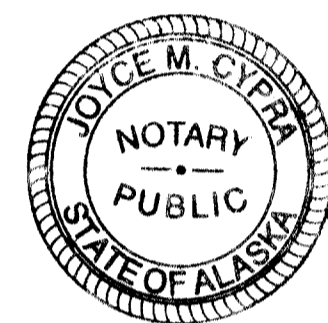


CERTIFICATE OF OWNERSHIP & DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAT OF SUBDIVISION BY OUR FREE CONSENT, DEDICATE ALL RIGHTS-OF-WAY TO THE MAT-SU BOROUGH AND GRANT ALL EASEMENTS TO THE USE SHOWN.

Dorwin R. Smith 7-16-02
DORWIN R. SMITH DATE
2970 COTTLE LOOP RD.
WASILLA, AK. 99654

Joanne H. Smith 7/16/02
JOANNE H. SMITH DATE
2970 COTTLE LOOP RD.
WASILLA, AK. 99654



NOTARY'S ACKNOWLEDGMENT
SUBSCRIBED AND SWORN TO BEFORE ME THIS 16th DAY OF July, 2002 FOR DORWIN R. SMITH AND JOANNE H. SMITH
Joanne H. Smith
NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES 6/8/03

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH Dec, 2002 AGAINST THE PROPERTY, INCLUDED IN THIS SUBDIVISION OR RESUBDIVISION, HEREON HAVE BEEN PAID.
J. Steward 8/14/02
BOROUGH TAX COLLECTION OFFICIAL DATE

PLANNING DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSTINA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLANNING AUTHORITY BY PLAT RESOLUTION No. 2002-137-VAC DATED 11-1-2002. AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA.
Sandra Bailey 8-15-02
PLANNING DIRECTOR DATE
ATTEST: *Walter M. Skewis*
PLANNING CLERK
2002-137-VAC



2002-87
PALMER REC DIST
Date August 14, 2002
Time 3:23 P.M.
Requested by MEB
Address

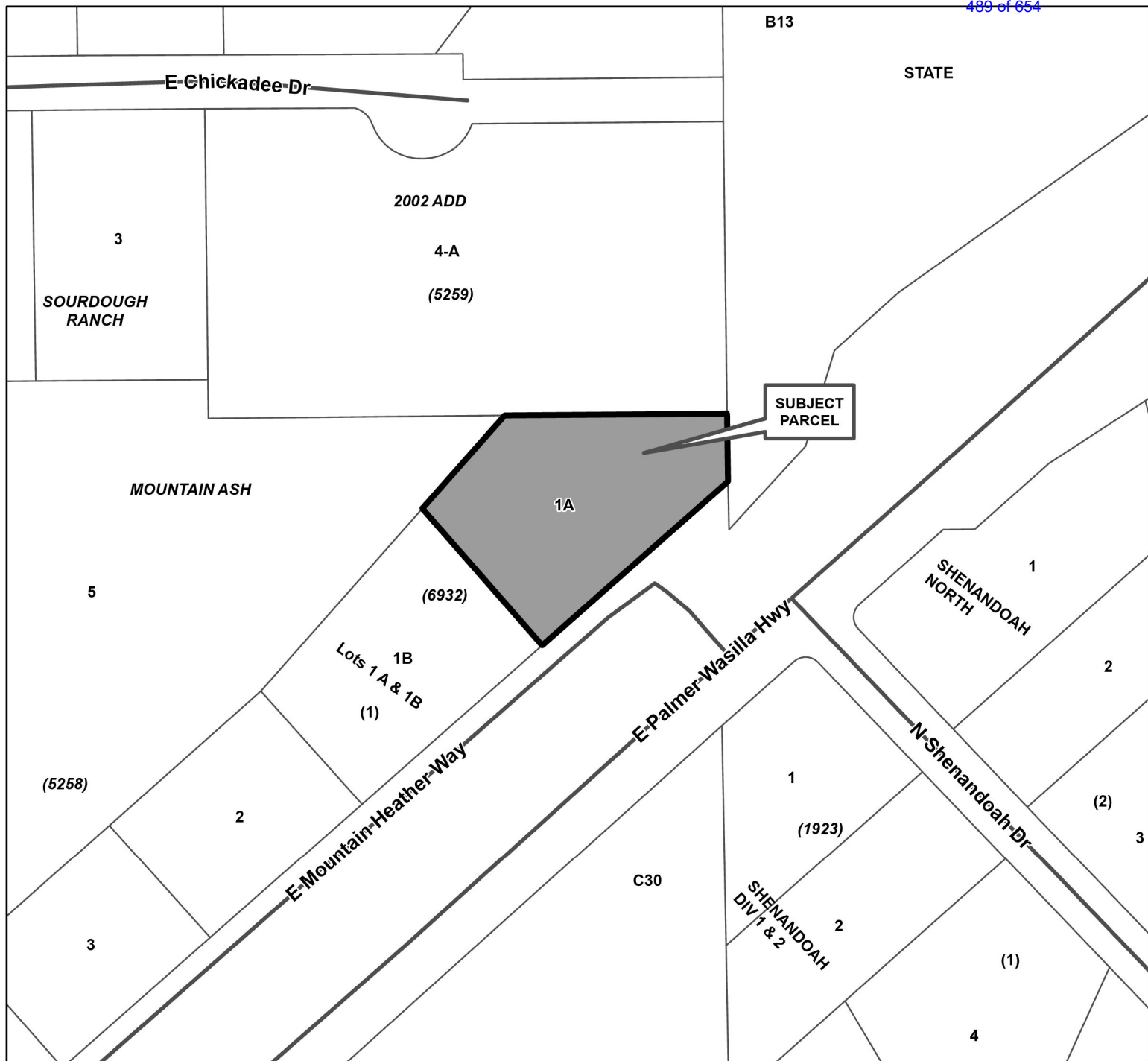
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.
DATE July 17, 2002

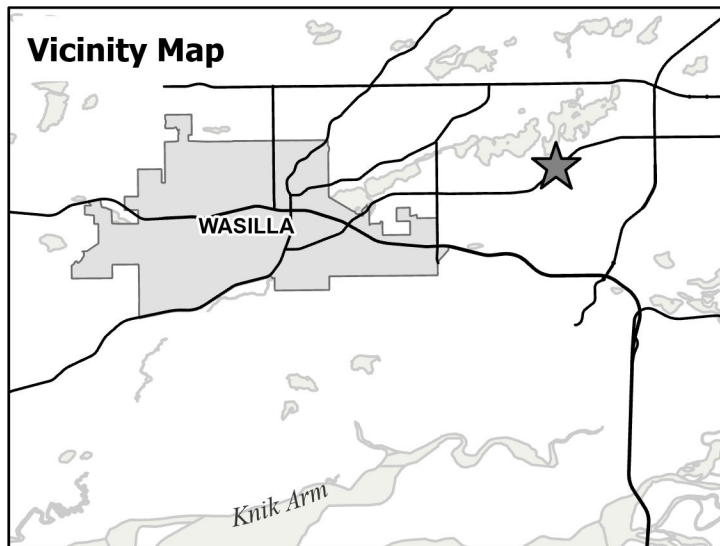


A PLAT OF
MOUNTAIN ASH SUBDIVISION
AND R.O.W. VACATION OF
A PORTION OF N. HYER SPUR ROAD
A SUBDIVISION OF
A PORTION OF SOURDOUGH RANCH EST. TRACT 2
PLAT No. 84-246, AND THAT PORTION OF
THE NW1/4SW1/4 SEC. 4, T17N, R1E, S4M, AK
THAT LIES NORTH OF THE PALMER WASILLA HWY.
PALMER RECORDING DISTRICT
LOCATED WITHIN A PORTION OF U.S. GOV'T LOT 5 AND A PORTION OF THE NW1/4SW1/4, SEC. 4, T17N, R1E, S4M, AK CONTAINING 21.24± ACRES
ALASKA RIM ENGINEERING, INC.
ENGINEERS-PLANNERS-SURVEYORS
P.O. BOX 2749 PALMER, ALASKA 99645 (907) 746-0222 FAX (907) 746-0222
W.O. 0104121 DATE: JULY, 2002 SCALE: 1" = 100'
DRAWN BY: RJF FILE: 0100121_PL SHEET 1 OF 1

MAPS

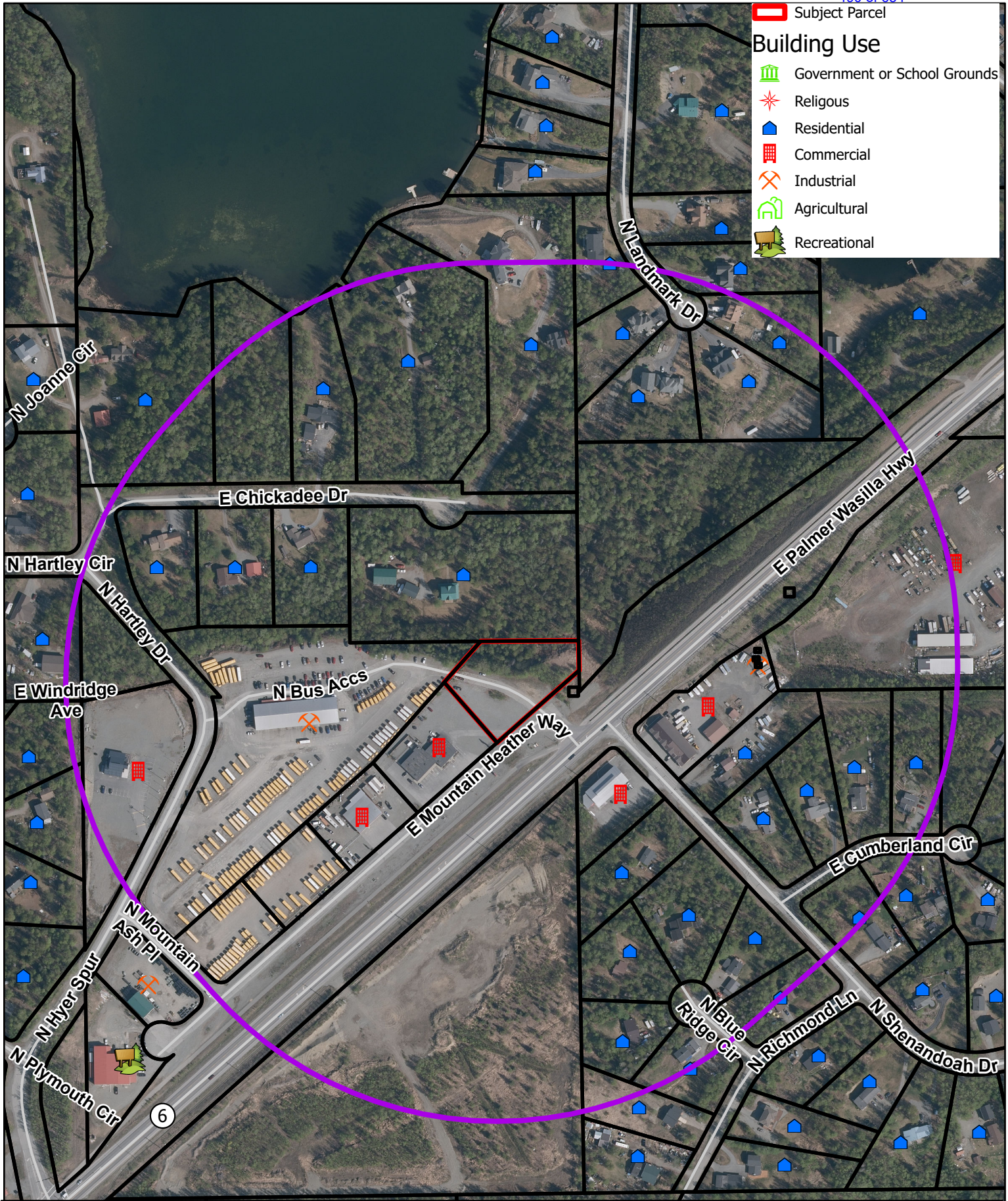


6932B01L001A



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.





Subject Parcel

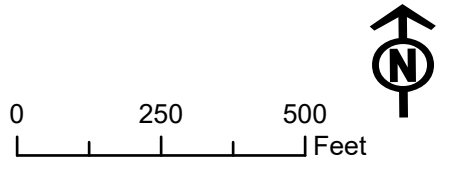
Building Use

- Government or School Grounds
- Religious
- Residential
- Commercial
- Industrial
- Agricultural
- Recreational

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Land Use Map for 6932B01L001A



PUBLIC NOTICING

From: [Peggy Horton](#)
To: [Corinne Lindfors](#)
Cc: [Karol Riese](#)
Subject: Mailing: Higher by Bad Gramm3r Marijuana Retail Facility
Date: Monday, April 1, 2024 4:27:00 PM
Attachments: [Public Notice Mailing.DOCX](#)
[6932B01L001A Main Layout.pdf](#)

Good Morning,

Please prepare and send the attached mailing on or before **Friday April 12, 2024**. The notice area is 600 feet and all lots within the existing subdivision, Hi-Phi. The community council in this area is South Lakes, but they are inactive.

Thank you,

Peggy Horton
Current Planner
907-861-7862

BG
HICHER OF BAO GRAM 312



Certificate of Bulk Mailing – Domestic

Fee for Certificate

Up to 1,000 pieces (1 certificate for total number)

For each additional 1,000 pieces, or fraction thereof

Duplicate Copy

Use Current Price List (Notice 123)

Postage: Mailers must affix meter, PC Postage®, or (uncanceled) postage stamps here in payment of total fee due.



Acceptance employee must cancel affixed (by round-date) at the time of

If payment of total fee due is being paid by Permit Imprint, include the *PostalOne!*® Transaction Number here: _____

Number of Identical Weight Pieces 26	Class of Mail 1st	Postage for Each Mailpiece Paid <input type="checkbox"/> Verified	Number of Pieces to the Pound 45
--	-----------------------------	--	--

Total Number of Pounds 9.3	Total Postage Paid for Mailpieces 17.92	Fee Paid 11.10
--------------------------------------	---	--------------------------

Mailed For **Permit Center**

Mailed By **I. Fodge**



Postmaster's Certification

It is hereby certified that the number of mailpieces presented and the associated postage and fee were verified. This certificate does not provide evidence that a piece was mailed to a particular address.

(Postmaster or Designee)

See Reverse for Instructions

BAD GRAMMER

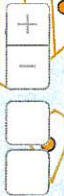
NUMBER	Tax Account	OWNER_1	MAILING_ADDRESS_LINE_B	MAILING_ADDRESS_CITY	MAILING_	MAILING_Buyer_Na
1	1923B02L002	HOWELL ISAAC	1101 N SHENANDOAH DR	PALMER	AK	99645
2	3945000L002	WILLIAMS TYLER J WILLIAMS EMILY A	6201 E CHICKADEE	PALMER	AK	99645
3	5258B01L005	LAIDLAW TRANSIT INC, #310 ATTN VICE PRES	144 RAILROAD AVE	EDMONDS	WA	98020
4	2851000L002	GURNETT TIMOTHY M & SANAZ	6090 E CHICKADEE DR	PALMER	AK	99645-7749
5	5999000T00A	TB INC	PO BOX 876229	WASILLA	AK	99687-6229
6	1923B01L003	ROCKEY MARY K	PO BOX 3315	PALMER	AK	99645
7	1923B02L004	HUGHES SUSAN M	6431 E CUMBERLAND CIR	PALMER	AK	99645
8	9997000U0436	AT&T MOBILITY, ATTN PROP TAX DEPT	1010 PINE 9E-L-01	ST LOUIS	MO	63101
9	1923000T001	ALASKA STATE OF DEPT OF TRANS & PUB FAC	PO BOX 196900	ANCHORAGE	AK	99519-6900
10	2851000L003	LEACH TIMOTHY T	6140 CHICKADEE DR	PALMER	AK	99645
11	5999000L001	HOLCOMB JOHN EST	PO BOX 876326	WASILLA	AK	99687-6326
12	1923B01L004	FOLDENAUER CARL G&LAUREAN	PO BOX 876141	WASILLA	AK	99687
13	1923B01L001	SADTLER MAX & YVONNE MTR/TRES	3650 W STATE HIGHWAY 16	PORT ORCHARD	WA	98367-8031
14	9997000U0595	SOONER TOWERS LLC, ATTN TAX DEPT	57 E WASHINGTON ST	CHAGRIN FALLS	OH	44022
15	3945000L003	PEPPER GARY & MELINDA	6251 E CHICKADEE DR	PALMER	AK	99645
16	17N01E04B014	JUNIOR PROPERTIES LLC	PO BOX 110777	ANCHORAGE	AK	99511
17	5258B01L003	MATSU VALLEY MAN CAVES LLC	5007 W RELIANCE RD	WASILLA	AK	99623
18	1923B01L002	JOHNSTON WILBERT JR, APT 3A	140 COOPER ST	HOT SPRINGS	AR	71913-3283
19	5258B01L002	BURRIS NATHAN A & DEANN L, STE BPMB 985	2521 E MTN VILLAGE DR	WASILLA	AK	99654-7332
20	3281000L005	REGO JAMES F & LACEY J	1420 N LANDMARK DR	PALMER	AK	99645-9371
21	5259000L004-A	WYCKOFF KEVIN D & LISA B	PO BOX 871169	WASILLA	AK	99687-1169
22	6932B01L001A	ZELL 2015 FAM TR	5850 E ALDER CIR	WASILLA	AK	99654
23	1923B02L003	MALETTE KENNETH R & JACQUELINE	1075 N SHENANDOAH DR	PALMER	AK	99645
24	17N01E04B013	ALASKA STATE OF DEPT OF TRANS & PUB FAC	PO BOX 196900	ANCHORAGE	AK	99519-6900
25	17N01E04C030	WHISKEY ROMEO LLC	13000 BIRCH RD	ANCHORAGE	AK	99516
26	6932B01L001B	6177 MTN HEATHER WAY LLC	PO BOX 874495	WASILLA	AK	99687
27	3945000L001	WELTON TRAVIS E & KELLY K	6141 E CHICKADEE DR	PALMER	AK	99645-7700
28	5258B02L001	GREER HOLDINGS LLC	2921 W INTERNATIONAL AIRP	ANCHORAGE	AK	99502-1104

36



MSB Mailing List Application

Instructions



6932B01L001A

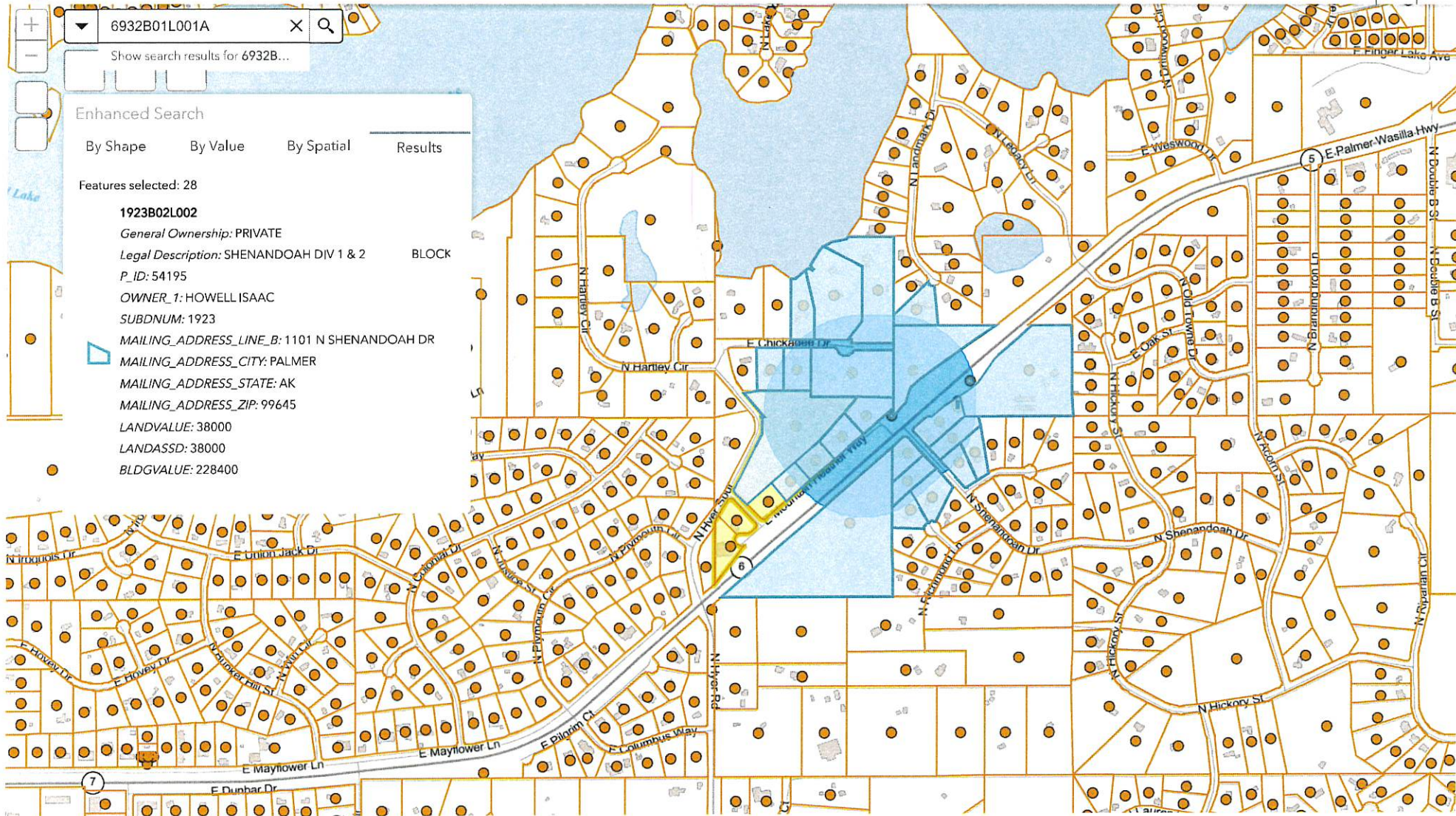
Show search results for 6932B...

Enhanced Search

By Shape By Value By Spatial Results

Features selected: 28

- 1923B02L002**
- General Ownership: PRIVATE
- Legal Description: SHENANDOAH DIV 1 & 2 BLOCK
- P_ID: 54195
- OWNER_1: HOWELL ISAAC
- SUBDNUM: 1923
- MAILING_ADDRESS_LINE_B: 1101 N SHENANDOAH DR
- MAILING_ADDRESS_CITY: PALMER
- MAILING_ADDRESS_STATE: AK
- MAILING_ADDRESS_ZIP: 99645
- LANDVALUE: 38000
- LANDASSD: 38000
- BLDGVALUE: 228400



600ft
loading

MSB Mailing List Application

Instructions

6932B01L001A

Show search results for 6932B...

Enhanced Search

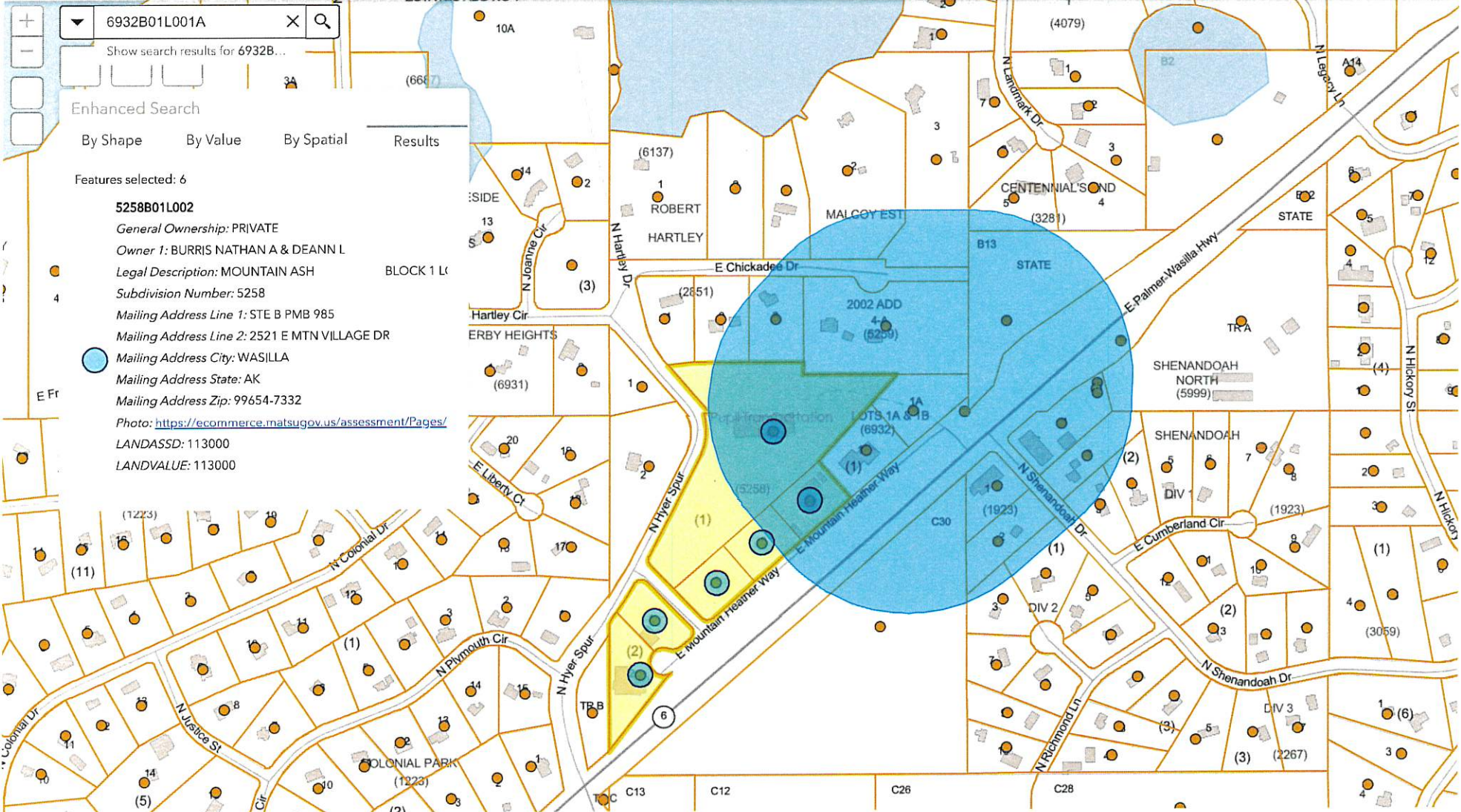
By Shape By Value By Spatial

Results

Features selected: 6

5258B01L002

General Ownership: PRIVATE
 Owner 1: BURRIS NATHAN A & DEANN L
 Legal Description: MOUNTAIN ASH
 Subdivision Number: 5258
 Mailing Address Line 1: STE B PMB 985
 Mailing Address Line 2: 2521 E MTN VILLAGE DR
 Mailing Address City: WASILLA
 Mailing Address State: AK
 Mailing Address Zip: 99654-7332
 Photo: <https://ecommerce.matsugov.us/assessment/Pages/LANDASSD:113000>
 LANDASSD: 113000
 LANDVALUE: 113000



From: [Peggy Horton](#)
To: [Ben Borg](#)
Cc: [Petra Albecker \(petra.albecker@frontiersman.com\)](mailto:petra.albecker@frontiersman.com); [Corinne Lindfors](#); [Karol Riese](#)
Subject: MSB Page Ad: Higher by Bad Gramm3r Marijuana Retail Facility CUP
Date: Monday, April 1, 2024 4:24:00 PM
Attachments: [Newspaper Ad Request Horton.pdf](#)
[Newspaper Ad.DOCX](#)
[6932B01L001A Main Layout.pdf](#)

Good Morning,
Please see attached ad, map, and ad request for publication on April 12, 2024.

Thank you,
Peggy Horton
Current Planner
907-861-7862

ADVERTISEMENT ORDER
MATANUSKA-SUSITNA BOROUGH

350 East Dahlia Avenue
Palmer, Alaska 99645

PUBLISHER	MANDATORY PUBLICATION DATES {By MSB Code}	PREFERRED PUB. DATES	DATES FOR FILLER ADS (space permitting)
FRONTIERSMAN (contract)	April 12, 2024		
Anchorage Daily News			
Talkeetna Good Times {publishes once a month}			

Borough Page Classified/Legal Display Ad Acct #(100.120.113.422.000)

**THE ATTACHED MATERIAL MUST BE PRINTED IN ITS ENTIRETY ON THE DATES SHOWN ABOVE.
AN AFFIDAVIT OF PUBLICATION IS REQUIRED PRIOR TO PAYMENT.**

A PROOF IS REQUESTED ON DISPLAY ADS FOR APPROVAL, PRIOR TO PUBLICATION.

**Please email display ad proof to Attn: Peggy Horton Email: peggy.horton@matsugov.us
and Corinne Lindfors Email: clindfors@matsugov.us**

See attached Advertisement

Requested by: _____
Emailed: _____ Diskette: _____

Approved by: _____
Date: _____



Matanuska-Susitna Borough

www.matsugov.us

MATANUSKA-SUSITNA BOROUGH NOTICE OF PUBLIC MEETINGS

All meetings of recognized boards, committees, and commissions of the Borough are open to the public and are held at Borough offices, 350 E. Dahlia Ave., Palmer, AK, unless specified otherwise. Three or more Assembly Members may be present at advertised public meetings of federal, state, and local governments or other entities. Meetings are scheduled as follows:

BOARD	DATE	TIME	LOCATION
Central Mat-Su FSA No. 130 Board of Supervisors	04/08/24	6:00 pm	Central Mat-Su, Station 6-1
West Lakes FSA No. 136 Board of Supervisors	04/08/24	6:00 pm	West Lake, Station 7-3
Big Lake RSA No. 21 Board of Supervisors	04/08/24	6:30 pm	Big Lake Lions Club
Caswell RSA No. 15 Board of Supervisors	04/08/24	6:30 pm	Sheep Creek Lodge
Board of Equalization Appeal Hearing	04/09/24	9:00 am	Lower Level Conference Room
Library Board	04/09/24	1:00 pm	Wasilla Public Library & Zoom Meeting ID: 870 3358 8172 Passcode: 304738
Abbreviated Plat	04/10/24	8:30 am	Assembly Chambers
South Colony RSA No. 16 Board of Supervisors	04/10/24	2:00 pm	Conference Room 203
Bogard RSA No. 25 Board of Supervisors Special Meeting RE: Discuss Contract Snow Removal Options	04/10/24	5:00 pm	Lower Level Conference Room & Teams Meeting Meeting ID: 280 212 390 158 Passcode: QpyUs2
Caswell FSA No. 135 Board of Supervisors	04/10/24	6:30 pm	Caswell, Station 13-1
Assembly Special Meeting RE: Departmental Budget Presentations	04/11/24	10:00 am	Assembly Chambers
Butte FSA No. 2 Board of Supervisors	04/11/24	10:00 am	Butte, Station 2-1
Board of Equalization Appeal Hearing	04/11/24	1:00 pm	Teams Meeting ID: 212 414 484 276 Passcode: sWRVLS Or Call 907-290-7880 Conference ID: 228 062 490#
MSB Fish & Wildlife Commission	04/11/24	4:00 pm	Back Half of Assembly Chambers & Teams Meeting ID: 240 807 914 87 Passcode: 8yXzCY
Greater Talkeetna RSA No. 29 Board of Supervisors	04/11/24	6:30 pm	Zoom Meeting ID: 879 1321 4573 Passcode: 4GzxGx
Greater Palmer Consolidated FSA No. 132 Board of Supervisors	04/12/24	9:00 am	Palmer Fire Training Center
Planning Commission (To Participate Telephonically Call 855-290-3803)	04/15/24	6:00 pm	Assembly Chambers
Knik RSA No. 17 Board of Supervisors	04/15/24	7:00 pm	Point MacKenzie Community Center
Board Of Equalization Appeal Hearing	04/16/24	9:00 am	Teams Meeting ID: 218 295 227 568 Passcode: WS2hus Or Call 907-290-7880 Conference ID: 907 199 30#
Fairview RSA No. 14 Board of Supervisors	04/16/24	4:00 pm	Fairview Loop Baptist Church
Assembly Regular Meeting (To Provide Public Comment Telephonically Call 855-225-2326)	04/16/24	6:00 pm	Assembly Chambers
Abbreviated Plat	04/17/24	8:30 am	Assembly Chambers
Board of Equalization	04/17/24	9:00 am	Lower Level Conference Room
Animal Care and Regulation Board Special Meeting RE: Discussion and Possible Amendments To AC&R Resolution No. 24-001, A Resolution Making Recommendations for Amending Portions of Title 24 And Regular Board Meeting to Immediately Follow	04/17/24	11:00 am	Assembly Chambers
Agriculture Advisory Board	04/17/24	4:30 pm	Lower Level Conference Room
Local Emergency Planning Committee	04/17/24	5:30 pm	Cottonwood, Station 6-5 & Teams 907-290-7880 or 844-643-2217 Conference ID: 660 148 457#
Board of Equalization Appeal Hearing	04/18/24	9:00 am	Teams Meeting ID: 234 126 355 327 Passcode: HcMKTG or Call 907-290-7880 Conference ID: 824 375 680#
Platting Board (To Participate Telephonically Call 855-290-3803)	04/18/24	1:00 pm	Assembly Chambers
Board of Equalization Appeal Hearing	04/18/24	1:30 pm	Lower Level Conference Room
Local Road Service Area Advisory Board (there may quorum of individual RSA Boards present)	04/18/24	7:00 pm	West Lakes, Station 7-3 & Teams Meeting ID: 236 315 759 929 Passcode: bnzjC
If you would like further information on any of these meetings or are interested in serving on any of the advisory boards, please call the Borough Clerk's Office at 907-861-8683, Monday through Friday, 8 a.m. to 5 p.m. The Borough's website address is: https://www.matsugov.us/publicmeetings			
Disabled persons needing reasonable accommodation in order to participate at a Borough Board/Commission meeting should contact the Borough ADA Coordinator at 907-861-8432 at least one week in advance of the meeting.			
The Community Council meetings scheduled are: (Community Councils are not agencies or subgroups of the Borough. There may be a quorum of Mat-Su Borough advisory boards in attendance at community council meetings.)			
Willow Area Community Organization Policies and Procedures Review Committee Meeting	04/06/24	9:00 am	Willow Community Center
Big Lake Community Council	04/09/24	7:00 pm	Big Lake Lions Club
Chase Community Council	04/10/24	6:00 pm	Alaska Railroad MI 232 Gravel Pit

Gateway Community Council	04/10/24	6:00 pm	Extreme Fun Center's Sky Lounge & Zoom Meeting ID: 891 2154 8496 Passcode: 046319
Butte Community Council	04/10/24	7:00 pm	Butte Community Center
Chickaloon Community Council	04/10/24	7:00 pm	Chickaloon Community Center
Meadow Lakes Community Council (mlccak.org for Zoom link)	04/10/24	7:00 pm	Meadow Lake Senior Center
Lazy Mountain Community Council Annual Meeting	04/11/24	7:00 pm	Lazy Mountain Bible Church Fellowship Hall
Point MacKenzie Community Council Annual Meeting	04/11/24	7:00 pm	Point MacKenzie Community Center
Meadow Lakes Community Council Board Meeting (mlccak.org for Zoom link)	04/17/24	6:30 pm	Meadow Lakes Senior Center
Trapper Creek Community Council (To Participate Telephonically Call 907-373-2663 Participant Code: 991090)	04/18/24	6:30 pm	Trapper Creek Community Center
Fishhook Community Council	04/18/24	7:00 pm	Government Peak Chalet
South Knik River Community Council			

Publish Date: April 5, 2024 0424-06



PUBLIC NOTICE

Dennis & Lori Hamann, Owners, applied for a Determination of Legal Nonconforming Status according to MSB 17.80.070 for a garage located at 1200 South Oat Street, Tax ID #2492000L001A. At its closest point, the structure is set back 12.9 feet from the South Oat Street right-of-way. Structures are required to be set back a minimum of 25 feet from public rights-of-way. Granting a determination of Legal Nonconforming Status will permit the structure to remain in its current location.

Application materials may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Peggy Horton, Planner II, by phone: 907-861-7862. Provide written comments by e-mail to peggy.horton@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

Comments are due on or before **April 19, 2024**, and will be included in the staff report to the Planning and Land Use Director. Please be advised that comments received from the public after that date will not be included in the staff report. **The earliest decision date for this request is April 19, 2024.**

In order to be eligible to file an appeal from a decision of the Planning Director, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Publish Date: April 5, 2024 0424-03



PUBLIC HEARING

Teresa Zell applied for a Conditional Use Permit under MSB 17.60 - Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher by Bad Gramm3r. The proposed operation is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The proposed site is located on Tax ID # 6932B01L001A.

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, June 17, 2024**, at 6:00 p.m. in the Borough Assembly Chambers located at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Peggy Horton, Current Planner, by phone at 907-861-7862. Provide written comments by e-mail to peggy.horton@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **May 20, 2024**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Publish Date: April 5, 2024 0424-04

Public Hearing Notice for Conditional Use Permit Application for a Marijuana Retail Facility

Teresa Zell applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility. The proposed operation is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The proposed site is located on Tax ID # 6932B01L001A.

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, June 17, 2024**, at 6:00 p.m. in the Borough Assembly Chambers located at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking on “All Public Notices & Announcements.” For additional information, you may contact Peggy Horton, Current Planner, by phone at 907-861-7862. Provide written comments by e-mail to peggy.horton@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk’s office, and at various libraries within the borough.

Comments are due on or before **May 20, 2024**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

From: [Peggy Horton](#)
To: [White, Ben M \(DOT\)](#); [Huling, Kristina N \(DOT\)](#); [Tyler Hylton \(kyler.hylton@alaska.gov\)](#); [colton.percy@alaska.gov](#); [Sarah Myers \(sarah.myers@alaska.gov\)](#); [msb.hpc@gmail.com](#); [Gerrit Verbeek](#); [MEA ROW - MEA \(mearow@mea.coop\)](#); [Right of Way Dept.](#); [Enstar ROW \(row@enstarnaturalgas.com\)](#); [GCI ROW \(ospdesign@gci.com\)](#); [Jeffrey Anderson](#); [Brian Davis](#); [Fire Code](#); [Land Management](#); [regpagemaster@usace.army.mil](#); [Tom Adams](#); [Brad Sworts](#); [Daniel Dahms](#); [Tammy Simmons](#); [Jamie Taylor](#); [Katrina Kline](#); [Alex Strawn](#); [Planning](#); [Fred Wagner](#); [Permit Center](#); [Jason Ortiz](#); [Corinne Lindfors](#); [Michelle Olsen](#); [Taunnie Boothby](#); [John Aschenbrenner](#); [robbyundtmsb@gmail.com](#); [noffkejl@gmail.com](#); [hessmer@mtaonline.net](#); [3in1oil@gmail.com](#); [daventp@mtaonline.net](#); [lszipszky@palmerpolice.com](#); [susansteel550@gmail.com](#); [blushingmoose@yahoo.com](#)
Subject: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility
Date: Monday, April 1, 2024 4:22:00 PM

Good Morning,

Teresa Zell applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher by Bad Gramm3r. The proposed operation is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The proposed site is located on Tax ID # 6932B01L001A. RSA: 25

The Planning Commission will conduct a public hearing on this request on **June 17, 2024**.

Application materials may be viewed online at www.matsugov.us by clicking on 'All Public Notices & Announcements'. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for Conditional Use Permit for Marijuana Retail Facility \(matsugov.us\)](http://www.matsugov.us)

Comments are due on or before **May 20, 2024**, and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Regards,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Current Planner
907-861-7862

Site Visit Photos



Existing Retail Facility to be moved



Existing Retail Facility to be moved



Existing Retail Facility to be moved



Existing Retail Facility to be moved



Existing facility drive-up window



NOTICE

ALL OCCUPANTS IN VEHICLE
MUST BE **21 + WITH VALID ID**

TRANSACTION DRAWER™

E.F. Smith & Associates, Inc., Mansfield, Ohio 43058 (614) 877-0900

Press call



To Talk!

Existing facility drive-up window

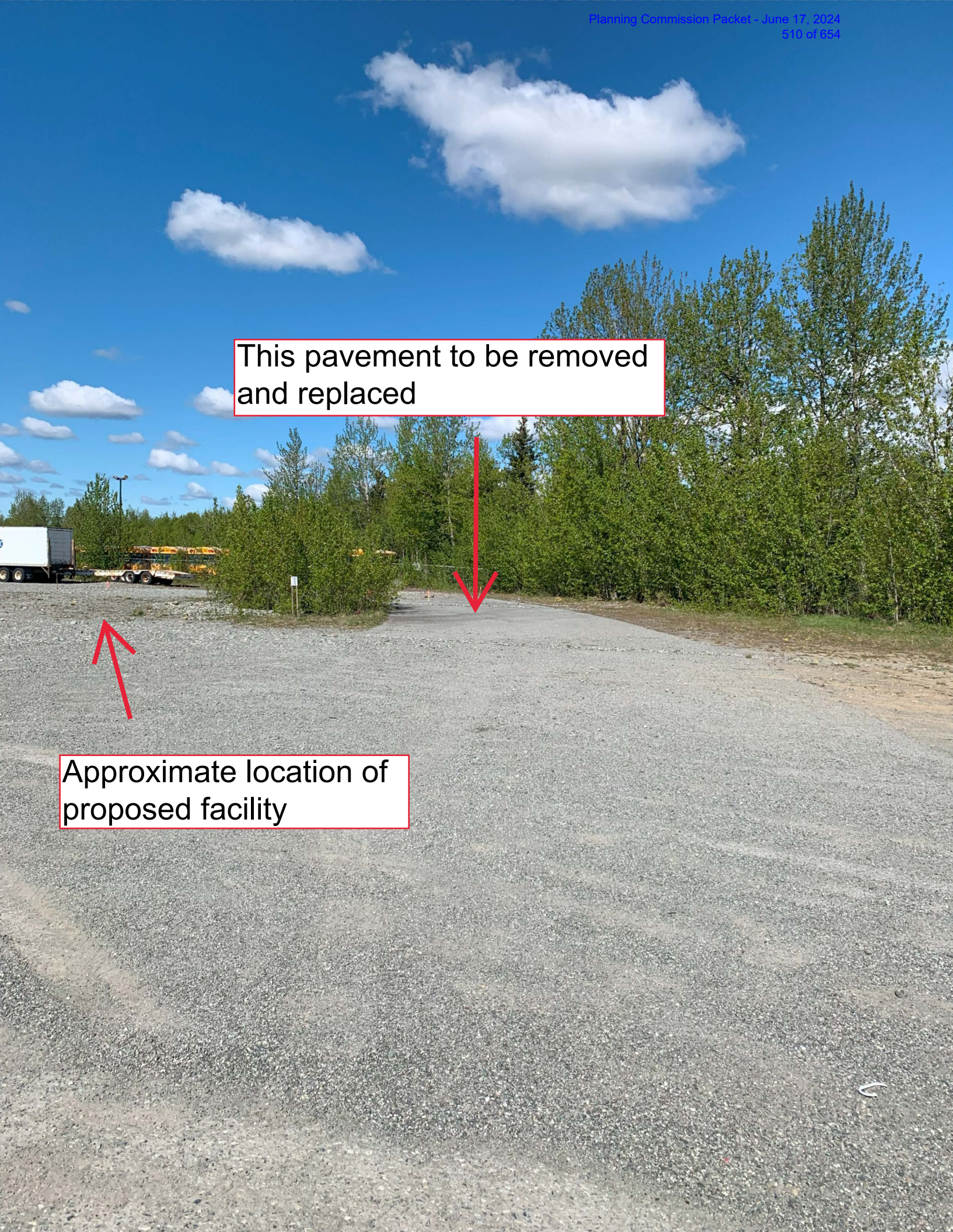


Proposed facility location

This pavement to be removed
and replaced



Approximate location of
proposed facility



this pavement to be removed and replaced

Approximate location of drive-up window





Looking southwest at
proposed facility location

this pavement to be removed.

Existing gas line along front property line.





Looking southwest long front property line.



Looking north from Mountain Heather Way
at proposed facility location



At Mountain Heather Way, looking north at proposed facility location



At Mountain Heather Way looking north at proposed facility location



At Mountain Heather Way looking northeast.



At Mountain Heather Way looking southwest



At Mountain Heather Way, looking northeast along front property line.

Palmer-Wasilla
Highway



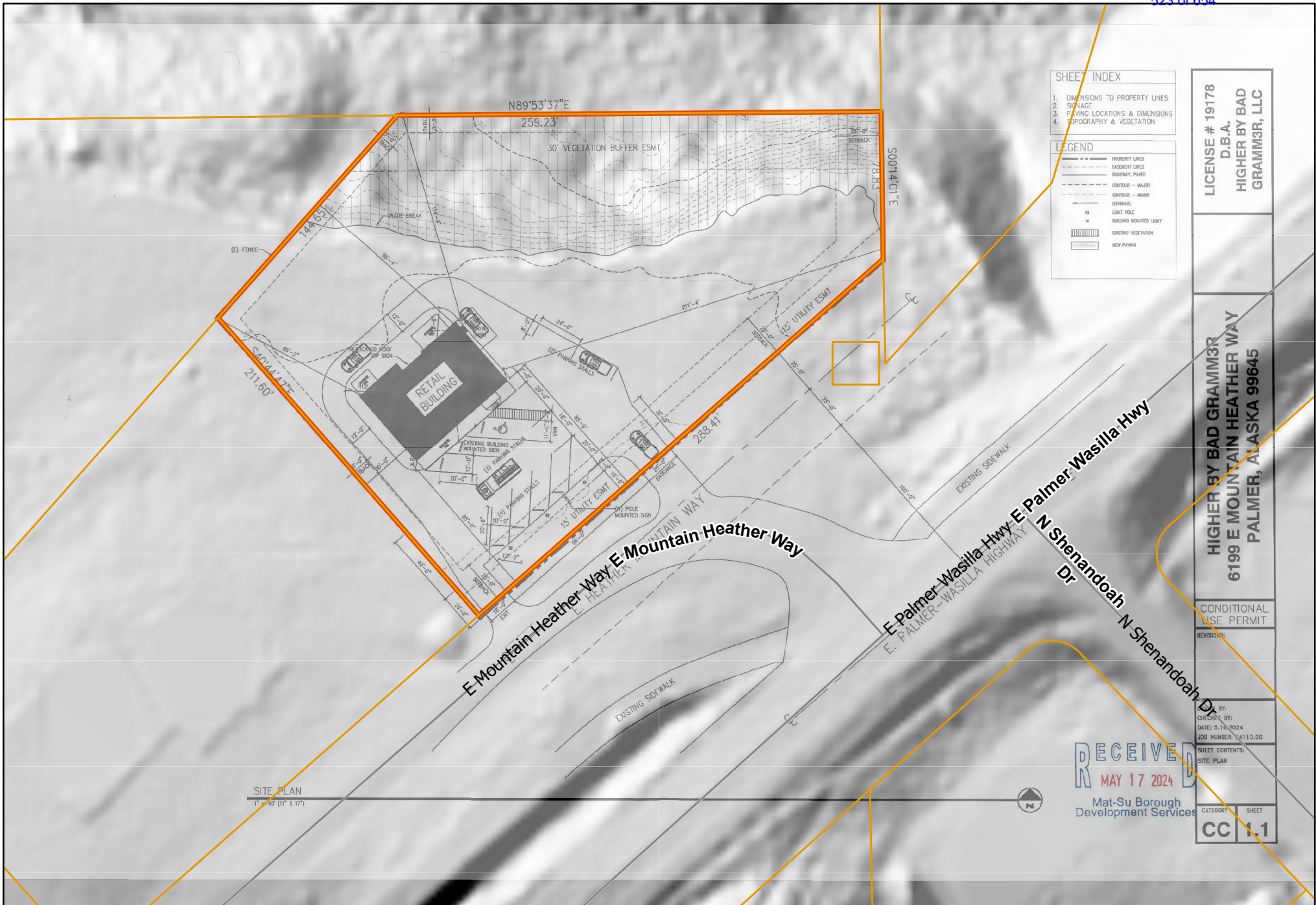
Mountain Heather
Way



pavement to
be removed



SITE PLAN



SHEET INDEX

- DIMENSIONS TO PROPERTY LINES
- STORAGE
- PAVING LOCATIONS & DIMENSIONS
- TOPOGRAPHY & VEGETATION

LEGEND

- PROPERTY LINES
- EASEMENT LINES
- ROADWAY, PAVED
- CONTOUR - MAJOR
- CONTOUR - MINOR
- DRAINAGE
- LIGHT POLE
- BUILDING MOUNTED LIGHT
- EXISTING VEGETATION
- NEW PAVING

LICENSE # 19178
D.B.A.
HIGHER BY BAD
GRAMM3R, LLC

HIGHER BY BAD GRAMM3R
6199 E MOUNTAIN HEATHER WAY
PALMER, ALASKA 99645

CONDITIONAL
USE PERMIT

REVISIONS:

DESIGNED BY:
CHECKED BY:
DATE: 5.18.2024
JOB NUMBER: 24110.00

SHEET CONTENTS:
SITE PLAN

CATEGORY: SHEET
CC 1.1

SITE PLAN
1" = 10' (1" x 17')

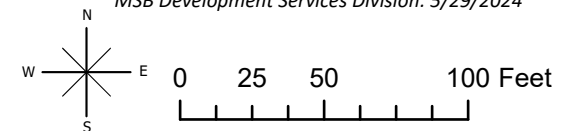
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MAY 17 2024
Mat-Su Borough
Development Services

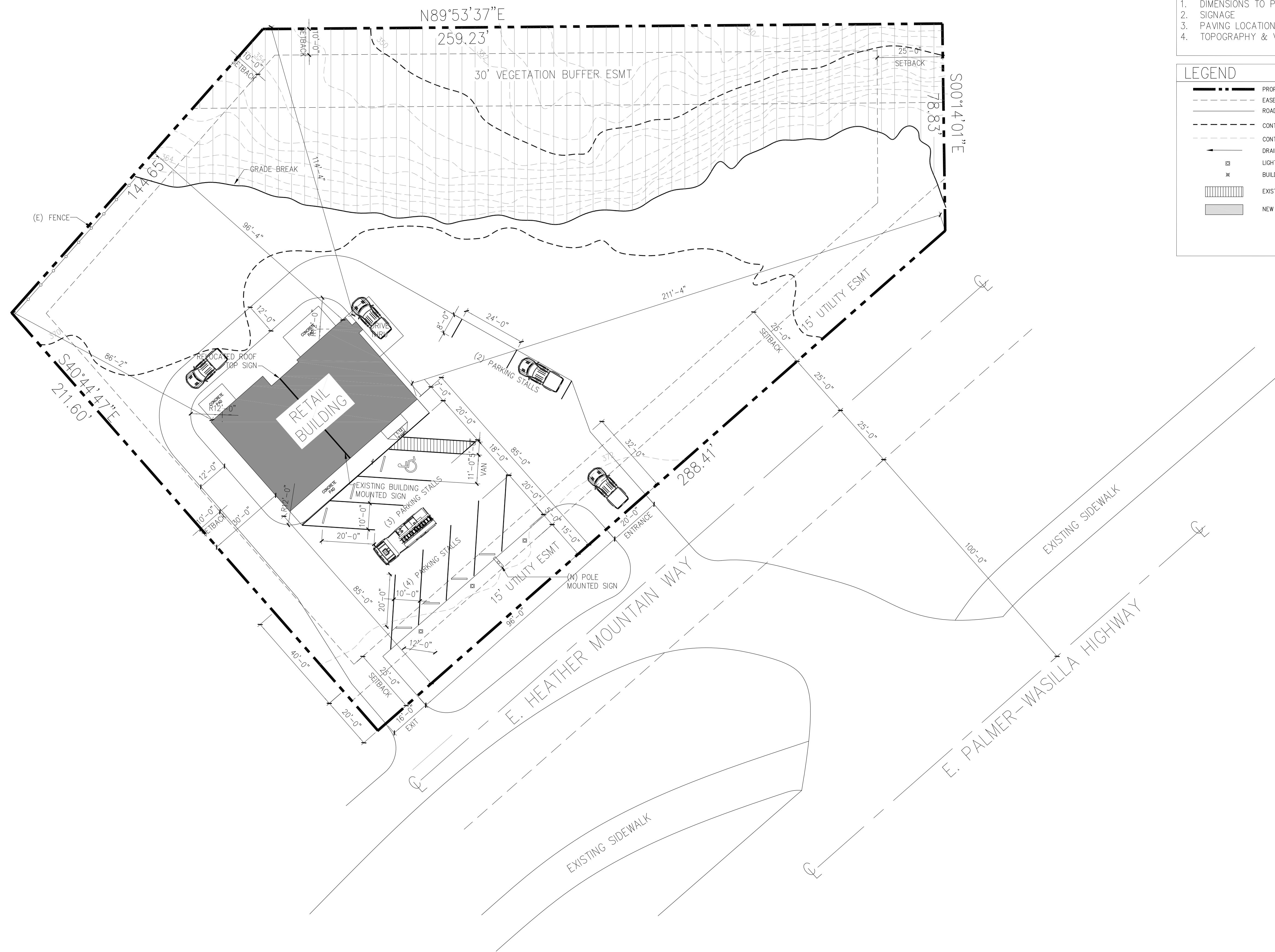
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2019 Hillshade with Site Plan Overlay

MSB Development Services Division: 5/29/2024





SHEET INDEX

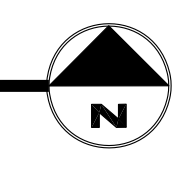
1. DIMENSIONS TO PROPERTY LINES
2. SIGNAGE
3. PAVING LOCATIONS & DIMENSIONS
4. TOPOGRAPHY & VEGETATION

LEGEND

	PROPERTY LINES
	EASEMENT LINES
	ROADWAY, PAVED
	CONTOUR - MAJOR
	CONTOUR - MINOR
	DRAINAGE
	LIGHT POLE
	BUILDING MOUNTED LIGHT
	EXISTING VEGETATION
	NEW PAVING

SITE PLAN

1" = 40' (11" x 17")



LICENSE # 19178
D.B.A.
HIGHER BY BAD
GRAMM3R, LLC

HIGHER BY BAD GRAMM3R
6199 E MOUNTAIN HEATHER WAY
PALMER, ALASKA 99645

CONDITIONAL
USE PERMIT

REVISIONS:

DRAWN BY:
CHECKED BY:
DATE: 5.16.2024
JOB NUMBER: 24110.00

SHEET CONTENTS:
SITE PLAN

CATEGORY	SHEET
CC	1.1

APPLICATION MATERIAL



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us

RECEIVED
FEB 21 2024

Mat-Su Borough
Development Services

CONDITIONAL USE PERMIT FOR MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

\$1,500 for Marijuana Retail Facility *X FOLDED FROM PERMIT: 10298*
 \$1,500 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

- Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
- Odor Mitigation and Ventilation Plan – 17.60.160 (B)
- Hazardous Chemicals Information – 17.60.160 (C)
- Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: 17N, Range: 1E, Section: 4, Meridian: Seward

Tax ID# 56932B01L001A

SUBDIVISION: MOUNTAIN ASH RSB BLOCK(S): 1, LOT 1A

OT(S): STREET ADDRESS: 6199 East Mountain Heather Way, Palmer, Alaska 99645

FACILITY / BUSINESS NAME: Higher by Bad Gramm3r, LLC

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? Yes No N/A

Name of Property Owner

ZELL 2015 FAMILY TRUST

Mailing: 5850 EAST ALDER CIRCLE

WASILLA, AK 99654

Phone: Hm 907-232-1809 Fax _____

Wk 907-232-1809 Cell _____

E-mail pwzell1809@gmail.com

Name of Agent / Contact for application

Teresa Zell / Attorney Jana Weltzin

Mailing: 5850 EAST ALDER CIRCLE

WASILLA, AK 99654

Phone: Hm 907-232-1809 Fax _____

Wk 907-232-1809 Cell _____

E-mail teri@badgramm3r.com

Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	YES
Signage – Existing and Proposed.	YES
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	YES
Buffering – Fences, vegetation, topography, berms, and any landscaping	YES
Drainage	YES
Vehicular and pedestrian circulation patterns.	YES
Exterior site lighting.	YES
Location and dimensions of parking areas to be provided	YES
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	YES

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	YES
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	YES

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	YES, please see narrative
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	NO
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	YES
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	Please see narrative
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	Please see narrative
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> • Increased property line and right-of-way buffers • Planted berms and landscaping • Site and building design features which contribute to the character of the surrounding area 	Please see narrative
Describe how this use is compatible with the character of the surrounding area.	Pls see narrative
Current status of State License application process – 17.60.150 (D) (1)	Approved by the MCB

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> • The proximity of the proposed use to existing businesses; • The proximity of parcels developed with residential uses; • Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and • Proposed hours of operations. 	YES
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	YES

Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	YES
Interior floor plans (specific location of the use or uses to be made of the development).	YES
Net floor area square footage calculations.	YES

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax account #(s) 56932B01L001A
and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.



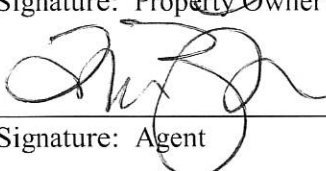
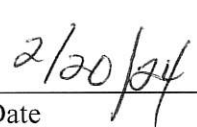
I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public’s health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

	ZELL 2015 FAM TRUST	
Signature: Property Owner	Printed Name	Date
	Teresa Zell	
Signature: Agent	Printed Name	Date

**RETAIL MARIJUANA STORE CONDITIONAL
USE PERMIT NARRATIVE**

~~RECEIVED
FEB 21 2024~~

Mat-Su Borough
Development Services

Higher by Bad Gramm3r, LLC

DBA HIGHER BY BAD

GRAMM3R, LLC

RECEIVED
MAR 26 2024

Mat-Su Borough
Development Services

a locally owned and operated business

Submitted: Feb 21, 2024

Prepared by:



JDW, LLC
Jana D. Weltzin, Esq.
901 Photo Avenue, Second Floor
Anchorage, AK 99503
jana@jdwcounsel.com
630-913-1113
907-231-3750

On behalf of:
Higher by Bad Gramm3r, LLC

Introduction:

We are pleased to re-introduce Teri and Peter Zell. The Zell's have lived in the Mat-Su Valley for over 50 years. Peter owned his own business installing satellite and home theater systems. For 30 years Teri worked for the State of Alaska, 22 of those years was spent at the Alaska State Parks as budget manager for the Mat-Su area, and finally retired in 2016. Peter opened Bad Gramm3r in 2017, and Teri followed with the Higher by Bad Gramm3r retail store on Hyer Road in 2019. Teri enjoys gardening and built a rather large formal garden that continues to grow. Peter stays active in the community and has several projects at all times.

This Conditional Use Permit ("CUP") application is for transferring an existing Retail Marijuana Store to operate in a new location and requests approval from this Honorable Commission. Higher by Bad Gramm3r's transfer of ownership and location application was been approved with delegation by the Marijuana Control Board "MCB" during the November 2023 meeting.

Required attachments for a marijuana retail facility conditional use permit narrative:

Is the conditional use compatible with and will it preserve or not materially detract from the surrounding area's value, character, and integrity?

The proposed use is compatible with adjacent properties and fits succinctly into the area as there is a mix of uses in the area – the area consists of large lots that house commercial uses and some residential uses. East Mountain Heather Way is a frontage road on the Palmer-Wasilla Hwy. To the west of the proposed site there are six businesses lining the road, behind the site there is the old bus barn, to the east is a 4.7-acre lot that due to terrain and trees, is not visible. The proposed retail store is located on a 1.34-acre lot, approximately 850.99 feet, door to door, from the existing location (1204 Hyer Spur) and is situated for commercial use. The entire licensed area, including the restroom, pack/prep/inventory storage rooms, and retail sales floor, will be approximately 2606.52 square feet. The proposed use fits into the surrounding uses' harmony in size and design. As the facility is situated on a large concrete/asphalt commercial use lot, there are minimal neighbors near this proposed location. The neighboring lot to the north is used as a private residence. The State of Alaska owns the lot to the northeast. The area west of the facility is Mat-Valley Meats, the lot to directly southwest has a commercial building part of which has a strudel shop business, and across the street is Mattress Ranch and undeveloped land. As described above, the proposed use will not detract from the surrounding area's character, value, and integrity. The facility will not produce noise pollution and has an odor control method.

Steps have been taken to reduce the potential adverse effects of the proposed use upon adjacent properties. The facility design utilizes an urban/commercial landscape screening and meets the Mat-Su Borough's setback requirements of 25' from public rights-of-way and 10' from side and rear lot lines. (See Site Plan)

The proposed use will meet all compatible uses allowed on adjacent properties and will improve the overall neighborhood as the premises will not emit odor, will not produce excess dust, will not produce noise pollution, and will have dedicated parking & loading, thus fitting in with adjacent property uses. A Traffic Impact Analysis (TIA) Threshold Worksheet is being

submitted to determine if this project requires a TIA. As detailed in the attached site plan, there will be ample space for parking on the premises and will have appropriate accessibility spaces under the Americans with Disabilities Act.

The security alarm system for Higher by Bad Gramm3r will be provided by FrontPoint security. When Higher by Bad Gramm3r is closed for business, the entire security system will be activated. Any attempt to enter the premises without proper access will trip the alarm system and immediately notify the licensee and/or the local police or fire depending on the nature of the alarm triggered. Any attempt to power down the security panel is automatically detected and will alert the licensee. All employees will be trained on the security system. The Higher by Bad Gramm3r facility will utilize motion detectors from FrontPoint Security. The facility will also install a panic switch which will be programmed to communicate an emergency directly with the local authorities and the licensees. Window sensors will be installed on each window of the facility along with door sensors. Surveillance cameras will cover the entire licensed premises with the exception of the restroom. All restricted access areas will be covered by the cameras including each entrance and exit to restricted access areas, point of sale system, entrance/exit of the facility doors etc. The restricted access areas will have prominently posted signs around the premises stating, "Restricted Access Area: Visitors Must Be Escorted" and "Video Surveillance in Progress."

In the event a non-employee/agent of the company needs to access the restricted access area of the retail establishment, the company visitor policy will be adhered to. Visitors must show their valid photo identification and obtain a visitor badge to be displayed at all times in restricted areas. All restricted access area visitors must be preapproved by management (except for AMCO officials, law enforcement, or an agent of the Matanuska Susitna Borough) - there should be no unscheduled and unexpected visitors into the restricted access area of the retail. Higher by Bad Gramm3r staff must accompany visitors throughout the entire visit, with no more than five visitors to one staff member while in the restricted access area – again, there likely will not be visitors to the retail restricted access area because that area is for inventory storage and control and is separate from the retail display floor where customers can visit the store and purchase products. To maintain the security of the facility and to ensure control over all marijuana products, access to the restricted access areas will be monitored and permanently restricted. Access will only be granted to employees and licensees, AMCO agents, law enforcement, MSB Borough agents and the limited exception of scheduled preapproved visitors.

Additionally, Higher by Bad Gramm3r interior signage indicates that any members of the public are not allowed to have unescorted access in the restricted area. The exterior entrance and drive-thru signage warns the public that only persons over 21 may enter the retail establishment or utilize the drive-thru. Any drive-thru customers with children in the vehicle must confirm that they are the legal guardian of the children in the vehicle and the children are under the age of seven (7). Distinct and apparent cameras will be placed throughout and around the facility to encourage people not to attempt unauthorized access and to discourage criminal activity in the retail and surrounding areas. Cameras at the drive-thru will be able to identify individuals at a minimum of 20 feet away.

Will the granting of the conditional use permit be harmful to public health, safety, convenience, and welfare?

No – Higher by Bad Gramm3r has a detailed security system and plan, diversion/inversion/theft control policies, and a loitering check plan.

The facility is a commercial marijuana retail store that will only allow access to those at least 21 years of age or older who have produced a valid, government-issued photo identification (ID) for staff to inspect before being accepted into the retail floor or given a menu at the drive-through. No on-site consumption is allowed at this retail establishment, and no customers may consume in their vehicles in the parking lot – the parking lot has distinct and apparent cameras pointed toward the parking lot to discourage further consumption in vehicles and loitering. A Higher by Bad Gramm3r employee shall perform regular parking lot and perimeter checks throughout the day, frequent but unscheduled so no member of the public picks up on a scheduled pattern, to ensure that no persons are loitering in the area, to identify any persons who may be scoping the facility out for illegal purposes or planning a robbery, and to check to ensure that no customers are consuming product on the property or in their vehicles.

√ All marijuana and marijuana products are displayed in locked display cabinets for customers to view. No marijuana or marijuana product will be visible to the public from the drive-thru window. The current building, which is being moved to this proposed location, has a drive-thru window that was approved and used during the Covid emergency order at the active-operating retail stores current location has an abundance of safety features such as; safety plate glass, iron bars, a roll ok security shutter, a transaction drawer similar to that of a drive-thru pharmacy or bank and cameras that can view the inside of any car and record the license plate of any vehicle that approaches the drive-thru window. The area behind the cabinets is restricted access, and signage is displayed accordingly. Employees open the cabinet from within the restricted retail access area and place the product into exit packaging (i.e., child-resistant, resealable, and opaque) at the cash register before handing it to the customer or placing the marijuana or product into the teller window. Once a customer's transaction is complete, they will be instructed by an employee to exit the retail store or drive away from the window.

√ In order to ensure Higher by Bad Gramm3r only allows access to persons over the age of 21, the retail establishment will check the ID of every person attempting to enter the retail store or use the drive-through window. Anyone under the age of 21 or who does not produce a valid photo ID issued by a federal or state agency authorized to issue ID cards must leave the premises, no matter how familiar the employee is with the customer. Any employee checking IDs has a valid marijuana handler permit and is trained to recognize altered/forged photo IDs.

Additional protections to ensure the prevention of any negative impact on public health, safety, convenience, and welfare:

√ The facility will have a 24-hour monitoring alarm system, bright, prominent exterior lighting that is downward facing to minimize light pollution to neighboring lots, and a video surveillance system. Commercial locking mechanisms and video surveillance secure all entrances to capture individuals within 20 feet of all entry points as well as any vehicle approaching the drive-thru

window. Inside the licensed premises, video surveillance will cover all areas of the facility (except for the bathroom) 24/7 (stored for a minimum of 40 days) to monitor and identify all activity. A licensee must preapprove all visitors or a manager (except AMCO agents, MSB agents, and law enforcement). To maintain the security of the facility and all marijuana products, access to the facility will constantly be monitored and restricted. Access to restricted areas will only be granted to employees and licensees, AMCO agents, MSB agents, law enforcement, and the limited exception of scheduled preapproved visitors. Access to the sales floor will only be granted to customers who possess and provide a valid ID that evidences they are over the age of 21. As previously discussed, distinct and apparent cameras will be placed throughout and around the facility to encourage people not to attempt unauthorized access to the restricted access area and to discourage any criminal or mal- intent activity.

✓ On-site video surveillance will continuously monitor all areas of the premises. Employees will perform mandatory inventory counts weekly, check counts against Metrc records, compare with point-of-sale reports to ensure no diversion or inversion is occurring, and document the reports as official business records. Higher by Bad Gramm3r will not tolerate any theft, inversion, or diversion, and all employees will complete mandatory training in recognizing such activity. Higher by Bad Gramm3r management team understands that diversion can happen in two ways - inversion and diversion - and is equally profitable to divert product out of the legal system as it diverts product from the illegal system into the legal market. If an employee is caught stealing marijuana *or* infusing the facility with the non-regulated black-market product, Higher by Bad Gramm3r will notify local law enforcement immediately, comply with all directives, and provide all necessary information and records for the investigation. Higher by Bad Gremm3r will take the necessary steps to ensure that illegal conduct by an employee does not compromise the facility's license and legitimate business operations. Once a theft is reported, a licensee or manager will update the product records in the tracking system, as needed, to maintain an accurate and comprehensive accounting for all marijuana products and inventory. Higher by Bad Gramm3r will comply with all inquiries and investigations lodged by AMCO as a result. Higher by Bad Gramm3r will discuss diversion prevention during interviews and training, all employees will be trained to spot signs of diversion and how to report suspected diversion. Employees will be provided a system to anonymously report suspected diversion to a licensee. The anonymous diversion notification box will be placed in a readily visible location in the store but private enough that they can access it without being seen by another staff member. Only the licensees will have access to the anonymous diversion tip line box. Documentation related to marijuana theft will be maintained as a business record for five (5) years and made available to AMCO upon request. Video recordings will be stored for forty (40) days. Cameras will provide a full view of the retail floor, entryway, safes, storage, and product packaging areas. Security monitors and video recording equipment will be securely located on-site.

✓ Qualified candidates will be hired on a probationary period, during which they will receive training and evaluation specific to their position. Training will include internal policies and procedures; state statutes and regulations; diversion, theft, and inversion prevention; sanitation and hygiene; legalities and regulation of recreational cannabis at state and federal levels; Metrc use; point of sale system functions and use; identification of fake IDs, and safety protocols. Training

will occur throughout the year when topics arise that need further explanation or refreshing. A licensee or manager will present training and education to employees. As proper safety and security procedures are of the utmost importance to Higher by Bad Gramm3r, the most up-to-date reading materials will always be available to employees. Prior to beginning work, employees will be expected to understand the following: (1) Alaska laws, regulations, and codes governing the marijuana industry and marijuana establishments; (2) all of the permitting requirements to act as a marijuana handler (including obtaining a Marijuana Handler card from a state-approved course provider before commencing employment) and to work in a marijuana establishment; (3) Higher by Bad Gramm3r standards, operational protocol, and best practices concerning marijuana retail sales; (4) general safety procedures and security protocol; (5) how to think defensively if threatening situations occur; (6) in-depth information about particular strains and their features; (7) in-depth information on the requirements of each room, task, and system; and (8) the general federal, state, and local employment regulations by which Higher by Bad Gramm3r is governed. To ensure full coverage for each position, all employees will be cross-trained on the requirements of each job.

✓ Higher by Bad Gramm3r will have “No Loitering” signs clearly posted around the licensed premises. If an employee suspects that a person is loitering, they will be given a verbal warning to leave the premises or law enforcement will be notified. Trained employees will maintain periodic checks around the property to deter unauthorized entrance or loitering around the facility. The exterior lighting system will keep the premises well-lit during closed hours and provide extra lighting for all surveillance recordings. Exterior lighting will be shielded and downward-directional to mitigate any unwanted light pollution. An employee will frequently check lighting to ensure that lighting is adequate to prevent dark spots and capture the best facial image of every person and vehicle that approaches the facility. If there are any issues with the quality of the surveillance capture, the lighting will be calibrated and/or additional lighting will be installed. All outdoor lighting will be shielded to protect against inclement weather and vandalism.

The facility’s architectural design incorporates lighting to project light on to the building and downward. The alarm system will monitor for intrusions with motion detectors on all access points during closed hours, including the entrance to the licensed facility and secured storage. Live security footage will also be accessible to licensees and management via their cellular phones, so they may keep an eye on the facility even when they are away. Any attempted or actual intrusion will prompt an automatic, electronic alert to the security company who will then contact local law enforcement and a licensee or manager. All alarm systems and devices will be tested every six (6) months.

Are there sufficient setbacks, lot area, buffers and other safeguards being provided?

As described previously, Higher by Bad Gramm3r is located within a 1.34-acre lot on E. Mountain Heather Way. This application and Higher by Bad Gramm3r’s layout meet the required setbacks, buffers, and lot area. The entire retail store is enclosed in a commercial-grade building.

Plenty of on-site parking will be developed on the site for this use, including accessible spaces.

The facility has incorporated all measures to reduce the surrounding properties' negative effects, including natural landscaping screening and a modern architectural design that will not take away

from the surrounding area's character.

The facility will not produce any noise pollution and has an odor control method. A robust security plan and the "no loitering" policy will be implemented and thoroughly communicated to all employees. Additional safeguards include the following:

✓ The lighting fixtures with sturdy housings will be positioned at an inaccessible height to deter vandalism and common obstructions. The bulbs will be extremely bright to maximize visibility and deter crime. The exterior lighting will be checked daily by the manager on duty or licensee to ensure that each light in the system is operational and that each mount is positioned for optimum recording clarity and to deter unauthorized presence on the premises. The building's architectural design incorporates shielded lighting to prevent light pollution.

✓ A third-party security company will install the alarm system and continuously monitor the electronic notifications if the alarm is triggered. The security company will periodically visit to check and maintain the equipment.

Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use of this section?

Yes.

Describe measures being taken to prevent potential negative effect upon other properties in the area due to such factors as noise and odor.

The proposed use produces very little noise. Higher by Bad Gramm3r does not anticipate any noise coming from the facility; if any noise is to be produced, it is comparable to surrounding land uses. The roads that serve the facility and surrounding uses fluctuate in traffic flow during rush hours; however, they do not seem to be used to their maximum capacity; therefore, any increase in traffic flow on the roads serving the area is sufficient to serve the area with this proposed retail use.

Higher by Bad Gramm3r will abide by a strict "no odor" policy per MSB 17.60.150(A)(1) that will ensure no odor is detectable by the public from outside the facilities. This use is a retail establishment and should not have any issues with odor seeping out from the retail to the outside air. However, in an abundance of caution, odor control methods will be utilized and will consist of several methods meant to eliminate odors by utilizing methods including sealed containers and air sanitizers throughout the building and sealed containers when transporting marijuana to/from the premises. All marijuana at the retail facility will be either pre-packaged in smell-proof packaging for sale, in deli-style enclosed jars that are only opened to take the product out for sale to a customer and are repacked prior to exiting the facility, or in enclosed jars in small amounts for customers to smell.

Describe how use is compatible with the character of the surrounding area.

The facility is compatible with the surrounding area's character as it exists on a commercial property surrounded by similar uses. As well, there are some vacant land parcels near the proposed parcel and across the E Palmer-Wasilla Hwy that have yet to be developed. The character of the

surrounding parcels and their uses are a good fit for a marijuana retail store. Within 1000 feet of the proposed location, there appear to be five parcels used for commercial use, one industrial parcel, the remaining properties within 1000 feet are residential and vacant.

Current status of State License Application Process.

The Marijuana Control Board approved the transfer of location application during the November 2023 MCB Meeting.

Waste Management

Storage of any solid or liquid marijuana waste. Higher by Bad Gramm3r will store liquid and solid marijuana that is to be rendered unusable marijuana waste in a locked and sealed 5-gallon bucket. This bucket will be kept under video surveillance in a restricted access area and only be accessible by an authorized employee, licensee, or agent. All waste will be recorded in Metrc and logged as an official business record. Marijuana waste will be blended into a fine course before it is mixed into an organic living soil to render it unusable. The unusable marijuana waste will be sealed and locked in a 5-gallon bucket that contains organic living soil. The waste buckets will be stored in a restricted access area, away from trash receptacles, under video surveillance and only accessible by authorized personnel. Each bucket will be filled with 3 gallons of organic living soil to ensure a minimum of a 1:1 ratio between marijuana waste material and the organic living soil.

All Higher by Bad Gramm3r employees, agents, licensees, will be trained to identify all marijuana plant waste materials and marijuana product waste: Leaves, Stems, damaged marijuana products, returned marijuana products, expired marijuana products, leftover residue and material from prepackaging waste that takes place at the Higher by Bad Gramm3r facility (Example: converting 1 ounce of flower to pre-rolled and packed marijuana cigarettes).

Higher by Bad Gramm3r will use the Matanuska Susitna Borough Central Landfill to dispose of its marijuana waste that has been rendered unusable. A record of the final destination and the delivery date of marijuana rendered unusable will be kept. These records will be filed in the high security room and maintained for a minimum of 3 years.

Signage:

A sign with the company name will be affixed to the top of the building or on an independent signpost. The facility may also have signs on the sides of the building. Peter Zell sent sign information in a separate document directly to the MSB planner. Signage will comply with DOT private and/or commercial right of ways requirements as outlined in AS 19.25.105. Additional signs include “No Loitering”, “Video Surveillance in Progress”, “No One Under 21 Years of Age Allowed” and “Restricted Access Area” “Visitors Must be Escorted”.

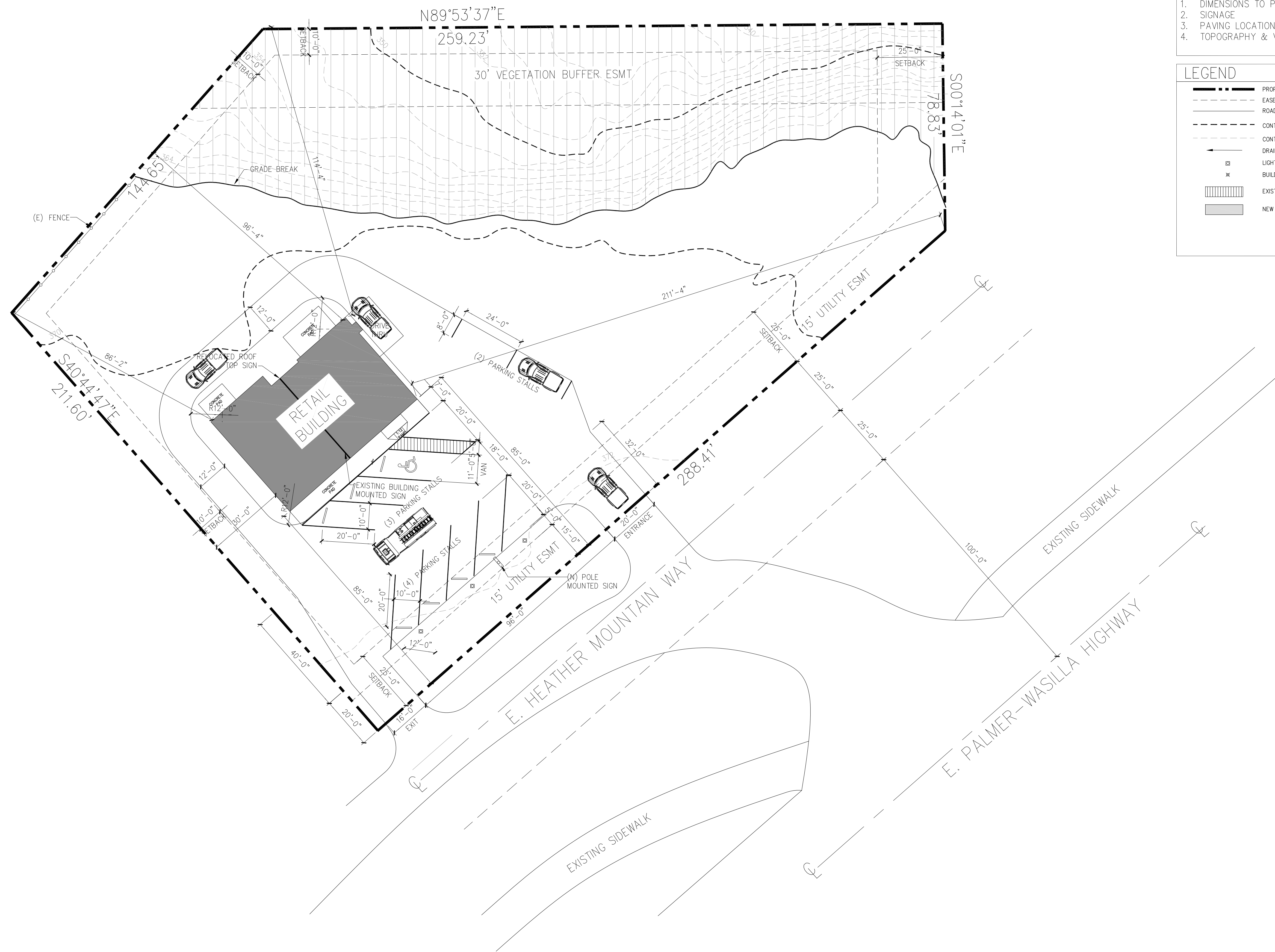
Misc. Items and Information.

Please see attached parking layout diagram, which complies with MSB 17.60.170(B) and (C).

Proposed hours of operation for the retail establishment shall be Monday – Sunday, 9 am – 10 pm.

The number of employees on-site will be between 4 and 6, depending on employee shifts, season, and other store needs.

Thank you for considering this conditional land use application.



SHEET INDEX

- DIMENSIONS TO PROPERTY LINES
- SIGNAGE
- PAVING LOCATIONS & DIMENSIONS
- TOPOGRAPHY & VEGETATION

LEGEND

- PROPERTY LINES
- EASEMENT LINES
- ROADWAY, PAVED
- CONTOUR - MAJOR
- CONTOUR - MINOR
- DRAINAGE
- LIGHT POLE
- BUILDING MOUNTED LIGHT
- EXISTING VEGETATION
- NEW PAVING

LICENSE # 19178
D.B.A.
HIGHER BY BAD
GRAMM3R, LLC

HIGHER BY BAD GRAMM3R
6199 E MOUNTAIN HEATHER WAY
PALMER, ALASKA 99645

CONDITIONAL
USE PERMIT

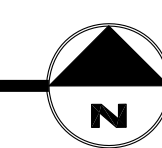
REVISIONS:

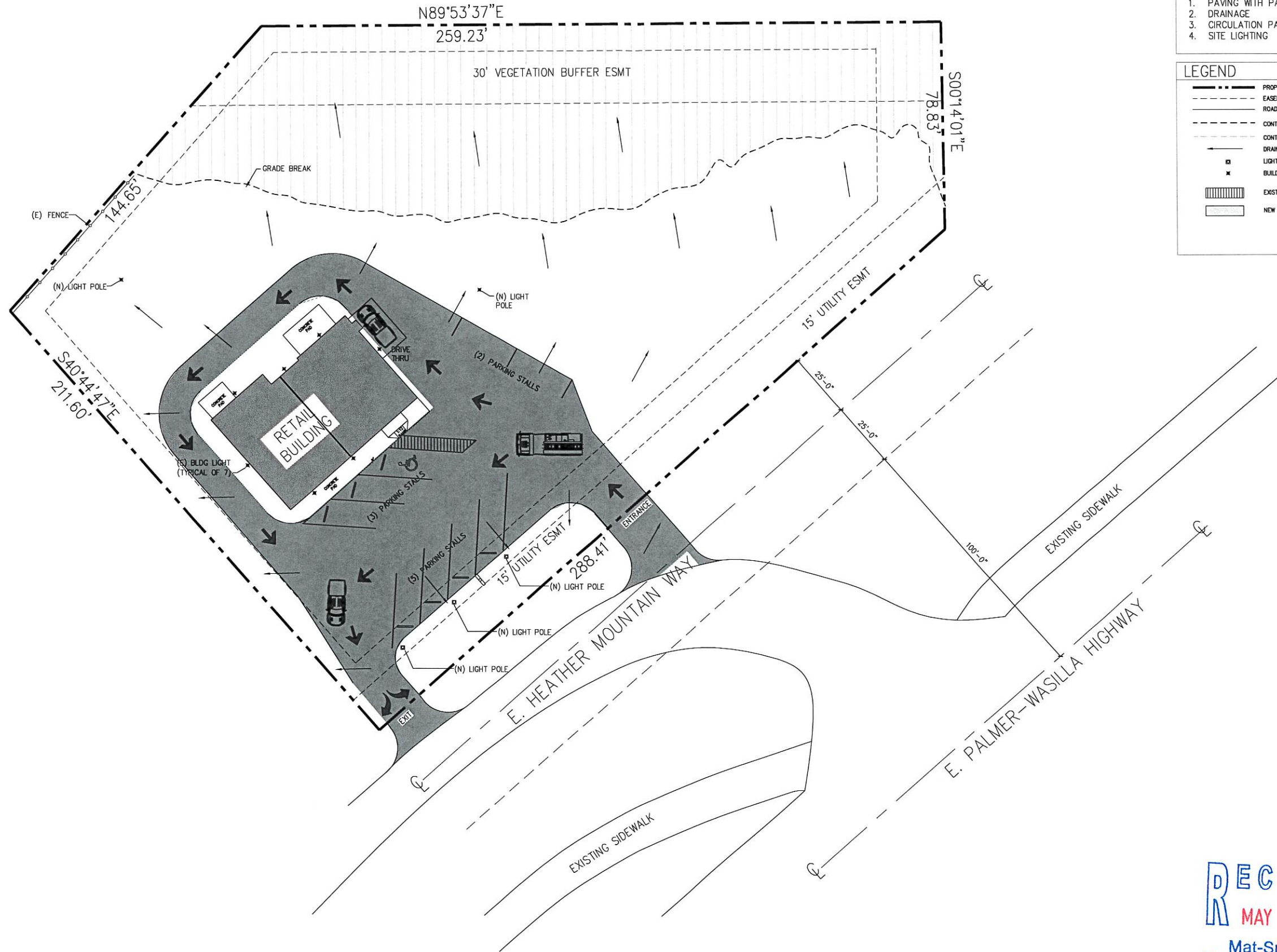
DRAWN BY:
CHECKED BY:
DATE: 5.16.2024
JOB NUMBER: 24110.00

SHEET CONTENTS:
SITE PLAN

CATEGORY SHEET
CC 1.1

SITE PLAN
1" = 40' (11" x 17")





SHEET INDEX	
1.	PAVING WITH PARKING
2.	DRAINAGE
3.	CIRCULATION PATTERNS
4.	SITE LIGHTING

LEGEND	
	PROPERTY LINES
	EASEMENT LINES
	ROADWAY, PAVED
	CONTOUR - MAJOR
	CONTOUR - MINOR
	DRAINAGE
	LIGHT POLE
	BUILDING MOUNTED LIGHT
	EXISTING VEGETATION
	NEW PAVING

LICENSE # 19178
D.B.A.
HIGHER BY BAD
GRAMM3R, LLC

HIGHER BY BAD GRAMM3R
6199 E MOUNTAIN HEATHER WAY
PALMER, ALASKA 99645

CONDITIONAL
USE PERMIT

REVISIONS:

DRAWN BY:
CHECKED BY:
DATE: 5.16.2024
JOB NUMBER: 24110.00

SHEET CONTENTS:
SITE PLAN

Mat-Su Borough
Development Services

CATEGORY	SHEET
CC	1.2

SITE PLAN
1" = 40' (11" X 17")



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TRAFFIC IMPACT ANALYSIS (TIA) THRESHOLD WORKSHEET

Complete this form as an aid to determine if your project requires a Traffic Impact Analysis, as per MSB Code 17.61.

Facility/Business Name: Bad Grammer
 MSB Tax Account ID#(s): 6932B01L001A
 Street Address: 6199 E. Mountain Heather Way
 Applicant: Teresa Zell Owner or Agent
 Phone: 907 232-1809

Box A (Original TIA) NON-RESIDENTIAL DEVELOPMENT

Anticipated Land Use	Project Size			Peak Hour?	Daily Trip Rate	Peak Hour Trips	Trip Rate Source
	Acres	GFA	Other*				
Retail		2,700sf			500	<50	ITE*

*Specify: _____

Box B (Updated TIA) Complete only if property already has a TIA on file.

Peak Hour Trips Projected In Current TIA	Peak Hour Trips (from Box A or B) Projected in <i>Updated</i> Development Plan	Increase in Peak Hour Trips (If over 100 additional trips, a new TIA is required)

Box C (Information regarding the person/agency who prepared the TIA)

Prepared by: <u>Pannone Engineering Services LLC</u>	Date: <u>2024-03-11</u>
Comments: -The business's self reported peak hour traffic is currently 12, 6 in and 6 out. The ITE has a limited study database for trip rates into this type of land use. The average rate of 28.85 trips/1k S.F. on the highest traffic day (Saturday) based on only 5 total studies, with one extreme out-lier on the data plot. If that out-lier is removed the ITE data shows average rates never exceeding 20 trips per hour at peak times on any day of the week.	

For Official Use Only

A Traffic Impact Analysis is required. The applicant preparing the study should meet with Borough staff _____ to discuss the scope and requirements of the study before beginning the study.

A Traffic Impact Analysis is **not required**. The traffic generated by the proposed development does not _____ exceed the threshold requirements.

_____ The Traffic Impact Analysis has been waived for the following reason(s): _____

Reviewed by: _____ Date: _____

NOTE: GFA = Gross Floor Area (building size).

ITE = Institute of Transportation Engineers, *Trip Generation Manual*, 11th Edition, 1627 Eye Street, NW, Suite 600, Washington, DC 20024-2729; (202)785-0609

Land Use: 882

Marijuana Dispensary

Description

A marijuana dispensary is a stand-alone facility where cannabis is sold to patients or retail consumers in a legal manner. Marijuana cultivation and processing facility (Land Use 190) is a related land use.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 2010s in California, Colorado, Massachusetts, and Oregon.

Source Numbers

867, 893, 919, 1041, 1059

Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 7

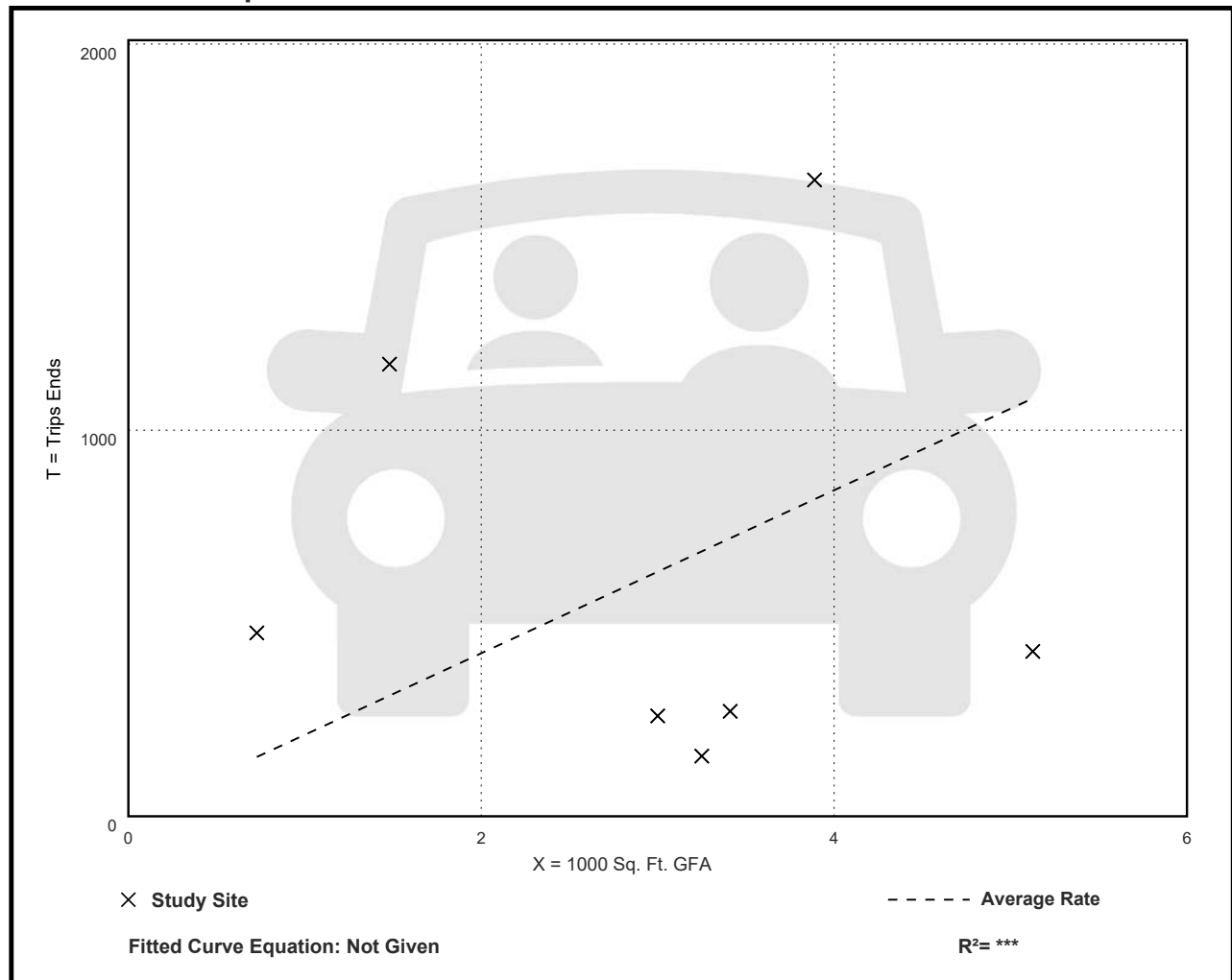
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
211.12	48.00 - 791.22	246.90

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

**On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.**

Setting/Location: General Urban/Suburban

Number of Studies: 6

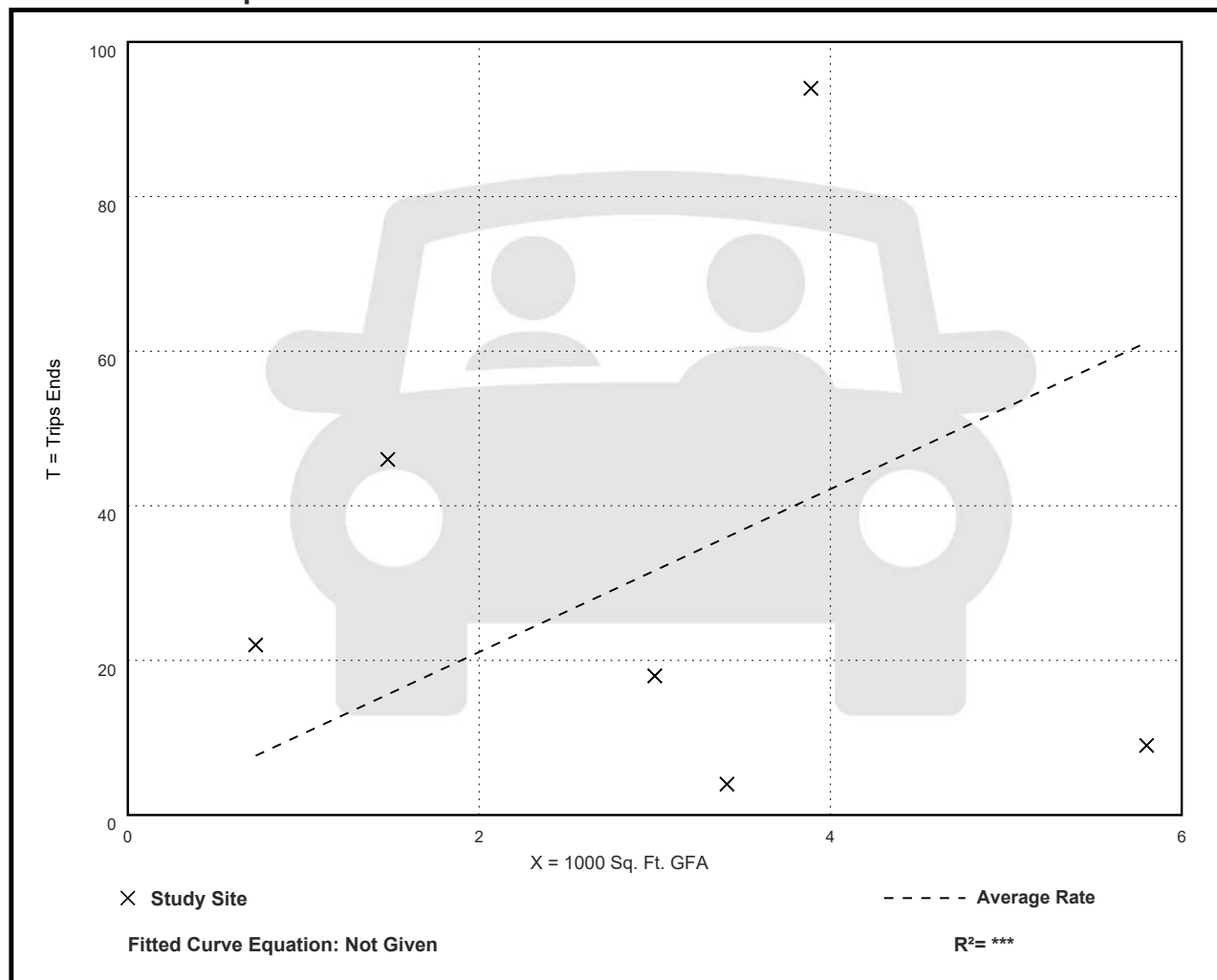
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
10.54	1.17 - 31.08	12.69

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 16

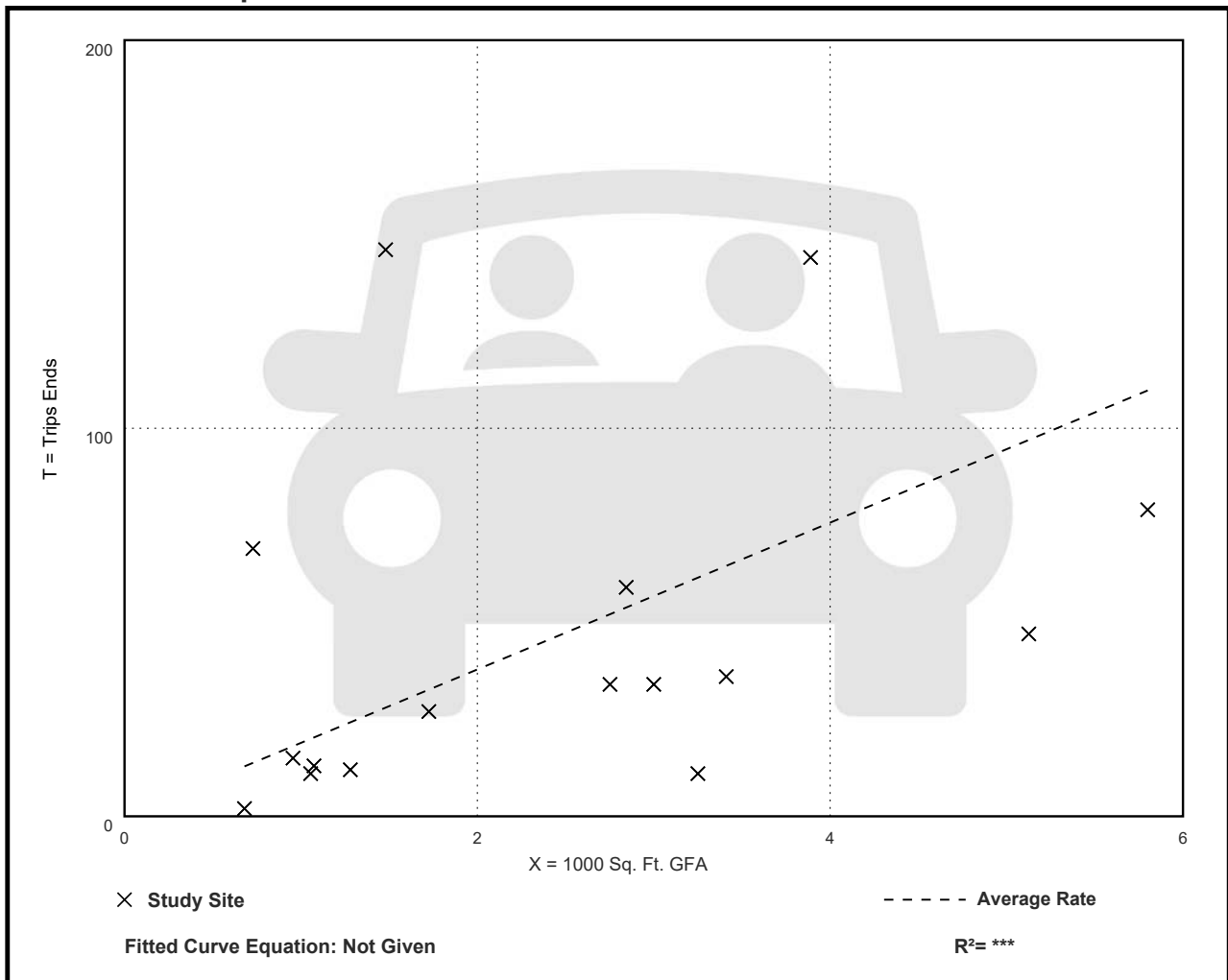
Avg. 1000 Sq. Ft. GFA: 2

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
18.92	2.94 - 98.65	21.73

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

AM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 7

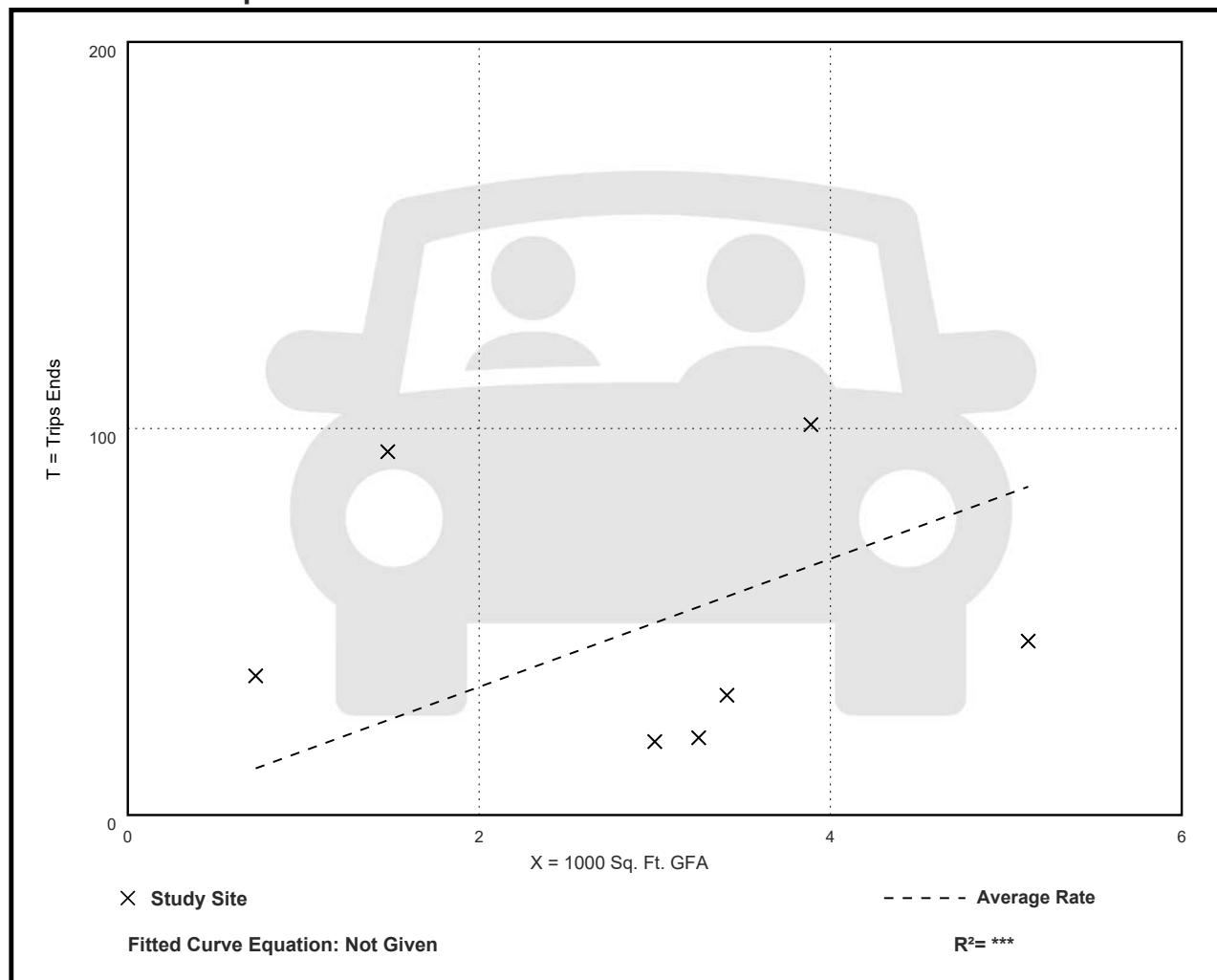
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 54% entering, 46% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
16.57	6.15 - 63.51	17.63

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 12

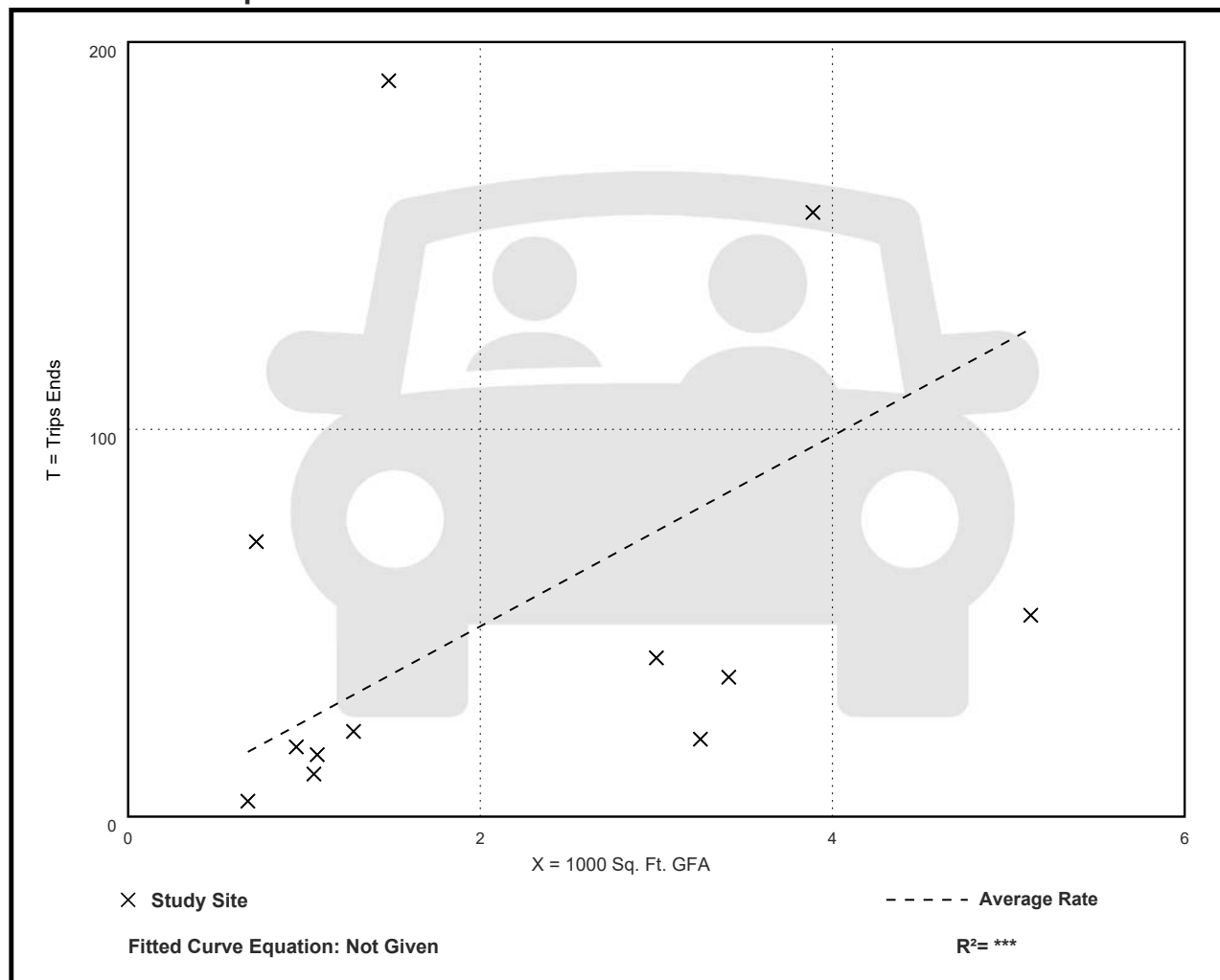
Avg. 1000 Sq. Ft. GFA: 2

Directional Distribution: 49% entering, 51% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
24.57	5.88 - 128.38	32.18

Data Plot and Equation



Marijuana Dispensary (882)

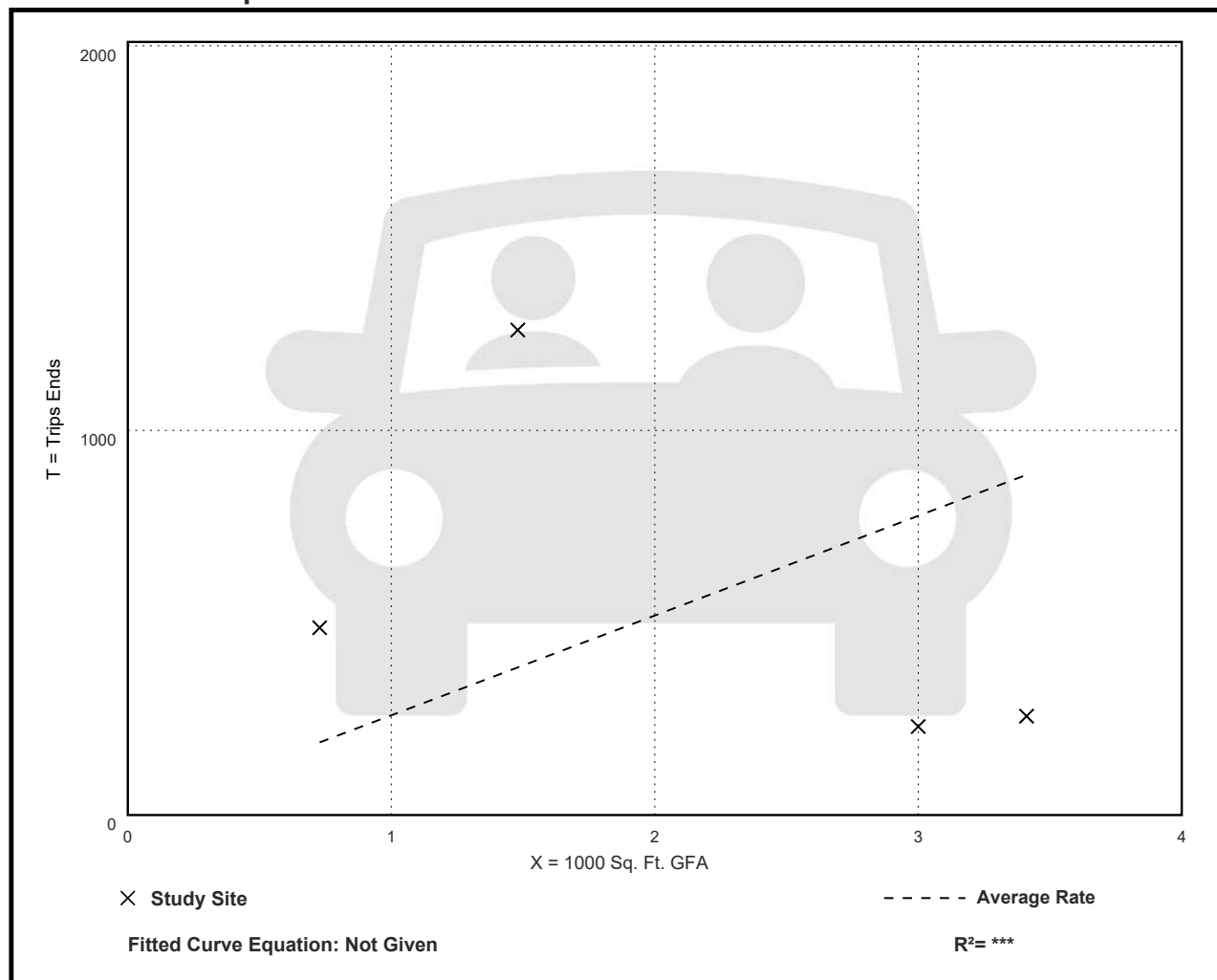
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday

Setting/Location: General Urban/Suburban
Number of Studies: 4
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
259.31	75.34 - 852.03	364.24

Data Plot and Equation



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 5

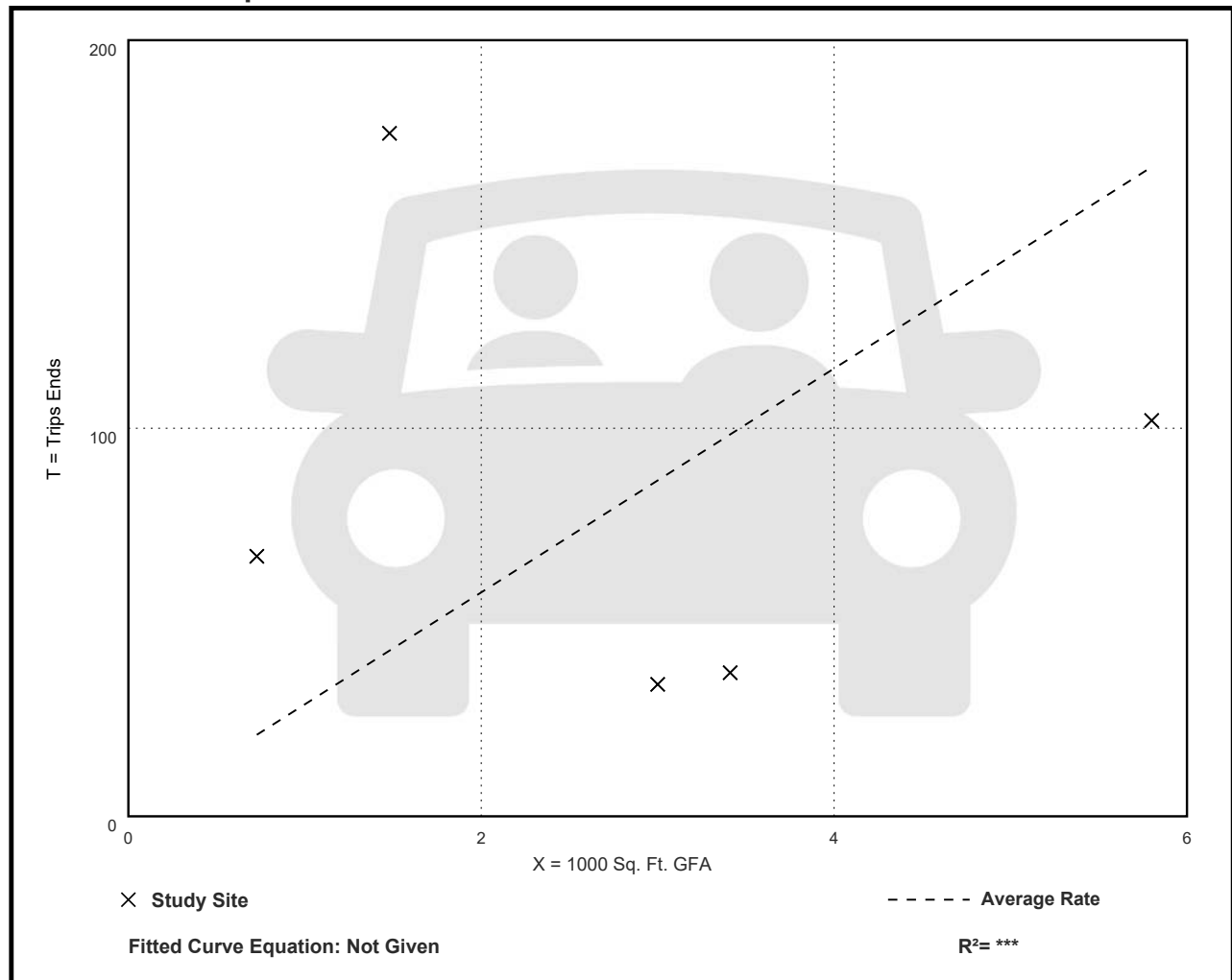
Avg. 1000 Sq. Ft. GFA: 3

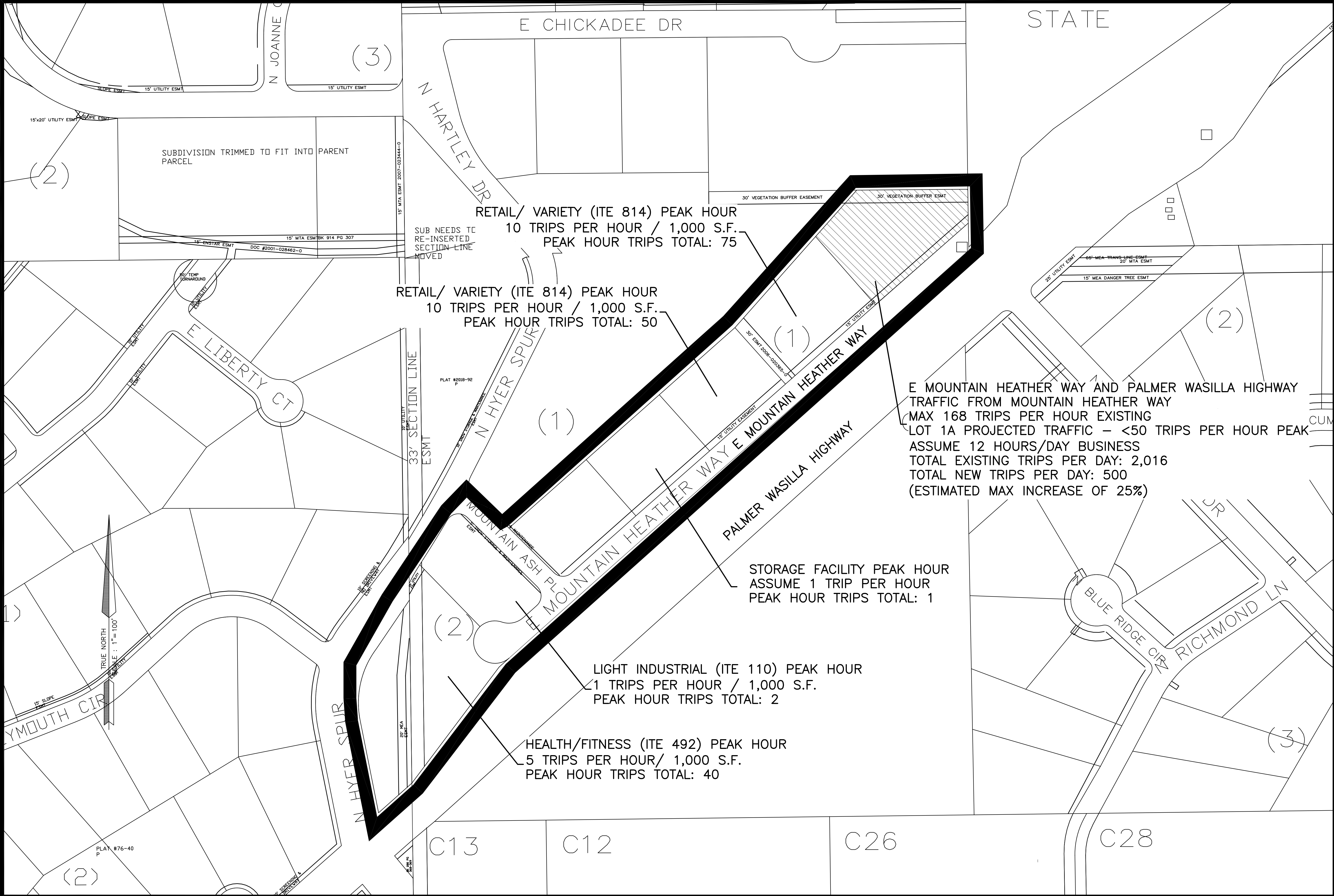
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
28.85	10.85 - 118.92	39.14

Data Plot and Equation





NOTES	
OWNER:	NAME COMPANY ADDRESS CITY
AVERAGE DAILY TRAFFIC	
MOUNTAIN ASH RSB, BLOCK 1, LOT 1A E MOUNTAIN HEATHER WAY	
PANNONE ENGINEERING SERVICES LLC P.O. BOX 100217 ANCHORAGE, AK 99510 T: (907) 272-8218 F: (907) 272-8211	
REVISIONS	
SCALE	P.L.D. NO.
CHECKED	PERMIT NO.
DATE	DATE
SHEET	
2 OF 2	

Pannone Engineering Services LLC

Steven R. Pannone, Principal
Registered Professional Engineer
E-mail: steve@panengak.com



Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer, Alaska 99645

Subject: 6199 Mountain Heather Way
Stormwater Runoff

This is a drainage narrative pertaining to the subject lot.

The subject lot on E Mountain Heather Way was previously leveled with well drained NFS gravel. It had paved access to adjacent lots crossing it. The proposed development on the site will place one building and an associated parking lot on the lot. The existing storm water runoff from the lot flows to the northeast towards a vegetative buffer easement and is infiltrated into the ground before it leaves the gravel area. Assuming the infiltrative area surrounding the proposed development/impervious area is 40' wide on the northwest and northeast side of the building/parking lot and does not reach any lot line, all runoff from a 10-year 24-hour storm event will be infiltrated with excess capacity.

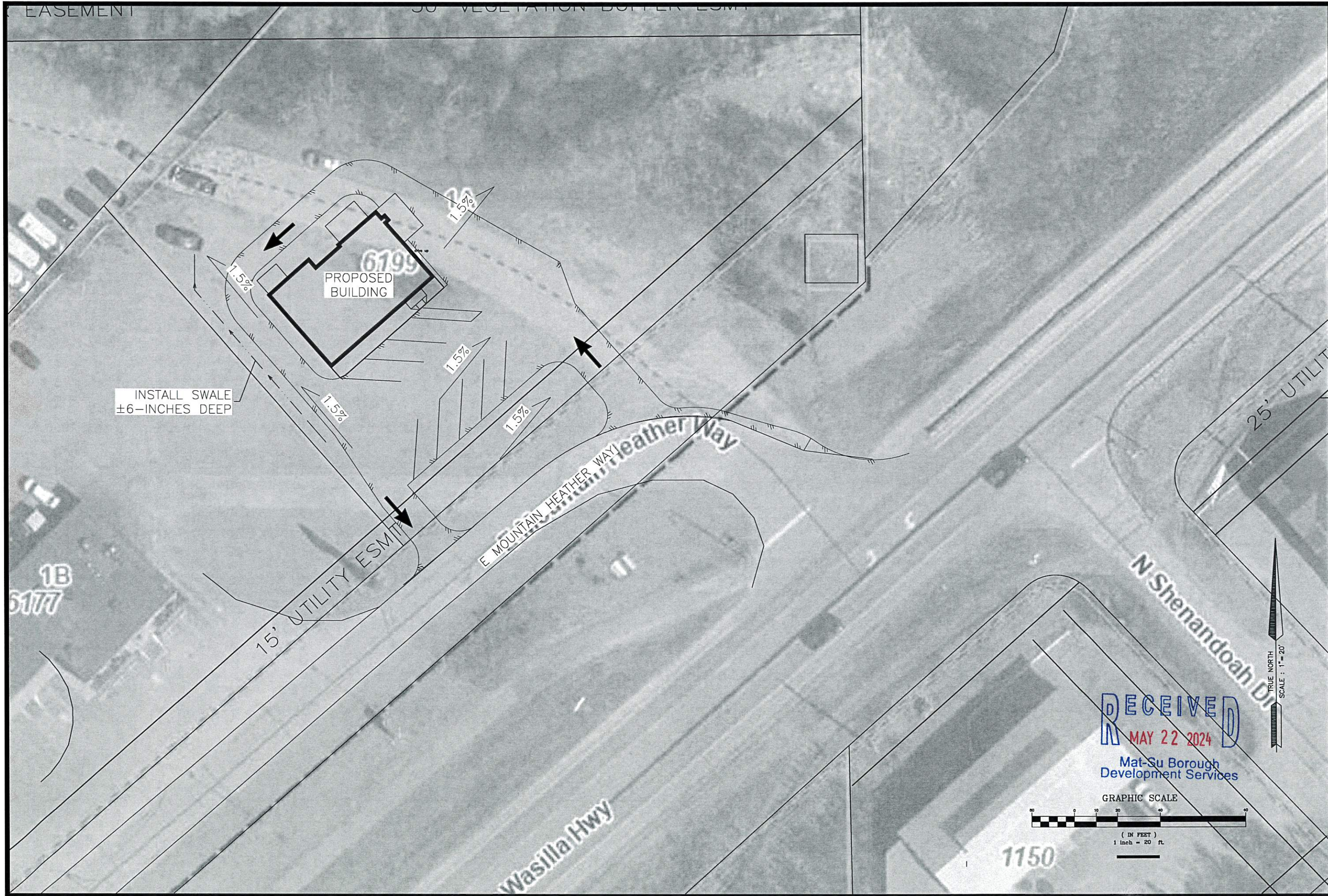
DRAINAGE CALCULATIONS:

TOTAL AREA OF IMPERVIOUS: 17,500 S.F.
2-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.33 INCHES
TOTAL VOLUME OF 2-YEAR 24-HOUR RAINFALL: 1,940 C.F.
10-YEAR, 24-HOUR RAINFALL TOTAL FOR WASILLA ALASKA: 1.96
TOTAL VOLUME OF 10-YEAR 24-HOUR RAINFALL: 2,858 C.F.
TOTAL INFILTRATION AREA: 10,500 S.F.
INFILTRATION RATE: 0.2 INCHES/MINUTE
INFILTRATION VOLUME: 175 C.F./MINUTE
INFILTRATION VOLUME PER 24HR: 252,000 C.F.

Sincerely,

A handwritten signature in black ink, appearing to be "SRP", written over a horizontal line.

Steven R. Pannone, PE, F. ASCE
Owner/Civil Engineer
16 May 2024



INSTALL SWALE
±6-INCHES DEEP

PROPOSED
BUILDING

75' UTILITY ESMIT

E MOUNTAIN HEATHER WAY

25' UTILITY

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Mat-Su Borough
Development Services



NOTES	
OWNER:	NAME COMPANY ADDRESS CITY
SITE DRAINAGE PLAN	
MOUNTAIN ASH RSB, BLOCK 1, LOT 1A E MOUNTAIN HEATHER WAY	
PANNONE ENGINEERING SERVICES LLC P.O. BOX 100217 ANCHORAGE, AK 99510 T: (907) 272-8218 F: (907) 272-8211	
REVISIONS	
SCALE	P.I.D. NO.
PERMITTED	PERMIT NO.
GRID	DATE
DATE	05/16/2024
SHEET	
1 OF 2	



6199 East Mountain Heather Way

Higher by Bad Gramm3r
 6199 East Mountain Heather Way, Palmer

<p>Businesses:</p> <ol style="list-style-type: none"> 1. TBI Construction 2. AK Tree Service 3. Happy Camper RV 4. Big River Antiques 5. Jay's Tae Kwon Do 6. Mattress Ranch 7. Vacant 	<ol style="list-style-type: none"> 8. Strudel Bakers Deli 9. Point Blank Firearms & Self Defense 10. Mat-Su Education Foundation 11. Mat Valley Meats 12. Higher by Bad Gramm3r (old site) 13. Northern Powerline Construction 14. First Student Bus Barn 15. Vacant
--	--

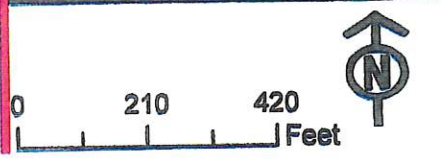
License # 19178

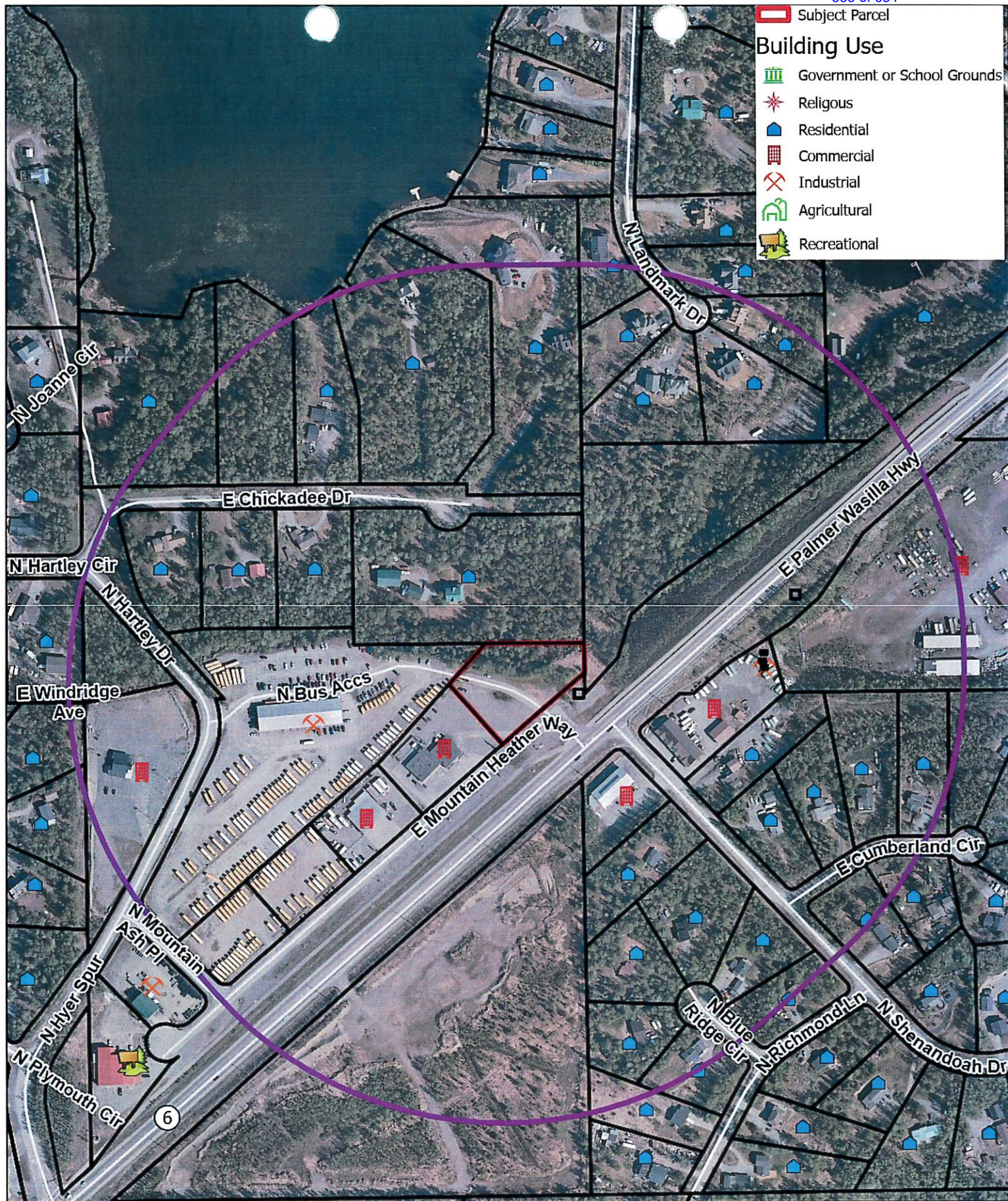
1000' Buffer

Subject Parcel

Building Use

- Government or School Grounds
- Religious
- Residential
- Commercial
- Industrial
- Agricultural
- Recreational
- Subject Parcel

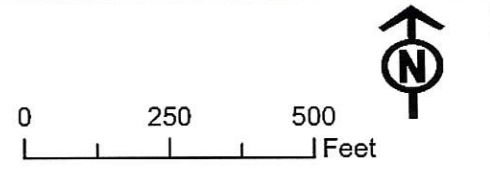




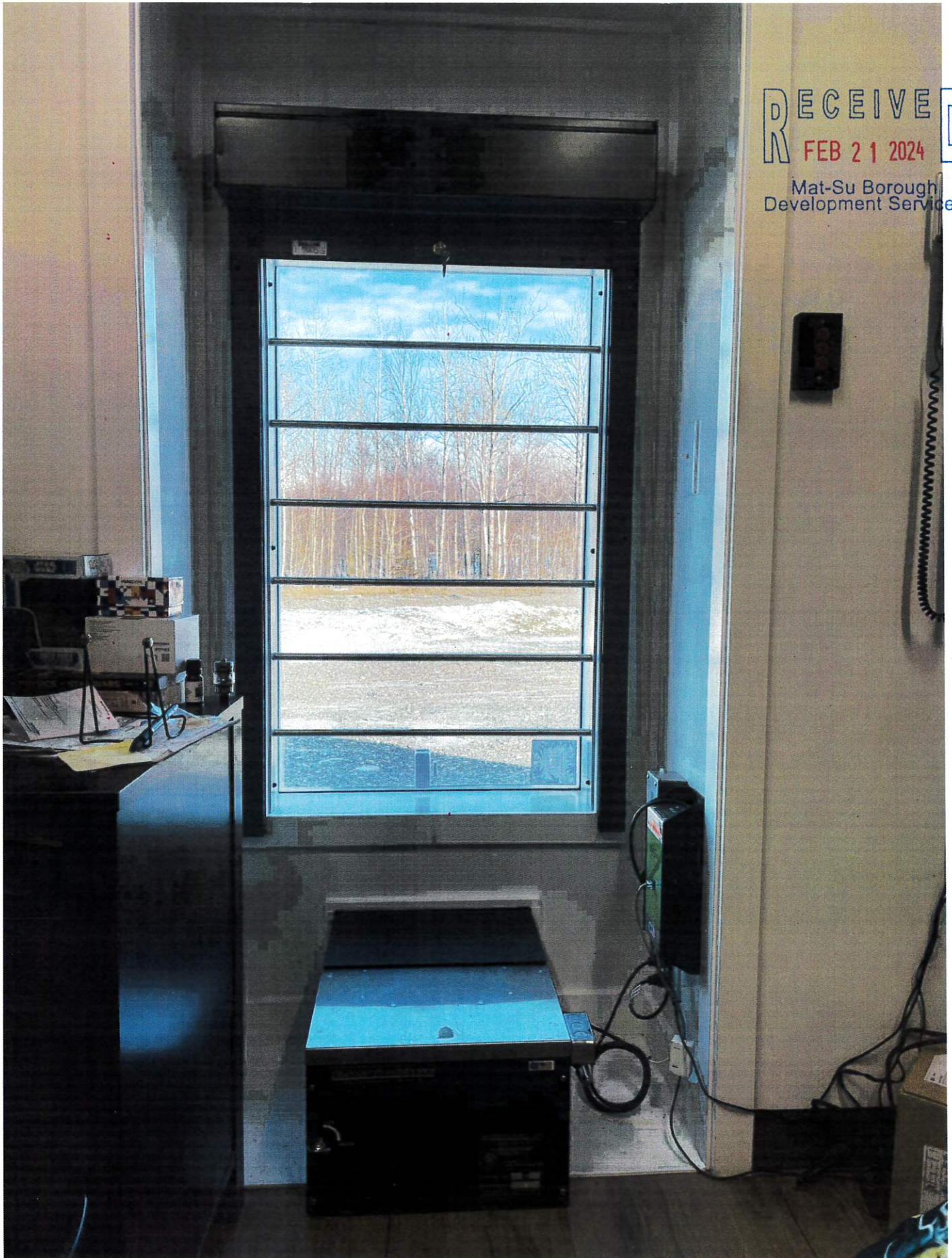
This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Sustina Borough GIS Division at 907-661-7858



Land Use Map for 6932B01L001A



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2/21/24, 10:40 AM

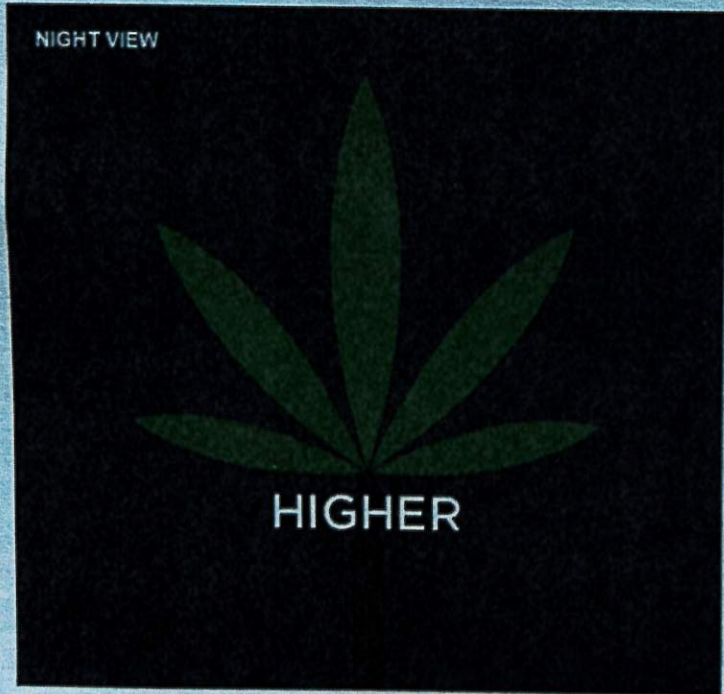
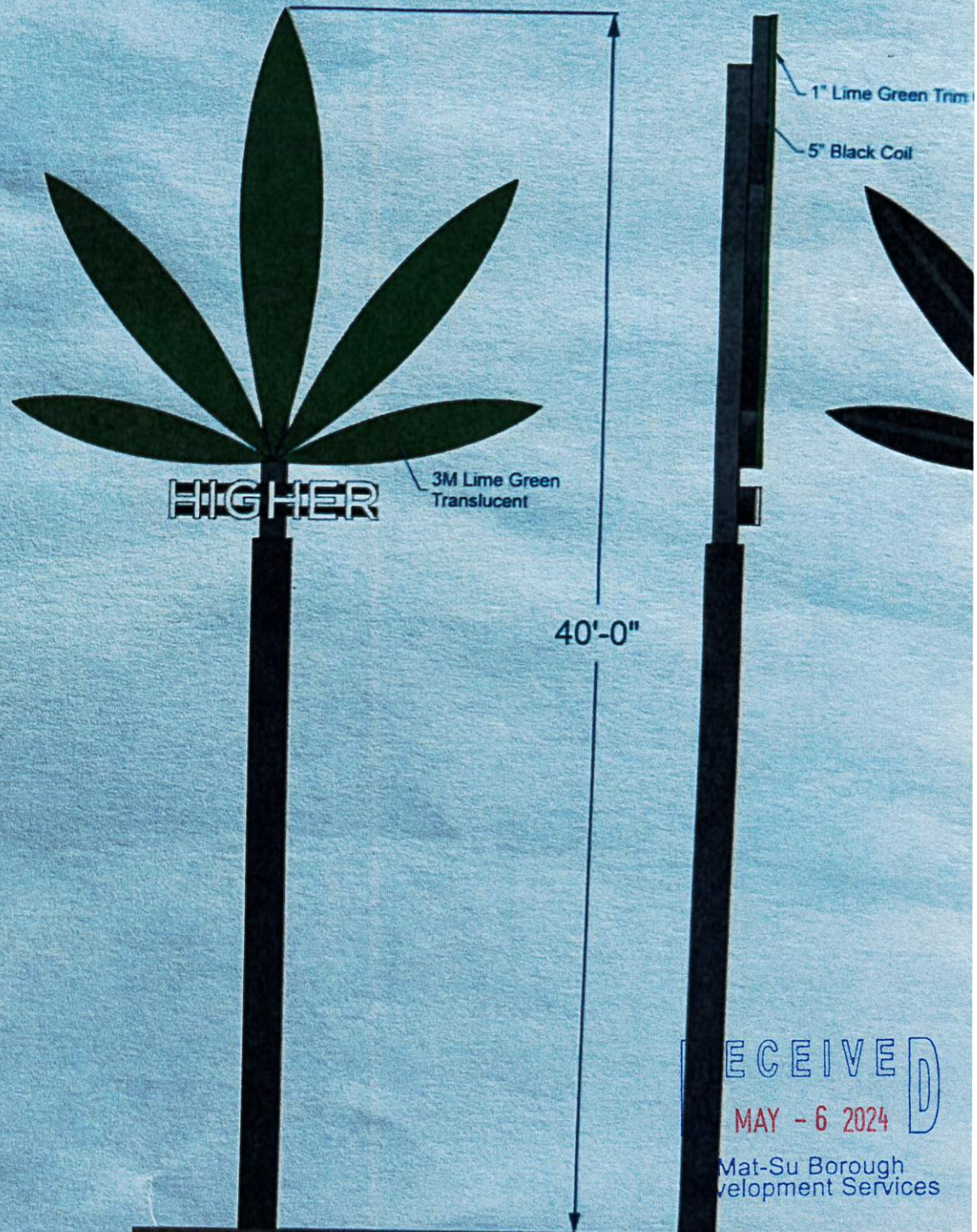
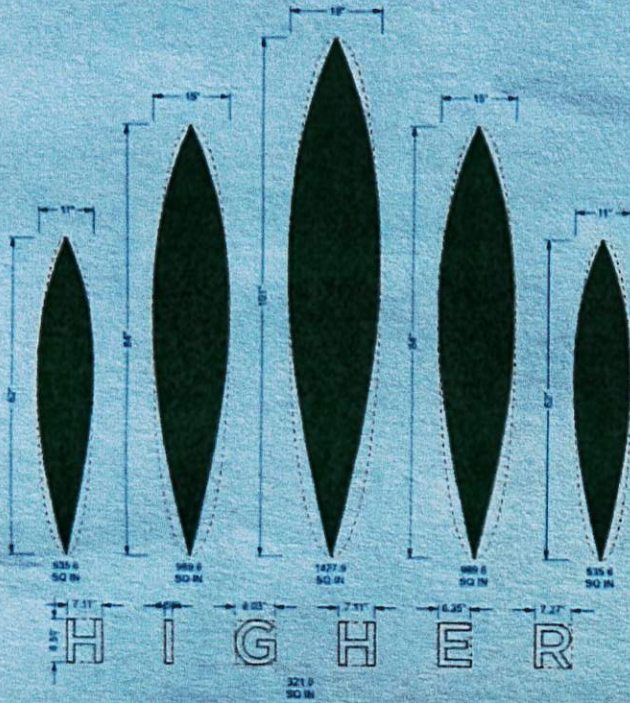
image_67199233.JPG







SIGN AREA: 4,799.3 SQ IN



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Mat-Su Borough
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H I G H E R

8"

B Y B A D G R A M M 3 R

8"

6"

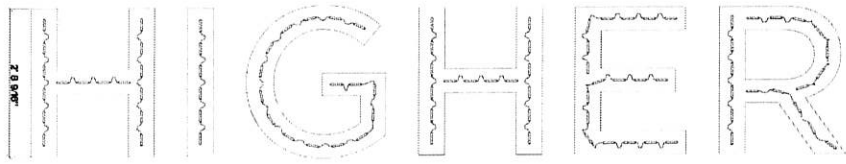
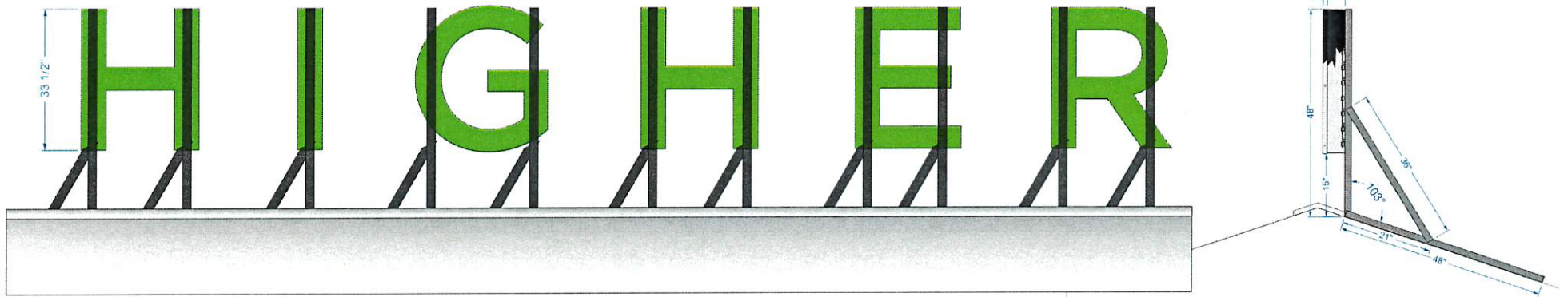
B Y B A D G R A M M 3 R

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JUN 17 - 6 2024
Mat-Su Borough
Development Services

FAX 907.746.5197
CALL 907.746.5196
INFO@DGSIGNSAK.COM
WWW.DGSIGNSAK.COM
UL
DESIGN GRAPHICS, LLC
1970 S. WHITING CIR
PALMER, ALASKA 99654



H	I	G	H	E	R
16 mods	6 mods	16 mods	16 mods	18 mods	18 mods
16.0 w	6.0 w	16.0 w	15.0 w	18.0 w	18.0 w
5.1 mod/ft²	4.7 mod/ft²	4.7 mod/ft²	5.1 mod/ft²	5.6 mod/ft²	5.2 mod/ft²



90 Modules: Everylite - Panoramic - PA-3D-W6CL
90 Total Modules
90.0 Watts

Notes:
This layout features our Panoramic Series Modules
PA-3D-W6CL
1 Watts per module, 6500K Pure White Color, 170 Degree Beam Angle
Letters and Logo:
Module Clearance - 2.5"
Module Run Gap - 5"

APPROVAL REQUIRED!

APPROVED AS-IS CHANGES REQUIRED

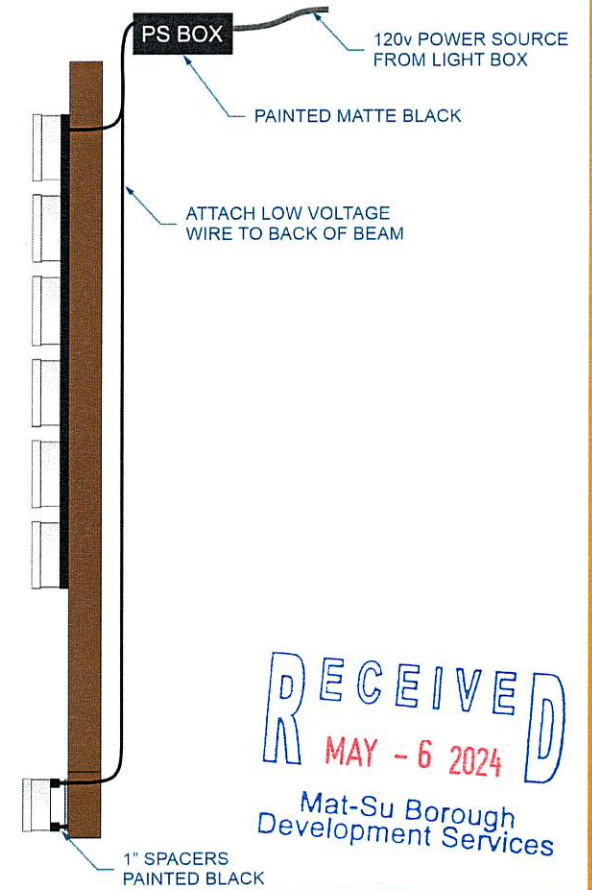
SIGNATURE _____ DATE _____

All draft concepts reviewed by the client are for client review and comment purposes only. Until final design balance is received by DG Signs, all logos, artwork, concepts and designs remain the copyright and exclusive property of DG Signs. DG Signs reserves the right to utilize and/or reproduce any image, logo, or illustration created by DG Signs in advertising, electronic or traditional reproduction, with the addition of any copyright and/or trademark notice that may be requested by the owner of the work. The client is granted unlimited and unrestricted use of the design upon full payment of all fees. DG Signs retains the rights to concepts, comprehensives and artwork involved in the design process prior to the final artwork, and is granted the right to display these designs in promotional and advertising and marketing materials unless exclusion is explicitly requested in writing by the client.

DGSIGNS
& LIGHTING

FAX 907.746.5197
CALL 907.746.5196
INFO@DGSIGNSAK.COM
WWW.DGSIGNSAK.COM

DESIGN GRAPHICS, LLC
1970 S. WHITING CIR
PALMER, ALASKA 99654



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Mat-Su Borough
Development Services



February 20, 2024

Owner & Agent Permission Letter for Use and Occupancy of Premises

Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division
350 East Dahlia Avenue
Palmer, Alaska 99645

Re: Higher by Bad Gramm3r, LLC – Owner & Agent Authorization

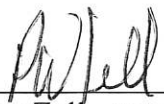
Dear Planning Office,

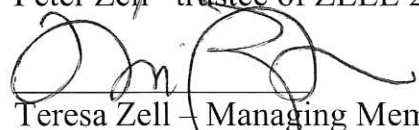
I, Peter Zell, of ZELL 2015 FAM TR, hereby grant permission for Higher by Bad Gramm3r, LLC, to lease and use my property located at 6199 E Mountain Heather Way, Palmer, AK 99645, as a Marijuana Retail Store. I understand that Higher by Bad Gramm3r, LLC will commercially sell marijuana and marijuana products on this property once the Matanuska-Susitna Borough approves the conditional use permit.

I, Teresa Zell, of Higher by Bad Gramm3r, LLC, authorize Jana Weltzin and her firm of JDW, LLC, to take all necessary actions to apply for and obtain one (1) conditional use permits for the operation of a Marijuana Retail Store of the property owned by ZELL 2015 FAM TR located at Township S17 Range N01 Section E04 Lot1A, commonly known as 6199 East Mountain Heather Way, Palmer, AK 99645.

If you have any questions regarding this correspondence, please contact me.

Sincerely,


Peter Zell – trustee of ZELL 2015 FAM TR


Teresa Zell – Managing Member of Higher by Bad Gramm3r, LLC



THE STATE
of ALASKA
GOVERNOR MICHAEL J. DUNLEAVY

Department of Commerce, Community,
and Economic Development

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West Seventh Avenue, Suite 1600
Anchorage, AK 99501
Mail - 907.269.0350

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Mat-Su Borough
Development Services

February 22, 2024

Higher by Bad Gramm3r, LLC
DBA: HIGHER BY BAD GRAMM3R, LLC
Via: teri@badgramm3r.com

Re: HIGHER BY BAD GRAMM3R, LLC #19178

Dear Higher by Bad Gramm3r, LLC:

At the November 15 - 16, 2023 meeting of the Marijuana Control Board in Sitka, Alaska, the board voted to approve your Transfer of Location/Controlling Interest application with delegation to the director. Delegation means that the board has authorized me to issue the license once all outstanding approvals are received.

Please contact marijuana.licensing@alaska.gov with any questions.

Sincerely,

Regina T. Cruz
Records and Licensing Supervisor

For
Joan Wilson, Director

cc: License File
Matanuska-Susitna Borough

From: [Peter Zell](#)
To: [Peggy Horton](#)
Subject: Fwd: DOT&PF- Outdoor Advertising Question Palmer-Wasilla Highway
Date: Wednesday, March 6, 2024 8:18:48 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

More stuff
Sent from my iPhone

Begin forwarded message:

From: "Walsh, Matthew H (DOT)" <matthew.walsh@alaska.gov>
Date: March 6, 2024 at 4:26:19 PM HST
To: pwzell1809@gmail.com
Subject: DOT&PF- Outdoor Advertising Question Palmer-Wasilla Highway

Peter,

As we discussed early, a sign completely located on your property which is advertising activities conducted on the property is allowed under State statute. Please see the following quote from Sec. 19.25.105 of the Alaska state statutes

Sec. 19.25.105. Limitations of outdoor advertising signs, displays, and devices.

(a) Outdoor advertising may not be erected or maintained within 660 feet of the nearest edge of the right-of-way and visible from the main-traveled way of the interstate, primary, or secondary highways in this state except the following:

(1) directional and other official signs and notices which include, but are not limited to, signs and notices pertaining to natural wonders, scenic and historic attractions, which are required or authorized by law, and which shall conform to federal standards for interstate and primary systems;

*(2) signs, displays, and devices advertising the sale or lease of property upon which they are located or **advertising activities conducted on the property;***

In regard to the existing utility easement DOT&PF's recommendation would be to make sure an 811 locate call is performed to confirm any utility locations near the sign. In addition any portion of the sign including the overhang should be within the platted utility easement.

Let me know if you have any additional questions.

Respectfully,
Matt

Matthew Walsh, SR/WA
Property Management Supervisor, Central Region

State of Alaska Department of Transportation & Public Facilities
Toll Free: 1-800-770-5263 ext. 0677
Phone: 907-269-0677
Email: matthew.walsh@alaska.gov

Keep Alaska Moving through service and infrastructure.

MSB • Department of Emergency Services • Central Mat-Su Fire Department

Fire & Life Safety Division

Physical: Station 51 – 1911 S Terrace Court, Palmer
Mailing: 101 W Swanson Avenue • Wasilla, AK 99654
Office (907) 861-8030 • Fax (907) 861-8157 • E-mail: FireCode@matsugov.us



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Development Services

February 29, 2024

Peter & Teri Zell
5850 E Alder Cir
Wasilla AK 99654
907-232-1809
Pwzelli1809@gmail.com

SUBJECT: Bad Gramm3r
FIRE SERVICE AREA: Central Mat-Su FSA
PLAN REVIEW: 2024-101
TYPE OF CONSTRUCTION: VB
OCCUPANCY TYPE: M
2021 INTERNATIONAL BUILDING AND FIRE CODE

Peter & Teri:

Plans for the relocation of subject facility have been reviewed by this office for conformity with the State Fire Safety Regulations and are hereby approved as submitted. Enclosed is a certificate of approval that must be posted on the premises until completion of the above facility. Any changes to the approved plans must be submitted to this office for review and approval.

It must be understood that the inclusion of and compliance with State Fire Safety Regulations does not preclude the necessity of compliance with the requirements of local codes and ordinances. Also understand that approval of submitted plans is not approval of omissions or oversights by this office or noncompliance with any applicable regulations. The plans have not been reviewed for compliance with the Federal Americans with Disabilities Act or structural requirements.

If we can be of further assistance in this matter, please contact us at the address above.

Sincerely,

Joshua P. Henson
Deputy Fire Marshal

Fire and Life Safety Division

Central Mat-Su Fire Service Area No. 130 - District 1
Department of Emergency Services, Matanuska-Susitna Borough



Plan Review #2024-101

Bad Gramm3r

Relocation Approval

This is to certify that the plans for this building were reviewed by CMSFD's Fire & Life Safety Division on 2/29/2024, for conformance with AS 18.70.010-100; 13 AAC 50.027. This certificate becomes invalid 180 days after the work on the site is commenced within 180 days after issuance, or if the work authorized is suspended or abandoned for a period of 180 days after the time work is commenced. An extension may be requested at the above mentioned address.

This certificate shall be posted in a conspicuous place on the premises listed above and shall remain posted until construction is completed. **Notice:** Any changes or modifications to the approved plans must be resubmitted for review by the Central Mat-Su Fire Department.

A handwritten signature in black ink that reads 'Josh Henson'.

by Joshua P. Henson, Deputy Fire Marshal

Authority: AS 18.70.080, 13 AAC 50.075 & MSB RS 06-054

CORRESPONDENCE

Peggy Horton

From: Brenda Butler <brenda@jdwcounsel.com>
Sent: Thursday, February 22, 2024 10:38 AM
To: Peggy Horton
Cc: Peter Zell; Teri Zell; Jana Weltzin; Randi Baker
Subject: Higher by Bad Gramm3r CUP - Board Action Letter
Attachments: 19178 Board Action Letter Transfer.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Peggy,

As requested, here is the Board Action Letter from AMCO for the Higher by Bad Gramm3r Conditional Use Permit application.

Apologies for the delay in getting this to you.

Have a wonderful day!

--

*** Please REPLY ALL when responding to this Email ***

Brenda Butler

JDW Counsel

Senior Paralegal, Notary Public

& Accounts Payable/Receivable

901 Photo Avenue, Second Floor

Anchorage, Alaska 99503

Phone: 907-231-3750

Fax: 360-483-3750

brenda@jdwcounsel.com

info@jdwcounsel.com

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Think green, please don't print unnecessarily

Peggy Horton

From: Rick Benedict
Sent: Friday, February 23, 2024 8:23 AM
To: Peggy Horton
Subject: FW: 19178 dba Higher By Bad Gramm3r - Board Action Letter
Attachments: 19178 Board Action Letter Transfer.pdf

Peggy,

FYI... attached is the AMCO approval for Peter Zell's Higher By Bad Gramm3r retail license relocation. I placed a copy in the applicant's electronic folder on the J Drive.

Rick

From: License Reviews <License.Reviews@matsugov.us>
Sent: Friday, February 23, 2024 8:05 AM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: FW: 19178 dba Higher By Bad Gramm3r - Board Action Letter

FYI letter

From: Marijuana Licensing (CED sponsored) <marijuana.licensing@alaska.gov>
Sent: Thursday, February 22, 2024 10:18 AM
To: Teri Zell <teri@badgramm3r.com>; Alex Strawn <Alex.Strawn@matsugov.us>; License Reviews <License.Reviews@matsugov.us>; Brenda Butler <brenda@jdw counsel.com>; Jana Weltzin (jana@jdw counsel.com) <jana@jdw counsel.com>; randi@jdw counsel.com
Cc: Marijuana Licensing (CED sponsored) <marijuana.licensing@alaska.gov>
Subject: 19178 dba Higher By Bad Gramm3r - Board Action Letter

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Morning,

Please see the attached Board Action Letter from the November 15-16, 2023, meeting.

Local Government,

This letter is for your reference, there is no action needed from our office at this time.

Best,
Regina Cruz
Licensing Examiner- AMCO
907.269.0464

Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Thursday, February 29, 2024 12:45 PM
To: Peggy Horton
Subject: Fwd: Bad Gramm3r Relocation Approval
Attachments: 2024-101 Approval.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]
Here's our fire marshal approval
Peter Zell

Begin forwarded message:

From: Joshua Henson <Joshua.Henson@matsugov.us>
Date: February 29, 2024 at 11:32:02 AM HST
To: pwzell1809@gmail.com
Subject: Bad Gramm3r Relocation Approval

Peter & Teri,

Attached is the Approval letter for your Plan Review, thank you for your patience in this process. If you have any questions or concerns, please don't hesitate to reach out to the Fire & Life Safety Office or email us at FireCode@matsugov.us and we will do what we can to help you.



Joshua P. Henson

Deputy Fire Marshal
Central Mat-Su Fire Department | Fire & Life Safety Division (Fire Code)
Matanuska Susitna Borough | Department of Emergency Services
Phone: (907) 861-8383 | Email: Fire.Code@matsugov.us

Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Wednesday, March 6, 2024 9:06 AM
To: Peggy Horton
Subject: Revised drawings
Attachments: 24110.00 Higher - Conditional Use Permit Dwgs 3-5-2024a.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Morning,
I just got these from my architect. These are the revised drawings for 6199 Mountain Heather Way.
Peter Zell

Sent from my iPhone

Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Wednesday, March 6, 2024 10:52 AM
To: Peggy Horton
Subject: Fwd: Higher sign Information
Attachments: Higher - Sign LED LETTERS - ART FILE.pdf; Higher - Sign PROOF v2.pdf; HIGHER - Truss Words - SPECS.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Two of the existing signs
Sent from my iPhone

Begin forwarded message:

From: DGS Info <info@dgsignsak.com>
Date: March 5, 2024 at 10:45:39 AM HST
To: pwzell1809@gmail.com
Cc: Design | DG Signs & Lighting <design@dgsignsak.com>
Subject: Higher sign Information

Good Morning,

Attached is the sign information
you have requested.
Feel free to contact us with any questions.

Have a wonderful day,



Peggy Horton

From: Peggy Horton
Sent: Wednesday, March 6, 2024 2:51 PM
To: Peter Zell
Subject: RE: Higher signs
Attachments: RFAI 2-28-24.pdf

Hello,

Glad to send it again. So far, only the fire marshal plan reviews are done and reviewed. I haven't had a chance to look at the things you sent today. I just slid them into my folder and made a note to look at them after a break with the project I'm working on currently.

Peggy Horton
Current Planner
907-861-7862

From: Peter Zell <pwzell1809@gmail.com>
Sent: Wednesday, March 6, 2024 12:33 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Subject: Re: Higher signs

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I can't find the checklist you sent me in my pile of emails. I was trying to figure out if I had everything to you that you had asked for. If you could send that email again with the list of things that you wanted, I can see what's missing. Or, send me whatever information is still missing from that list.

Thanks

Peter Zell

Sent from my iPhone

On Mar 6, 2024, at 10:21 AM, Peggy Horton <Peggy.Horton@matsugov.us> wrote:

Thank you, this will be included in your application.

Peggy Horton
Current Planner
907-861-7862

From: Peter Zell <pwzell1809@gmail.com>
Sent: Wednesday, March 6, 2024 10:56 AM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Subject: Higher signs

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Third existing sign being moved

<image001.jpg>

Sent from my iPhone

Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Thursday, March 7, 2024 9:25 AM
To: Peggy Horton
Subject: Re: DOT&PF- Outdoor Advertising Question Palmer-Wasilla Highway

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

The architect forgot to move that out of the easement. Problem is that he is on vacation till later this month and I can't get it corrected till then
Sent from my iPhone

On Mar 7, 2024, at 7:59 AM, Peggy Horton <Peggy.Horton@matsugov.us> wrote:

Mr. Zell,

If you place any sign, light pole, etc., within the platted utility easement, you must obtain an encroachment permit. The Permit Center at 907-861-7822 can guide you along that process. I've attached an encroachment permit application to this email. MSB 11.10.010 defines what an encroachment is and when a permit is necessary. Here's a link to that code: <https://www.codepublishing.com/AK/MatanuskaSusitnaBorough/#!/MatanuskaSusitnaBorough11/MatanuskaSusitnaBorough1110.html#11.10>

Respectfully,

Peggy Horton
Current Planner
907-861-7862

From: Peter Zell <pwzell1809@gmail.com>
Sent: Wednesday, March 6, 2024 8:19 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Subject: Fwd: DOT&PF- Outdoor Advertising Question Palmer-Wasilla Highway

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]
More stuff
Sent from my iPhone

Begin forwarded message:

From: "Walsh, Matthew H (DOT)" <matthew.walsh@alaska.gov>
Date: March 6, 2024 at 4:26:19 PM HST
To: pwzell1809@gmail.com
Subject: DOT&PF- Outdoor Advertising Question Palmer-Wasilla Highway

Peter,

As we discussed early, a sign completely located on your property which is advertising activities conducted on the property is allowed under State statute. Please see the following quote from Sec. 19.25.105 of the Alaska state statutes

Sec. 19.25.105. Limitations of outdoor advertising signs, displays, and devices.

(a) Outdoor advertising may not be erected or maintained within 660 feet of the nearest edge of the right-of-way and visible from the main-traveled way of the interstate, primary, or secondary highways in this state except the following:

(1) directional and other official signs and notices which include, but are not limited to, signs and notices pertaining to natural wonders, scenic and historic attractions, which are required or authorized by law, and which shall conform to federal standards for interstate and primary systems;

(2) signs, displays, and devices advertising the sale or lease of property upon which they are located or advertising activities conducted on the property;

In regard to the existing utility easement DOT&PF's recommendation would be to make sure an 811 locate call is performed to confirm any utility locations near the sign. In addition any portion of the sign including the overhang should be within the platted utility easement.

Let me know if you have any additional questions.

Respectfully,
Matt

Matthew Walsh, SR/WA
Property Management Supervisor, Central Region
State of Alaska Department of Transportation & Public Facilities
Toll Free: 1-800-770-5263 ext. 0677
Phone: 907-269-0677
Email: matthew.walsh@alaska.gov

Keep Alaska Moving through service and infrastructure.

<Encroachment Application 3.30.2023.pdf>

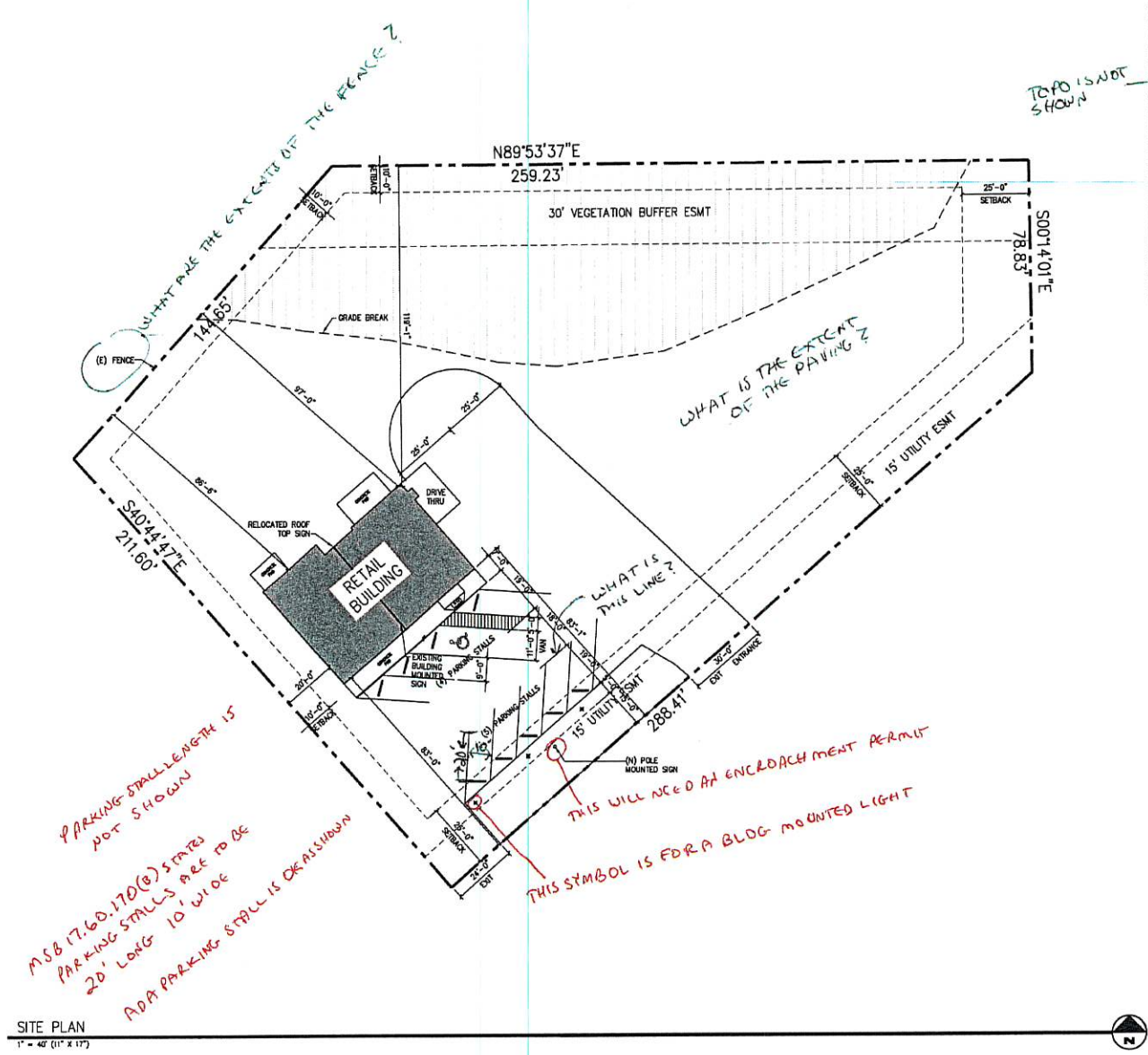
Peggy Horton

From: Peggy Horton
Sent: Thursday, March 7, 2024 2:51 PM
To: Teri Zell
Subject: Site Plans review
Attachments: Site Plan Review 3-7-24.pdf

Good afternoon,
I've attached a review of the site plans we received yesterday. I wanted to show what needs to be fixed on the site plans rather than try to describe everything. If you have any questions, please feel free to let me know.

Thank you,

Peggy Horton
Current Planner
907-861-7862



SHEET INDEX	
1.	DIMENSIONS TO PROPERTY LINES
2.	SIGNAGE
3.	PAVING LOCATIONS & DIMENSIONS
4.	TYPOGRAPHY & VEGETATION

LEGEND	
---	PROPERTY LINES
---	EASEMENT LINES
---	ROADWAY, PAVED
---	DRAINAGE
---	LIGHT POLE
⊗	BUILDING MOUNTED LIGHT
⊙	LANDSCAPING
▨	EXISTING VEGETATION

RECEIVED
MAR 6 2024
Mat-Su Borough
Development Services

SITE PLAN
1" = 48' (1" = 117')



WHAT IS THE EXTENT OF THE FENCE?

WHAT IS THE EXTENT OF THE PAVING?

WHAT IS THIS LINE?

THIS WILL NEED AN ENCLDACHMENT PERMIT

THIS SYMBOL IS FOR A BLDG MOUNTED LIGHT

PARKING STALL LENGTH IS NOT SHOWN

MSB 17.60.170(b) STATES PARKING STALLS ARE TO BE 20' LONG 10' WIDE

ADA PARKING STALL IS OK AS SHOWN

TOPO IS NOT SHOWN

LICENSE # 19178 D.B.A. HIGHER BY BAD GRAMM3R, LLC
HIGHER BY BAD GRAMM3R 6199 E MOUNTAIN HEATHER WAY PALMER, ALASKA 99645
CONDITIONAL USE PERMIT
REVISIONS:
DRAWN BY: CHECKED BY: DATE: 3.5.2024 JOB NUMBER: 24110.00
SHEET CONTENTS: SITE PLAN
CATEGORY SHEET CC 1.1

SHOW THE EXTENT OF THE PAVING

SHEET INDEX

- PAVING WITH PARKING
- DRAINAGE
- CIRCULATION PATTERNS
- SITE LIGHTING

LEGEND

- PROPERTY LINES
- EASEMENT LINES
- ROADWAY, PAVED
- DRAINAGE
- LOVE POLE
- BUILDING MOUNTED LIGHT
- LANDSCAPING
- EXISTING VEGETATION
- TALL SIGN POLE

LICENSE # 19178
D.B.A.
HIGHER BY BAD
GRAMM3R, LLC

RECEIVED
MAR 6 2024
Mat-Su Borough
Development Services

HIGHER BY BAD GRAMM3R
6199 E MOUNTAIN HEATHER WAY
PALMER, ALASKA 99645

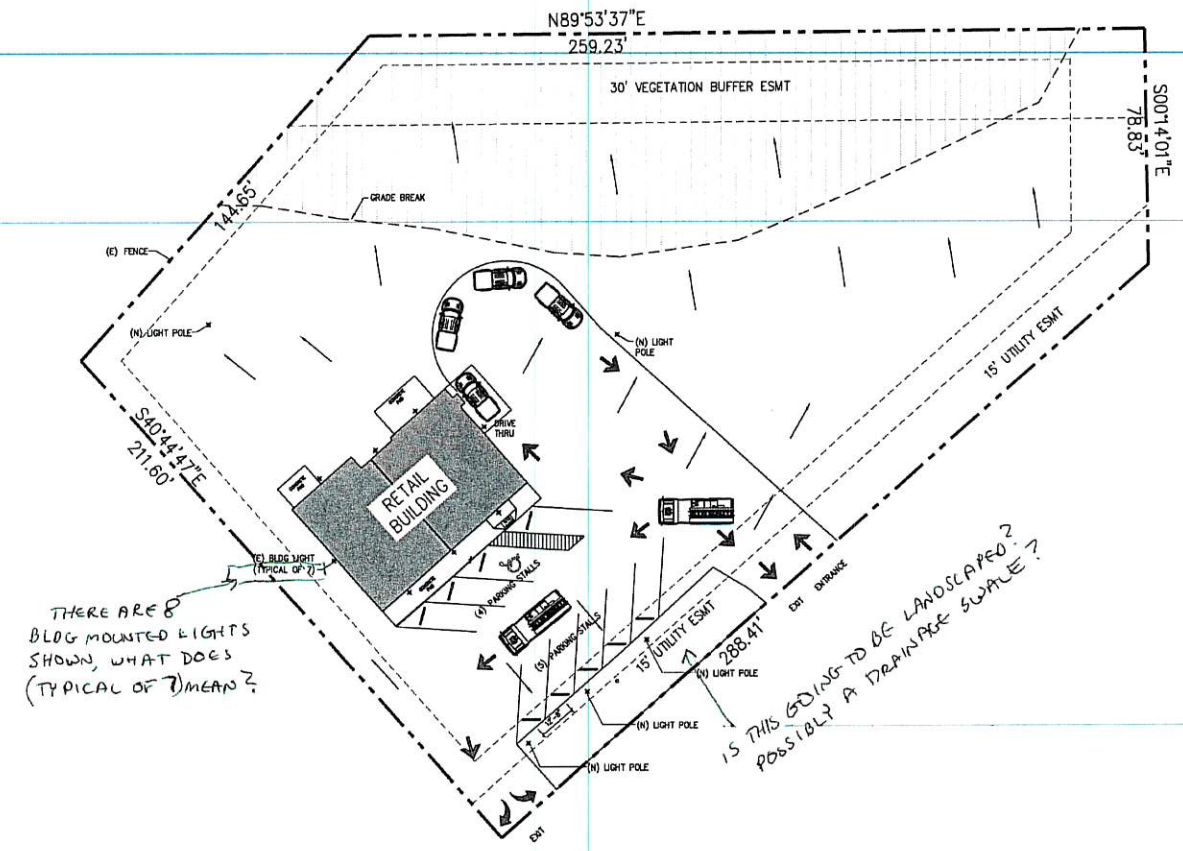
CONDITIONAL
USE PERMIT

REVISIONS:

DRAWN BY:
CHECKED BY:
DATE: 3.5.2024
JOB NUMBER: 24110.00

SHEET CONTENTS:
SITE PLAN

CATEGORY SHEET
CC 1.2



THERE ARE 8
BLDG MOUNTED LIGHTS
SHOWN, WHAT DOES
(TYPICAL OF ?) MEAN?

IS THIS GOING TO BE LANDSCAPED?
POSSIBLY A DRAINAGE SWALE?

SITE PLAN
1" = 40' (11' x 17')



Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Friday, March 8, 2024 5:58 PM
To: Peggy Horton
Subject: Fwd: Business Sign

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Sent from my iPhone

Begin forwarded message:

From: Permit Center <Permit.Center@matsugov.us>
Date: March 4, 2024 at 11:40:40 AM HST
To: Peter Zell <pwzell1809@gmail.com>
Subject: RE: Business Sign

Good Afternoon,

There is no permit requirement for the sign mentioned below. This sign will need to be placed on Private Property.

Please let me know if you have any other questions.

Thank you,

Jennifer Monnin, CFM
Permit Technician
350 E Dahlia Ave
Palmer, AK 99645
Jennifer.monnin@matsugov.us
907-861-7822

-----Original Message-----

From: Peter Zell <pwzell1809@gmail.com>
Sent: Monday, March 4, 2024 12:03 PM
To: Permit Center <Permit.Center@matsugov.us>
Subject: Business Sign

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Jennifer,

The address for this sign will be:

6199 Mountain Heather Way
Palmer Alaska 99645

The dimensions of the first sign will be:

9'6"High x 10'4"Wide

The sign will be on a pole on private property in the front of the building 3 feet from the utility easement that runs alongside Mountain Heather Way.

The total height from the ground to the very top of the sign will be 40 feet.

There will be two other signs that will be mounted on the building. Each sign is less than 4800 in.² in total.

Thank you
Peter Zell
907 232 1809

Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Monday, March 11, 2024 2:56 PM
To: Peggy Horton
Subject: Fwd: Drawing revisions
Attachments: 24110.00 Higher - Conditional Use Permit Dwgs 3-11-2024.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Sent from my iPhone

Begin forwarded message:

From: Matthew Wilson <mwilson@907architecture.com>
Date: March 10, 2024 at 10:43:04 PM HST
To: Peter Zell <pwzell1809@gmail.com>
Subject: RE: Drawing revisions

Peter,

Attached are the revised site plans for your project. Hopefully I have made all the necessary changes now, if not please let me know.

Thanks,

Matt Wilson, AIA
907 Architecture LLC
907.373.9503 (office)
907.632.6487 (cell)

Note: I will be out of the office March 6th to March 18th. Please continue to leave voicemails and emails and I will reply when I return.

From: Peter Zell <pwzell1809@gmail.com>
Sent: Thursday, March 7, 2024 5:26 PM
To: Matthew Wilson <mwilson@907architecture.com>
Subject: Drawing revisions

A couple things to clean up from Peggy Horton at the borough 🙄

Sent from my iPhone

Peggy Horton

From: Peggy Horton
Sent: Tuesday, March 26, 2024 1:21 PM
To: Peter Zell
Subject: RE: Building move

Will do
Peggy

-----Original Message-----

From: Peter Zell <pwzell1809@gmail.com>
Sent: Tuesday, March 26, 2024 1:20 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Subject: Re: Building move

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi,
Pannone will be emailing you the information for number 14. Please inform me if that's what you're looking for.
Thanks
Peter Zell
Sent from my iPhone

> On Mar 26, 2024, at 9:16 AM, Peggy Horton <Peggy.Horton@matsugov.us> wrote:

>
> Good Morning,
> I am still waiting to receive a response concerning Items 2 through 12 and Item 14 on the attached letter.
>
> Respectfully,
>
> Peggy Horton
> Current Planner
> 907-861-7862
>
>

> -----Original Message-----

> From: Peter Zell <pwzell1809@gmail.com>
> Sent: Monday, March 25, 2024 10:44 AM
> To: Peggy Horton <Peggy.Horton@matsugov.us>
> Subject: Building move
>

> [EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

>
> Morning,
> Do you need any more paperwork from us?
> Peter Zell
> Sent from my iPhone
> <RFAI 2-28-24.pdf>

Peggy Horton

From: Brenda Butler <brenda@jdwcounsel.com>
Sent: Tuesday, March 26, 2024 2:58 PM
To: Peggy Horton
Cc: Teri Zell; jana@jdwcounsel.com; Randi Baker; Teri Zell
Subject: Re: Higher by Bad Gramm3r CUP Application
Attachments: Higher Narrative 2-21-24 - Revised.pdf; JDW Incomplete response Higher Bad Gramm3r.docx .pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Peggy,

Apologies for the delay. Please find the attached JDW incomplete response letter and updated narrative.

Let us know if there's anything else you need.

Thank you.

On Wed, Feb 28, 2024 at 3:49 PM Peggy Horton <Peggy.Horton@matsugov.us> wrote:

Greetings,

I've attached a request for additional information concerning this CUP application. Please let me know if you have any questions.

Peggy Horton

Current Planner

Matanuska-Susitna Borough

350 E. Dahlia Avenue

Palmer AK 99645

907-861-7862



--

*** Please REPLY ALL when responding to this Email***

Brenda Butler

JDW Counsel

Senior Paralegal, Notary Public

& Accounts Payable/Receivable

901 Photo Avenue, Second Floor

Anchorage, Alaska 99503

Phone: 907-231-3750

Fax: 360-483-3750

brenda@jdwcounsel.com

info@jdwcounsel.com

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Think green, please don't print unnecessarily

Peggy Horton

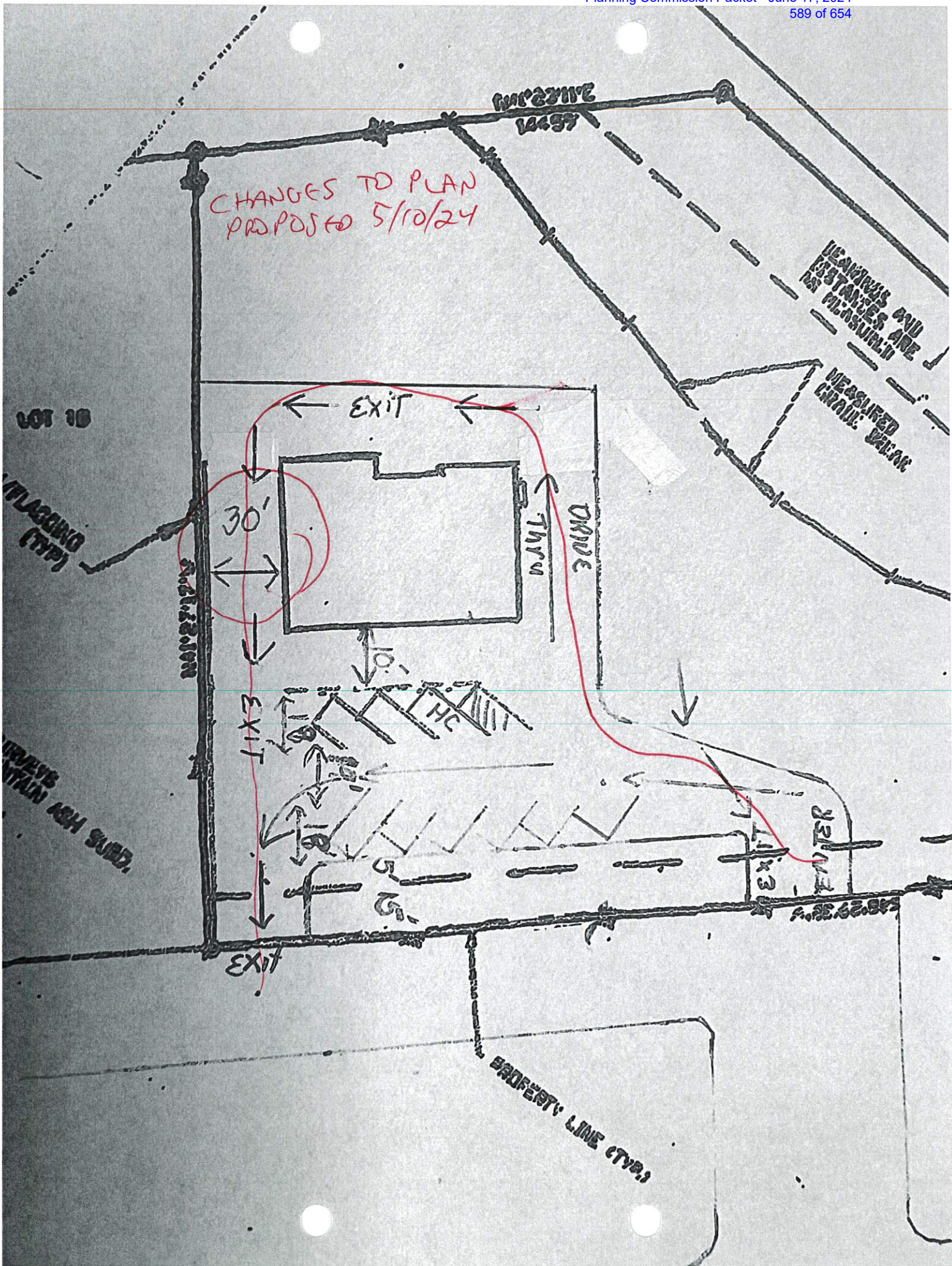
From: Peter Zell <pwzell1809@gmail.com>
Sent: Friday, May 10, 2024 1:15 PM
To: Peggy Horton
Subject: Higher by bad grammar exit changes

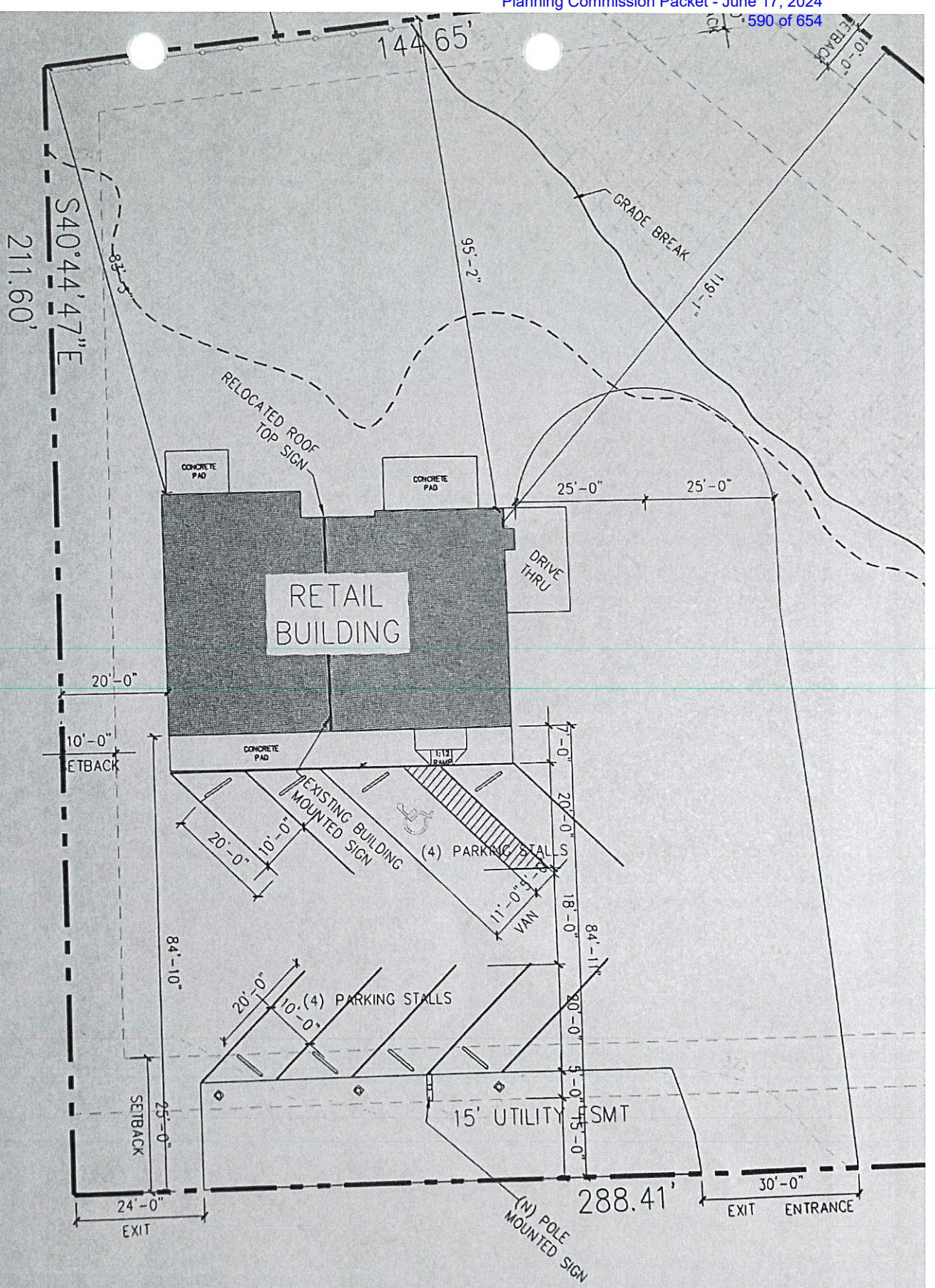
[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I am sending over a rough draft with the new exit traffic pattern. I am also sending over a picture of the existing site that you already have.

The driveways do not have to change at all. The only changes would be moving to building east 10 feet and having a different exit route. It would be the same as any burger joint where you drive around the building.

Sent from my iPhone





Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Saturday, May 11, 2024 9:10 AM
To: Peggy Horton
Subject: Re: Changes for Higher by Bad Gramm3r CUP

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Thank you and Mr. Ortiz for not going the "significant "route. I'll have the new drawings to you next week.
Peter Zell
Sent from my iPhone

On May 10, 2024, at 2:20 PM, Peggy Horton <Peggy.Horton@matsugov.us> wrote:

Hi Peter,

Mr. Ortiz agreed that the proposed changes are insufficient to warrant additional public notice. I've attached the current site plan and traffic plan. When will you have these scaled drawings updated and back to me?

I ask this because the plans must be in the PC introduction packet for the June 3, 2024 meeting. The last thing we want to do is confuse the planning commission members. If they notice the differences in the two packets, they may ask if this project is ready to move forward or if the applicant needs more time to reconsider the design. I've seen it happen, and neither of us wants that. **I need the updated scaled drawings by 5 p.m. May 20, 2024.** Any delay in getting these drawings to our office may cause additional delays in the public hearing.

Respectfully,

Peggy Horton
Current Planner
Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer AK 99645
907-861-7862
<image001.png>

<Site plan and traffic plan.pdf>

Peggy Horton

From: Peggy Horton
Sent: Wednesday, May 15, 2024 2:03 PM
To: Daniel Dahms
Cc: Brad Sworts; Jamie Taylor; Tammy Simmons
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Thank you!

From: Daniel Dahms <Daniel.Dahms@matsugov.us>
Sent: Wednesday, May 15, 2024 1:53 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Peggy,

See responses below in red.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Peggy Horton <Peggy.Horton@matsugov.us>
Sent: Wednesday, May 15, 2024 1:48 PM
To: Daniel Dahms <Daniel.Dahms@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: FW: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Hi Daniel,

Sorry to bother you, but I just want to get this straight before I go back to the customer. Are you saying the engineer didn't provide supporting data and calculations as required in MSB 11.12.040(A)(2)(h)(iii)? I saw that both the Traffic Impact Analysis Worksheet and the High Volume Driveway Checklist used the same information, but the engineer stated he used customer-supplied information in both those documents. Yes, I'm saying that both places used the same information and the information needs to be from ITE or another valid source, rather than from the customer. The customer supplied information is not a valid source, even if the engineer did calculations after.

(iii) Local vehicle trip generation rates, accompanied by supporting data and calculations, determined by a professional civil engineer registered by the state of Alaska may be used as a substitute for the Institute of Transportation Engineers Trip Generation Manual.

Thank you,

Peggy Horton
Current Planner

907-861-7862

From: Peggy Horton
Sent: Tuesday, May 14, 2024 4:16 PM
To: Daniel Dahms <Daniel.Dahms@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Thank you, I will forward this information to Mr. Zell.

Peggy Horton
Current Planner
907-861-7862

From: Daniel Dahms <Daniel.Dahms@matsugov.us>
Sent: Tuesday, May 14, 2024 4:13 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Peggy,

PD&E gave the following comments on 4/9/2024 regarding the driveway permits associated with this site, "Use established trip generation rates from the Institute of Transportation Engineers (ITE) or a local trip generation rate as described in MSB Code 11.12.040 (A)(2)(h)." The same trip generation rates used for the driveway permit should be used on the Traffic Impact Analysis Threshold Worksheet for this conditional use permit.

Since the proposed construction will turn existing gravel surfaces into paved surfaces, the stormwater runoff generated from the site will increase. To account for this, a retention basin or similar drainage feature should be designed and constructed on the site to retain the increased runoff.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Peggy Horton <Peggy.Horton@matsugov.us>
Sent: Monday, April 1, 2024 4:22 PM
To: White, Ben M (DOT) <ben.white@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; Kyler Hylton <kyler.hylton@alaska.gov>; Colton Percy <colton.percy@alaska.gov>; Sarah Myers <sarah.myers@alaska.gov>; msb.hpc@gmail.com; Gerrit Verbeek <Gerrit.Verbeek@matsugov.us>; MEA ROW - MEA <mearow@mea.coop>; Right of Way Dept. <row@mtasolutions.com>; Enstar ROW <row@enstarnaturalgas.com>; GCI ROW <ospdesign@gci.com>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; Land Management <Land.Management@matsugov.us>; regpagemaster@usace.army.mil; Tom Adams <Tom.Adams@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>;

Planning <MSB.Planning@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Jason Ortiz <Jason.Ortiz@matsugov.us>; Corinne Lindfors <Corinne.Lindfors@matsugov.us>; Michelle Olsen <Michelle.Olsen@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; robbyundtmsb@gmail.com; noffkejl@gmail.com; hessmer@mtaonline.net; 3in1oil@gmail.com; davemtp@mtaonline.net; lszipszky@palmerpolice.com; susansteel550@gmail.com; blushingmoose@yahoo.com
Subject: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Good Morning,

Teresa Zell applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher by Bad Gramm3r. The proposed operation is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The proposed site is located on Tax ID # 6932B01L001A. RSA: 25

The Planning Commission will conduct a public hearing on this request on **June 17, 2024**.

Application materials may be viewed online at www.matsugov.us by clicking on 'All Public Notices & Announcements'. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for Conditional Use Permit for Marijuana Retail Facility \(matsugov.us\)](http://www.matsugov.us)

Comments are due on or before **May 20, 2024**, and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Regards,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Current Planner
907-861-7862

Peggy Horton

From: Peggy Horton
Sent: Wednesday, May 15, 2024 2:42 PM
To: Peter Zell; Kim Johnson
Cc: Teri Zell; Teri Zell; Michelle Olsen
Subject: MSB PD&E Traffic Data and Stormwater comment for Higher by Bad Gramm3r
Attachments: High Volume Driveway Checklist.pdf; Traffic Impact Worksheet Bad Grammer 3-27-24.pdf

Hello,

The MSB Pre-Design & Engineering Division has reviewed the information provided for the Higher by Bad Gramm3r Conditional Use Permit and the Driveway Permit and supplied the comments below. The problem is that the customer-supplied information submitted on the Traffic Impact Analysis Worksheet and the High Volume Driveway Worksheet needs to meet the standards of MSB 11.12.040(A)(2)(h)(iii). Please amend both traffic data documents with supporting data and calculations as described in MSB 11.12.040(A)(2)(h).

MSB 11.12.040(A)(2)(h):

- (h) estimated peak hour and average daily traffic generated by the use;
 - (i) Residential developments can assume a vehicle trip generation rate of one peak hour vehicle trip per dwelling unit,
 - (ii) Other developments shall use the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, and
 - (iii) Local vehicle trip generation rates, accompanied by supporting data and calculations, determined by a professional civil engineer registered by the state of Alaska may be used as a substitute for the Institute of Transportation Engineers Trip Generation Manual.

After carefully reviewing the drainage plan, PD&E has shared their recommendations below. Our recent discussion with Mr. Zell has revealed that due to traffic pattern changes on the property, there will be more paving than initially anticipated. This presents a great opportunity to make necessary updates to the drainage plan.

Respectfully,
Peggy Horton
Current Planner
Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer AK 99645
907-861-7862



From: Daniel Dahms <Daniel.Dahms@matsugov.us>
Sent: Tuesday, May 14, 2024 4:13 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
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To: White, Ben M (DOT) <ben.white@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; Kyler Hylton (kyler.hylton@alaska.gov) <kyler.hylton@alaska.gov>; colton.percy@alaska.gov; Sarah Myers (sarah.myers@alaska.gov) <sarah.myers@alaska.gov>; msb.hpc@gmail.com; Gerrit Verbeek <Gerrit.Verbeek@matsugov.us>; MEA ROW - MEA (mearow@mea.coop) <mearow@mea.coop>; Right of Way Dept. <row@mtasolutions.com>; Enstar ROW (row@enstarnaturalgas.com) <row@enstarnaturalgas.com>; GCI ROW (ospdesign@gci.com) <ospdesign@gci.com>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; Land Management <Land.Management@matsugov.us>; regpagemaster@usace.army.mil; Tom Adams <Tom.Adams@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Jason Ortiz <Jason.Ortiz@matsugov.us>; Corinne Lindfors <Corinne.Lindfors@matsugov.us>; Michelle Olsen <Michelle.Olsen@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>;

robyundtmsb@gmail.com; noffkejl@gmail.com; hessmer@mtaonline.net; 3in1on@gmail.com;
davemtp@mtaonline.net; lszipszky@palmerpolice.com; susansteel550@gmail.com; blushingmoose@yahoo.com

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Good Morning,

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Regards,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Current Planner
907-861-7862

Peggy Horton

From: Peggy Horton
Sent: Friday, May 17, 2024 10:49 AM
To: Pannone Engineering
Cc: Peter Zell; Steve Pannone (steve@panengak.com); Kim Johnson
Subject: FW: 6199 Mountain Heather Way drawing number two
Attachments: Bad Grammer Driveway Layout1 (1).pdf; Traffic Impact Worksheet Fillable Bad Grammer.pdf; Valley Storm Water Runoff Letter.pdf; High Volume Driveway Checklist - Fillable Bad Grammer.pdf; Drainage & Traffic Plan 5-16-24.pdf

Dan,

Before I send your response to our engineers:

- a. The driveway layout shows 95.8 between driveways, but the high-volume driveway checklist lists 65 as driveway spacing. Is this correct, or is it a conflict?
- b. FYI, the Bad Grammer Driveway Layout has not been signed.
- c. The Valley Storm Water Runoff Letter does not mention runoff toward the southwest, as shown in the updated drainage plan received yesterday; see attached. The new paving plan shows asphalt continuing around the building. Drainage appears to run off the southwest side, leaving only 10 feet between the paving and the property line.

Peggy Horton
Current Planner
907-861-7862

From: Dan Moran <Dan@panengak.com>
Sent: Friday, May 17, 2024 9:39 AM
To: Peggy Horton <Peggy.Horton@matsugov.us>; kristina.huling@alaska.gov
Cc: Peter Zell <pwzell1809@gmail.com>; Steve Pannone <Steve@panengak.com>; Kim Johnson <Kim@panengak.com>
Subject: RE: 6199 Mountain Heather Way drawing number two

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Peggy,

These should address what we discussed yesterday.

Thank you,
Dan

PES
PANNONE ENGINEERING SERVICES, LLC



Daniel Moran

Phone: 907-745-8200
Mobile: 907-301-0767
Email: dan@panengak.com

PO BOX 1807
Palmer, AK 99645

www.panengak.com

From: Peggy Horton <Peggy.Horton@matsugov.us>
Sent: Thursday, May 16, 2024 4:06 PM
To: Dan Moran <Dan@panengak.com>; kristina.huling@alaska.gov
Cc: Peter Zell <pwzell1809@gmail.com>
Subject: RE: 6199 Mountain Heather Way drawing number two



IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender
Peggy.Horton@matsugov.us

Hello Dan,

Here's the process Mr. Zell is going through that requires these documents, calculations, worksheets, etc. Higher by Bad Gram3r is a marijuana retail facility that is going through a public process to obtain a Conditional Use Permit (CUP) to operate at 6199 E. Mountain Heather Way. After Mr. Zell submitted the CUP application documents, I sent them out for review and comments to internal and outside agencies. Simultaneously, our Permit Center requested comments on the two driveway permit applications for the facility submitted by Mr. Zell. Our Pre-Design & Engineering Division (PD&E) came back with comments concerning the CUP Traffic Impact Analysis Worksheet and the High-Volume Driveway Checklist, which we discussed. They also had comments concerning the drainage plan submitted for the CUP. Once I obtain replies to those comments, I will send them back to PD&E to see if they are satisfactory. There may be some back and forth needed before there is consensus and that takes time. The public hearing is scheduled, and I am writing the staff report and developing the packet for the Planning Commission to review. I'm supposed to have that completed next week. That's why I asked Mr. Zell to have these responses back to me as soon as possible.

I appreciate your time and effort on this,
Peggy Horton
Current Planner
Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer AK 99645
907-861-7862



From: Peter Zell <pwzell1809@gmail.com>

Sent: Thursday, May 16, 2024 2:51 PM

To: Pannone Engineering <dan@panengak.com>; Peggy Horton <Peggy.Horton@matsugov.us>;
kristina.huling@alaska.gov

Subject: 6199 Mountain Heather Way drawing number two

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Sent from my iPhone

Peggy Horton

From: Peter Zell <pwzell1809@gmail.com>
Sent: Wednesday, May 22, 2024 10:34 AM
To: Peggy Horton
Subject: Fwd: Higher - Updated Site Plan Drawings
Attachments: Bad Grammer Driveway-Layout1 (3)-.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Sent from my iPhone

Begin forwarded message:

From: Dan Moran <Dan@panengak.com>
Date: May 21, 2024 at 4:42:22 PM AKDT
To: Peter Zell <pwzell1809@gmail.com>
Cc: Kim Johnson <Kim@panengak.com>, Steve Pannone <Steve@panengak.com>
Subject: RE: Higher - Updated Site Plan Drawings

Updated drainage plan

From: Peter Zell <pwzell1809@gmail.com>
Sent: Tuesday, May 21, 2024 10:10 AM
To: Dan Moran <Dan@panengak.com>
Subject: Fwd: Higher - Updated Site Plan Drawings

Sent from my iPhone

Begin forwarded message:

From: Peter Zell <pwzell1809@gmail.com>
Date: May 20, 2024 at 10:20:41 AM AKDT
To: inkspotak@yahoo.com
Subject: Fwd: Higher - Updated Site Plan Drawings

Sent from my iPhone

Begin forwarded message:

From: Matthew Wilson <mwilson@907architecture.com>
Date: May 16, 2024 at 1:56:49 PM AKDT
To: Peter Zell <pwzell1809@gmail.com>
Subject: Higher - Updated Site Plan Drawings

Peter,

Hopefully this takes care of it. I split the difference and left 4' gravel, so that the exit is 16'-0" wide now.

Approximate paved area (shown in solid gray) is currently 12,959 SF that includes the aprons to the road. The apron paving is approximately 1,000 SF.

Thanks,

Matt Wilson, AIA
907 Architecture LLC
907.373.9503 (office)
907.632.6487 (cell)

From: [Dan Moran](#)
To: [Peggy Horton](#)
Cc: [Peter Zell](#); [Steve Pannone](#); [Kim Johnson](#); [Michelle Olsen](#)
Subject: RE: 6199 Mountain Heather Way drawing number two
Date: Tuesday, June 4, 2024 11:52:33 AM
Attachments: [image003.png](#)
[High Volume Driveway Checklist - Fillable Bad Grammer.pdf](#)
[ITE LAND USE 882.pdf](#)
[Traffic Impact Worksheet Fillable Bad Grammer.pdf](#)
[Bad Grammer Driveway Layout1 \(2\) \(1\).pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

Here is an adjusted application to account for ITE traffic volumes, to address Daniel's comment.

Thank you,
Dan

PES
PANNONE ENGINEERING SERVICES, LLC



Daniel Moran

Phone: 907-745-8200
Mobile: 907-301-0767
Email: dan@panengak.com
PO BOX 1807
Palmer, AK 99645
www.panengak.com

From: Peggy Horton <Peggy.Horton@matsugov.us>
Sent: Friday, May 31, 2024 8:47 AM
To: Dan Moran <Dan@panengak.com>
Cc: Peter Zell <pwzell1809@gmail.com>; Steve Pannone <Steve@panengak.com>; Kim Johnson <Kim@panengak.com>; Michelle Olsen <Michelle.Olsen@matsugov.us>
Subject: RE: 6199 Mountain Heather Way drawing number two

Hello Dan and Peter,
PD&E comments include the 11th edition of the ITE marijuana dispensary pages. Please update the Traffic Impact Worksheet and High Volume Driveway Checklist with appropriate information.

Respectfully,

Peggy Horton

Current Planner
Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer AK 99645
907-861-7862

From: Dan Moran <Dan@panengak.com>
Sent: Friday, May 17, 2024 9:39 AM
To: Peggy Horton <Peggy.Horton@matsugov.us>; kristina.huling@alaska.gov
Cc: Peter Zell <pwzell1809@gmail.com>; Steve Pannone <Steve@panengak.com>; Kim Johnson <Kim@panengak.com>
Subject: RE: 6199 Mountain Heather Way drawing number two

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Thank you,
Dan



Daniel Moran

Phone: 907-745-8200
Mobile: 907-301-0767
Email: dan@panengak.com
PO BOX 1807
Palmer, AK 99645
www.panengak.com

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To: Dan Moran <Dan@panengak.com>; kristina.huling@alaska.gov
Cc: Peter Zell <pwzell1809@gmail.com>
Subject: RE: 6199 Mountain Heather Way drawing number two

 IRONSCALES couldn't recognize this email as this is the first time you received an email from this sender Peggy.Horton@matsugov.us

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Current Planner
Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer AK 99645
907-861-7862



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kristina.huling@alaska.gov
Subject: 6199 Mountain Heather Way drawing number two

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Sent from my iPhone

COMMENTS

Agency Comments



THE STATE
of ALASKA
GOVERNOR MICHAEL J. DUNLEAVY

Department of Transportation and Public Facilities

4111 Aviation Avenue
P.O. Box 196900
Anchorage, AK 99519-6900
Main: 907-269-0520
Fax: 907-269-0521
dot.alaska.gov

April 26, 2024

Peggy Horton, Planner II
Development Services Division
Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645

[Sent Electronically]

Re: Conditional Use Permit Review

Dear Ms. Horton:

The Alaska Department of Transportation and Public Facilities (DOT&PF) Central Region has reviewed the following conditional use permits and have no comments:

- **CUP 10015 – Conditional Use Permit for Earth Materials Extraction – MSB 17.30 – Northern Gravel & Trucking LLC (Buffalo Mine Road)**

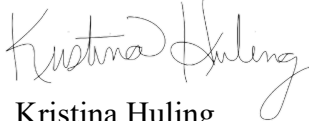
The Alaska Department of Transportation and Public Facilities (DOT&PF) Central Region has reviewed the following conditional use permits and have the following comments:

- **CUP 10179 – Conditional Use Permit for Earth Materials Extraction – MSB 17.30 – Jim Psenak Construction LLC (Back Acres Avenue, Old Glenn Highway)**
 - Please be advised that DOT&PF is aware of ongoing development and increasing traffic and freight circulation along the Old Glenn Highway corridor in this area. As traffic is contributed to by sites like these, the Back Acres Avenue and Old Glenn Highway intersection may require improvements.
- **CUP 10300 – Conditional Use Permit for Marijuana Related Facilities – MSB 17.60 – Higher by Gad Gramm3r, LLC (Mountain Heather Way, Palmer-Wasilla Highway)**
 - DOT&PF reminds applicant that business and other signage are not permitted in the right-of-way of the Palmer-Wasilla Highway.
 - DOT&PF recommends consideration of Palmer-Wasilla Highway right of way and Palmer-Wasilla Highway and Mountain Heather Way intersection at driveway access and requests more information for internal site circulation for all modes is developed.

- DOT&PF requests Mat-Su Borough include DOT&PF in review of driveway permit due to potential driveway alignment and access of Mountain Heather Way and its proximity to the Palmer-Wasilla Highway access point.

If there are any questions regarding these comments please feel free to contact me at (907) 269-0509 or kristina.huling@alaska.gov.

Sincerely,



Kristina Huling
Mat-Su Area Planner, DOT&PF

cc: Sean Baski, Chief, Highway Design, DOT&PF
Matt Walsh, Property Management Supervisor, Right of Way, DOT&PF
Devki Rearden, Engineering Associate, DOT&PF
Morris Beckwith, Right of Way, DOT&PF
Brad Sworts, Pre-Design & Engineering Div. Manager, MSB
Anna Bosin, Traffic & Safety Engineer, DOT&PF

From: [Lacie Olivieri](#)
To: [Peggy Horton](#)
Subject: Fw: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility
Date: Thursday, May 9, 2024 4:29:56 PM
Attachments: [image003.png](#)
[Outlook-1tliljgg.png](#)

This one as well

Lacie Olivieri

Division Administrative Specialist
Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645
907.861.8608
<https://www.matsugov.us/>



From: Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>
Sent: Wednesday, April 3, 2024 5:19 PM
To: Planning <MSB.Planning@matsugov.us>
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

It appears this permit may affect a structure regulated by this office for conformity to Fire and Life Safety Standards as per AS 18.70.080.

Before beginning the construction, alteration, repair, or changing the occupancy of a building, substantial land structure, or structure regulated by the state division of fire and life safety, plans and specifications need to be submitted to this office. 13 AAC 50.027



JEFF ANDERSON
Assistant Chief / Fire Marshal
CENTRAL MAT-SU FIRE DEPARTMENT
Fire & Life Safety Division (907) 861-8383
FireCode@matsugov.us

From: Peggy Horton <Peggy.Horton@matsugov.us>

Sent: Monday, April 1, 2024 4:22 PM

To: White, Ben M (DOT) <ben.white@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; Kyler Hylton (kyler.hylton@alaska.gov) <kyler.hylton@alaska.gov>; colton.percy@alaska.gov; Sarah Myers (sarah.myers@alaska.gov) <sarah.myers@alaska.gov>; msb.hpc@gmail.com; Gerrit Verbeek <Gerrit.Verbeek@matsugov.us>; MEA ROW - MEA (mearow@mea.coop) <mearow@mea.coop>; Right of Way Dept. <row@mtasolutions.com>; Enstar ROW (row@enstarnaturalgas.com) <row@enstarnaturalgas.com>; GCI ROW (ospdesign@gci.com) <ospdesign@gci.com>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; Land Management <Land.Management@matsugov.us>; regpagemaster@usace.army.mil; Tom Adams <Tom.Adams@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Jason Ortiz <Jason.Ortiz@matsugov.us>; Corinne Lindfors <Corinne.Lindfors@matsugov.us>; Michelle Olsen <Michelle.Olsen@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; robyundtmsb@gmail.com; noffkejl@gmail.com; hessmer@mtaonline.net; 3in1oil@gmail.com; davemtp@mtaonline.net; lszipzsky@palmerpolice.com; susansteel550@gmail.com; blushingmoose@yahoo.com
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Matanuska-Susitna Borough
Development Services Division
Current Planner
907-861-7862

From: [Daniel Dahms](#)
To: [Peggy Horton](#)
Cc: [Brad Sworts](#); [Jamie Taylor](#); [Tammy Simmons](#)
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility
Date: Wednesday, May 15, 2024 1:52:59 PM

Peggy,

See responses below in red.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Peggy Horton <Peggy.Horton@matsugov.us>
Sent: Wednesday, May 15, 2024 1:48 PM
To: Daniel Dahms <Daniel.Dahms@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: FW: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Hi Daniel,

Sorry to bother you, but I just want to get this straight before I go back to the customer. Are you saying the engineer didn't provide supporting data and calculations as required in MSB 11.12.040(A)(2)(h)(iii)? I saw that both the Traffic Impact Analysis Worksheet and the High Volume Driveway Checklist used the same information, but the engineer stated he used customer-supplied information in both those documents. **Yes, I'm saying that both places used the same information and the information needs to be from ITE or another valid source, rather than from the customer. The customer supplied information is not a valid source, even if the engineer did calculations after.**

(iii) Local vehicle trip generation rates, accompanied by supporting data and calculations, determined by a professional civil engineer registered by the state of Alaska may be used as a substitute for the Institute of Transportation Engineers Trip Generation Manual.

Thank you,

Peggy Horton
Current Planner
907-861-7862

From: Peggy Horton
Sent: Tuesday, May 14, 2024 4:16 PM
To: Daniel Dahms <Daniel.Dahms@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>

Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Thank you, I will forward this information to Mr. Zell.

Peggy Horton
Current Planner
907-861-7862

From: Daniel Dahms <Daniel.Dahms@matsugov.us>
Sent: Tuesday, May 14, 2024 4:13 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Peggy,

PD&E gave the following comments on 4/9/2024 regarding the driveway permits associated with this site, "Use established trip generation rates from the Institute of Transportation Engineers (ITE) or a local trip generation rate as described in MSB Code 11.12.040 (A)(2)(h)." The same trip generation rates used for the driveway permit should be used on the Traffic Impact Analysis Threshold Worksheet for this conditional use permit.

Since the proposed construction will turn existing gravel surfaces into paved surfaces, the stormwater runoff generated from the site will increase. To account for this, a retention basin or similar drainage feature should be designed and constructed on the site to retain the increased runoff.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Peggy Horton <Peggy.Horton@matsugov.us>
Sent: Monday, April 1, 2024 4:22 PM
To: White, Ben M (DOT) <ben.white@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; Kyler Hylton (kyler.hylton@alaska.gov) <kyler.hylton@alaska.gov>; colton.percy@alaska.gov; Sarah Myers (sarah.myers@alaska.gov) <sarah.myers@alaska.gov>; msb.hpc@gmail.com; Gerrit Verbeek <Gerrit.Verbeek@matsugov.us>; MEA ROW - MEA (mearow@mea.coop) <mearow@mea.coop>; Right of Way Dept. <row@mtasolutions.com>; Enstar ROW (row@enstarnaturalgas.com) <row@enstarnaturalgas.com>; GCI ROW (ospdesign@gci.com) <ospdesign@gci.com>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; Land Management <Land.Management@matsugov.us>; regpagemaster@usace.army.mil; Tom Adams <Tom.Adams@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Jamie Taylor

<Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Jason Ortiz <Jason.Ortiz@matsugov.us>; Corinne Lindfors <Corinne.Lindfors@matsugov.us>; Michelle Olsen <Michelle.Olsen@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; robbyundtmsb@gmail.com; noffkejl@gmail.com; hessmer@mtaonline.net; 3in1oil@gmail.com; davemtp@mtaonline.net; lszipszky@palmerpolice.com; susansteel550@gmail.com; blushingmoose@yahoo.com
Subject: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Good Morning,

Teresa Zell applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher by Bad Gramm3r. The proposed operation is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The proposed site is located on Tax ID # 6932B01L001A. RSA: 25

The Planning Commission will conduct a public hearing on this request on **June 17, 2024**.

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for Conditional Use Permit for Marijuana Retail Facility \(matsugov.us\)](http://www.matsugov.us)

Comments are due on or before **May 20, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Regards,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Current Planner
907-861-7862

From: [Peggy Horton](#)
To: [Peter Zell](#); [Kim Johnson](#)
Cc: [Teri Zell](#); [Teri Zell](#); [Michelle Olsen](#)
Subject: MSB PD&E Traffic Data and Stormwater comment for Higher by Bad Gramm3r
Date: Wednesday, May 15, 2024 2:41:00 PM
Attachments: [High Volume Driveway Checklist.pdf](#)
[Traffic Impact Worksheet Bad Grammer 3-27-24.pdf](#)
[image001.png](#)

Hello,

The MSB Pre-Design & Engineering Division has reviewed the information provided for the Higher by Bad Gramm3r Conditional Use Permit and the Driveway Permit and supplied the comments below. The problem is that the customer-supplied information submitted on the Traffic Impact Analysis Worksheet and the High Volume Driveway Worksheet needs to meet the standards of MSB 11.12.040(A)(2)(h)(iii). Please amend both traffic data documents with supporting data and calculations as described in MSB 11.12.040(A)(2)(h).

MSB 11.12.040(A)(2)(h):

- (h) estimated peak hour and average daily traffic generated by the use;
 - (i) Residential developments can assume a vehicle trip generation rate of one peak hour vehicle trip per dwelling unit,
 - (ii) Other developments shall use the most recent edition of the Institute of Transportation Engineers Trip Generation Manual, and
 - (iii) Local vehicle trip generation rates, accompanied by supporting data and calculations, determined by a professional civil engineer registered by the state of Alaska may be used as a substitute for the Institute of Transportation Engineers Trip Generation Manual.

After carefully reviewing the drainage plan, PD&E has shared their recommendations below. Our recent discussion with Mr. Zell has revealed that due to traffic pattern changes on the property, there will be more paving than initially anticipated. This presents a great opportunity to make necessary updates to the drainage plan.

Respectfully,
Peggy Horton
Current Planner
Matanuska-Susitna Borough
350 E. Dahlia Avenue
Palmer AK 99645
907-861-7862



From: Daniel Dahms <Daniel.Dahms@matsugov.us>
Sent: Tuesday, May 14, 2024 4:13 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Cc: Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Peggy,

PD&E gave the following comments on 4/9/2024 regarding the driveway permits associated with this site, "Use established trip generation rates from the Institute of Transportation Engineers (ITE) or a local trip generation rate as described in MSB Code 11.12.040 (A)(2)(h)." The same trip generation rates used for the driveway permit should be used on the Traffic Impact Analysis Threshold Worksheet for this conditional use permit.

Since the proposed construction will turn existing gravel surfaces into paved surfaces, the stormwater runoff generated from the site will increase. To account for this, a retention basin or similar drainage feature should be designed and constructed on the site to retain the increased runoff.

Daniel Dahms, PE
Department of Public Works
Pre-Design and Engineering Division

From: Peggy Horton <Peggy.Horton@matsugov.us>
Sent: Monday, April 1, 2024 4:22 PM
To: White, Ben M (DOT) <ben.white@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; Kyler Hylton (kyler.hylton@alaska.gov) <kyler.hylton@alaska.gov>; colton.percy@alaska.gov; Sarah Myers (sarah.myers@alaska.gov) <sarah.myers@alaska.gov>; msb.hpc@gmail.com; Gerrit Verbeek <Gerrit.Verbeek@matsugov.us>; MEA ROW - MEA (mearow@mea.coop) <mearow@mea.coop>; Right of Way Dept. <row@mtasolutions.com>; Enstar ROW (row@enstarnaturalgas.com) <row@enstarnaturalgas.com>; GCI ROW (ospdesign@gci.com)

<ospdesign@gci.com>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; Land Management <Land.Management@matsugov.us>; regpagemaster@usace.army.mil; Tom Adams <Tom.Adams@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Jason Ortiz <Jason.Ortiz@matsugov.us>; Corinne Lindfors <Corinne.Lindfors@matsugov.us>; Michelle Olsen <Michelle.Olsen@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; robundtmsb@gmail.com; noffkejl@gmail.com; hessmer@mtaonline.net; 3in1oil@gmail.com; davemtp@mtaonline.net; lszipszky@palmerpolice.com; susansteel550@gmail.com; blushingmoose@yahoo.com
Subject: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Good Morning,

Teresa Zell applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher by Bad Gramm3r. The proposed operation is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The proposed site is located on Tax ID # 6932B01L001A. RSA: 25

The Planning Commission will conduct a public hearing on this request on **June 17, 2024**.

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for Conditional Use Permit for Marijuana Retail Facility \(matsugov.us\)](http://www.matsugov.us/development-services/public-hearing-notice-for-conditional-use-permit-for-marijuana-retail-facility)

Comments are due on or before **May 20, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Regards,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Current Planner
907-861-7862

From: [Campellone, Estrella F CIV USARMY CEPOA \(USA\)](#)
To: [Peggy Horton](#)
Subject: RE: Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility
Date: Thursday, April 4, 2024 1:56:26 PM

Good afternoon Ms. Horton,

Based on the information you have provided and review of information available to us, the properties located at 1404 North Hyer Road and 6199 East Mountain Heather Way (TAX ID # 6932B01L001A. RSA: 25) do not seem to contain wetlands, however, if fill material is proposed to be placed in areas containing waters of the U.S., including wetlands, the proponent of such fill needs to contact the U.S. Army Corps of Engineers immediately.

Please be notified that a Department of the Army authorization is required if anyone proposes to place dredged and/or fill material into waters of the U.S., including wetlands and/or perform work in navigable waters of the U.S. A copy of the DA permit application can be found online at www.poa.usace.army.mil/Missions/Regulatory.

Sample drawings can also be found on our website at www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf.

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). The Corps defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Section 10 of the Rivers and Harbors Act of 1899 requires that a DA permit be obtained for structures or work in or affecting navigable waters of the U.S. (33 U.S.C. 403). Section 10 waters are those waters subject to the ebb and flow of the tide shoreward to the mean high water mark, and/or other waters identified by the Alaska District. Aquaculture structures and work would require Section 10 Authorization.

You are welcome to submit a preapplication meeting request, a jurisdictional determination request, or a permit application directly to our general mailbox (regpagemaster@usace.army.mil) and you will be assigned a project manager to assist you. Please feel free to contact our main line if you have any questions or concerns at 907-753-2712.

Respectfully,
Estrella Campellone
Project Manager
South Section
Regulatory Division
USACE AK District
Tel: 907-753-2518

From: Peggy Horton <Peggy.Horton@matsugov.us>

Sent: Monday, April 1, 2024 4:22 PM

To: White, Ben M (DOT) <ben.white@alaska.gov>; Huling, Kristina N (DOT) <kristina.huling@alaska.gov>; Kyler Hylton (kyler.hylton@alaska.gov) <kyler.hylton@alaska.gov>; colton.percy@alaska.gov; Sarah Myers (sarah.myers@alaska.gov) <sarah.myers@alaska.gov>; msb.hpc@gmail.com; Gerrit Verbeek <Gerrit.Verbeek@matsugov.us>; MEA ROW - MEA (mearow@mea.coop) <mearow@mea.coop>; Right of Way Dept. <row@mtasolutions.com>; Enstar ROW (row@enstarnaturalgas.com) <row@enstarnaturalgas.com>; GCI ROW (ospdesign@gci.com) <ospdesign@gci.com>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Fire Code <Fire.Code@matsugov.us>; Land Management <Land.Management@matsugov.us>; CEPOA-SM-RD-Pagemaster <regpagemaster@usace.army.mil>; Tom Adams <Tom.Adams@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Daniel Dahms <Daniel.Dahms@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Jason Ortiz <Jason.Ortiz@matsugov.us>; Corinne Lindfors <Corinne.Lindfors@matsugov.us>; Michelle Olsen <Michelle.Olsen@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; robmyndtmsb@gmail.com; noffkejl@gmail.com; hessmer@mtaonline.net; 3in1oil@gmail.com; davemtp@mtaonline.net; lszipszky@palmerpolice.com; susansteel550@gmail.com; blushingmoose@yahoo.com

Subject: [Non-DoD Source] Request for Review and Comments: Higher by Bad Gramm3r Marijuana Retail Facility

Good Morning,

Teresa Zell applied for a Conditional Use Permit under MSB 17.60 – Conditional Uses, for the operation of a Marijuana Retail Facility known as Higher by Bad Gramm3r. The proposed operation is moving from 1404 North Hyer Road to 6199 East Mountain Heather Way. The proposed site is located on Tax ID # 6932B01L001A. RSA: 25

The Planning Commission will conduct a public hearing on this request on **June 17, 2024**.

Application materials may be viewed online at www.matsugov.us by clicking on ‘All Public Notices & Announcements’. A direct link to the application material is here:

[Matanuska-Susitna Borough - Public Hearing Notice for Conditional Use Permit for Marijuana Retail Facility \(matsugov.us\)](http://www.matsugov.us)

Comments are due on or before **May 20, 2024**, and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received after that date will not be included in the staff report to the Planning Commission. Thank you for your review.

Regards,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Current Planner
907-861-7862

No public comments were received

DRAFT
PLANNING COMMISSION
RESOLUTION

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By: Peggy Horton
Introduced: June 3, 2024
Public Hearing: June 17, 2024
Action:

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 24-11

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A MARIJUANA RETAIL FACILITY AT 6199 EAST MOUNTAIN HEATHER WAY, TAX ID 6932B01L001A.

WHEREAS, Teri Zell, of Higher by Bad Gramm3r, applied for a conditional use permit to relocate a marijuana retail facility from 1204 North Hyer Spur to 6199 East Mountain Heather Way; and

WHEREAS, MSB 17.60.030(A)(4) requires a conditional use permit for the operation of a marijuana retail facility; and

WHEREAS, unless this type of use is maintained under and in accordance with a lawfully issued permit, marijuana retail facilities are declared to be a public nuisance; and

WHEREAS, according to the application material, the proposed retail facility will be wholly contained within a 2,606-square-foot commercial structure; and

WHEREAS, there is no industrial equipment or processes that generate noise associated with the proposed use; and

WHEREAS, there are no outdoor speakers or public announcement systems associated with the proposed use; and

WHEREAS, Pannone Engineering prepared a Traffic Impact Analysis Worksheet as part of the application material; and

WHEREAS, according to the application material, the current business's self-reported peak hour traffic is currently 12 trips; and

WHEREAS, according to the application materials, the Institute of Transportation Engineers (ITE) Trip Generation Manual indicates an average of 28.85 trips per 1,000 square feet of Gross Floor Area (GFA) on Saturdays, which is the day with the highest traffic. This data is based on only five studies, which is a limited study database for trip rates for this type of land use; and

WHEREAS, the owner provided the engineer with the current customer volume. Since the anticipated use or similar is not listed in the ITE Trip Generation Manual, the engineer tripled the reported current customer volume and estimated 20 peak-hour trips; and

WHEREAS, according to the application material, the average rates for Higher by Bad Gramm3r proposed location will never exceed 20 trips per hour at peak times on any day of the week; and

WHEREAS, according to the application material, the proposed facility does not require a traffic impact analysis; and

WHEREAS, the proposed use will not be processing, manufacturing, or storing hazardous substances identified in MSB 17.61.020(A) (3); and

WHEREAS, the proposed use is confined to a generally flat area on the parcel; and

WHEREAS, the proposed use is commercial retail in nature and will not generate contaminated water runoff; and

WHEREAS, the subject parcel is 1.34 acres in size; and

WHEREAS, according to the application material, the existing Higher by Bad Gramm3r Retail building at 1204 North Hyer Spur will be moved approximately 850 feet east to the subject parcel; and

WHEREAS, the subject parcel has frontage on East Mountain Heather Way, which is classified as a collector and can accommodate the traffic associated with commercial use; and

WHEREAS, East Mountain Heather Way has commercial and industrial uses along its frontage, including an office building, butcher shop, tank fabrication company, and gymnastics center; and

WHEREAS, East Mountain Heather Way is a frontage road located off East Palmer-Wasilla Highway; and

WHEREAS, East Palmer-Wasilla Highway is classified as a major arterial and has several different uses on its frontage, including

commercial, industrial, residential, and vacant or undeveloped;
and

WHEREAS, According to the application material, the proposed hours of operation are 9:00 a.m. to 10:00 p.m., seven days a week;
and

WHEREAS, according to the application material, the proposed use will be located approximately 85 feet from the East Mountain Heather Way right-of-way, approximately 30 feet to the southwesterly lot line, approximately 86 feet to the northwesterly corner lot line, and approximately 114 feet to the northeasterly lot line; and

WHEREAS, the proposed use will be located south of and approximately 240 feet from the closest residential structure; and

WHEREAS, within 1,000 feet, various land uses exist, including commercial, industrial, residential, and vacant or undeveloped; and

WHEREAS, consumption of marijuana is prohibited at the site;
and

WHEREAS, persons under 21 are prohibited from entering the facility; and

WHEREAS, according to the application material, loitering will not be allowed; and

WHEREAS, the closest school (Birchtree Charter School) is approximately 3,700 feet from the proposed use; and

WHEREAS, according to the application material, the facility has a 24-hour monitoring alarm system, exterior lighting, and a video surveillance system; and

WHEREAS, according to the application materials, AMCO's emergency order approved the use of the current building's drive-thru window during the COVID-19 pandemic, and the applicant proposes to use it when they move the building to the new location; and

WHEREAS, according to the application material, marijuana or marijuana products will not be visible to the public from the drive-thru window; and

WHEREAS, according to the application materials, the drive-thru window is equipped with safety features, including safety plate glass, iron bars, a security shutter, a transaction drawer similar to that of a drive-thru bank, and surveillance cameras; and

WHEREAS, according to the application material, the use has a security plan in place, which includes education of employees on all security measures; and

WHEREAS, the Central Mat-Su Fire Department Deputy Fire Marshal issued Plan Review #2024-101 for the commercial structure; and

WHEREAS, the commercial structure fully complies with the State of Alaska fire code; and

WHEREAS, the applicant provided a copy of the approved Plan Review #2024-101; and

WHEREAS, according to the application material, all unusable marijuana products are mixed into organic soil and then disposed of at the Borough Central Landfill; and

WHEREAS, the applicant submitted all required site plans and operational information, except for evidence that the commercial structure will be relocated to comply with the setback requirements of MSB 17.55; and

WHEREAS, according to the application material, all retail operations will occur indoors; and

WHEREAS, according to the application material, the structure will meet all applicable setback requirements of MSB 17.55; and

WHEREAS, according to the application material, the site drainage plan includes a swale along the southwest property line to retain the increased stormwater runoff due to the larger impervious surfaces being installed on this lot; and

WHEREAS, according to the application material, the facility will have a sign with the company name on the top of the building and an independent signpost. Signs are also planned on the sides of the building; and

WHEREAS, according to the application material, the commercial structure will have lighting on all four sides and five light poles installed separately from the building. The lighting will be downward-directional and shielded to mitigate unwanted light pollution; and

WHEREAS, according to the application material, the facility will have a sign with the company name on the top of the building and an independent signpost. Signs are also planned on the sides of the building; and

WHEREAS, according to the application material, the applicant will install a 40' pole with the mounted sign approximately 15 feet from the southwest property boundary; and

WHEREAS, according to the application materials, Alaska Statute 19.25.105 delineates the restrictions for outdoor

advertising signs. It allows outdoor advertising signs within 660 feet of a right-of-way, visible from the main traveled way, and advertising activities conducted on the property; and

WHEREAS, the State of Alaska Marijuana Control Board (AMCO) voted to approve a transfer of location application for Higher by Bad Gramm3r Retail Marijuana Store License # 19178 with delegation at the November 15-16, 2023 meeting; and

WHEREAS, Planning staff received a copy of AMCO's delegated approval for the applicant's transfer of location application; and

WHEREAS, a marijuana retail facility has operated in the structure for over four years in its current location; and

WHEREAS, the bus access road that previously bisected the subject property was vacated, as shown on Plat # 2002-87. The remaining pavement is proposed to be removed; and

WHEREAS, the proposed use will be located approximately 125 feet northwest of the closest commercial structure; and

WHEREAS, according to the application material, the net floor area is approximately 2,606 square feet in size; and

WHEREAS, a marijuana retail facility, 2,606 square feet in size, is required to provide eight parking spaces, one of which

must be an Americans with Disabilities Act (ADA) compliant space;
and

WHEREAS, according to the application material, nine customer parking spaces are proposed; and

WHEREAS, according to the application material, each parking space is 20 feet long and 10 feet wide; and

WHEREAS, ADA guidelines require one van-accessible parking space, 11 feet wide with a five-foot-wide parking aisle, for every 1 to 25 spaces; and

WHEREAS, there are no vertical clearance limitations on site;
and

WHEREAS, the Planning Commission has reviewed this application with respect to standards set forth in MSB 17.60.100, 17.60.150, and 17.60.170; and

WHEREAS, the Planning Commission conducted a public hearing on October 2, 2023, on this matter; and

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby adopts the aforementioned findings of fact and makes the following conclusions of law supporting approval of Planning Commission Resolution 24-11;

1. The use will not exceed sound levels set forth in MSB 17.61.080, and noise levels exceeding the levels in MSB 17.61.080 are prohibited. As such, a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(1)).
2. A Core Area Conditional Use Permit is not required under this standard, as the number of vehicles will not exceed 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles a day (MSB 17.61.020(A)(2)).
3. A Core Area Conditional Use Permit is not required under this standard because the proposed use will not process, manufacture, or store hazardous substances beyond the thresholds identified (MSB 17.61.020(A)(3)).
4. The proposed use will not generate contaminated water runoff or other discharges that are likely to violate state water quality standards or negatively impact groundwater or surface water quality beyond adjacent property lines. As such, a Core Area Conditional Use Permit is not required under this standard (MSB 17.61.020(A)(4)).
5. The proposed use will not detract from the value, character, and integrity of the surrounding area (MSB 17.60.100(B)(1)).

6. The proposed use will not adversely affect public health, safety, convenience, and welfare (MSB 17.60.100(B)(2)).
7. Sufficient setbacks, lot area, buffers, and other safeguards are being provided (MSB 17.60.100(B)(3)).
8. The application material has met all of this chapter's requirements (MSB 17.60.100(B)(4)).
9. The proposed use will not negatively affect other properties due to factors such as noise and odor (MSB 17.60.150(A)(1)).
10. Measures are in place to reduce negative effects upon adjacent properties (MSB 17.60.150(A)(2)(a-c)).
11. The proposed use is compatible with the character of the surrounding area (MSB 17.60.150(A)(3)).
12. The proposed use is more than 1,000 feet away from any school grounds (MSB 17.60.150(B)(1)).
13. Documentation demonstrating the applicant obtained all applicable licenses pertaining to 3 AAC 306.005 was provided to planning staff (MSB 17.60.150(D)(1)).
14. The proposed use will be in full compliance with all applicable fire codes (MSB 17.60.150(D)(2)).
15. The proposed use is located on a parcel that is appropriate for commercial use (MSB 17.60.170(A)(1-3)).

16. The proposed use meets the minimum number of parking spaces for retail facilities (MSB 17.60.170(B)).

17. The proposed use will comply with current ADA parking space guidelines (MSB 17.60.170(C)).

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission finds this application does meet the standards of MSB 17.60 and does hereby approve the conditional use permit for the operation of a marijuana retail facility, with the following conditions:

1. Prior to operating, the applicant shall obtain approved driveway permits for both proposed driveways onto East Mountain Heather Way.
2. Prior to operating, the applicant must submit a surveyor's as-built drawing to the Planning staff, conducted after the building has been moved. The drawing shall show the location and dimensions of the commercial structure in relation to property lines, demonstrating compliance with MSB 17.55 - Setback and Screening Easements.
3. Prior to operating, the applicant must install the drainage facilities as shown on the site drainage plan, approved by MSB PD&E. Provide evidence of compliance to Planning staff. These drainage

facilities shall be maintained for the duration of the conditional use permit.

4. Prior to operating, the applicant shall have the ADA parking stall and access aisle painted and compliant with the current ADA guidelines. Provide evidence of compliance to Planning staff.
5. Exterior lighting will be designed to direct light downwards and be shielded, if necessary, to mitigate spill light and glare from impacting neighboring properties or traffic on nearby roads.
6. The operation shall comply with all applicable state and local regulations.
7. All aspects of the operation shall comply with the description detailed in the application material and with the conditions of this permit. An amendment to the Conditional Use Permit shall be required prior to any expansion of the conditional use.
8. Borough staff shall be permitted to enter the premises subject to this permit to monitor compliance with permit requirements. Such access will, at minimum, be allowed on demand when activity is occurring, and/or with prior verbal or written notice, and/or at other times as necessary to monitor

compliance. Denial of access to Borough staff shall be a violation of this Conditional Use Permit.

9. The hours of operation shall not exceed 9:00 a.m. to 10:00 p.m., seven days a week.

10. On-site consumption of marijuana and marijuana products is prohibited.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this 17 day of June, 2024.

CJ KOAN, Chair

ATTEST

CORINNE LINDFORS,
Acting Planning Clerk
(SEAL)

YES:

NO:

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**PUBLIC HEARING
LEGISLATIVE MATTERS**

**RESOLUTION 24-13
MOBILE HOME PARKS**

MATANUSKA-SUSITNA BOROUGH INFORMATION MEMORANDUM IM No. 24-097

SUBJECT: AN ORDINANCE OF THE MATANUSKA-SUSITNA BOROUGH ASSEMBLY REPEALING MSB 17.48 MOBILE HOME PARK ORDINANCE IN ITS ENTIRETY.

AGENDA OF: May 7, 2024

ASSEMBLY ACTION:

AGENDA ACTION REQUESTED: Refer to Planning Commission for 90 days.

Route To	Signatures
Originator	X <u>Alex Strawn</u> Signed by Alex
Department Director	X <u>Alex Strawn</u> Signed by Alex
Finance Director	X <u>Cheyenne Heindel</u> Signed by Cheyenne Heindel
Borough Attorney	X <u>Nicholas Spiropoulos</u> Signed by Nicholas Spiropoulos
Borough Manager	X <u>Michael Brown</u> Signed by Michael Brown
Borough Clerk	X <u>Lonnie McKechnie</u> Signed by Lonnie McKechnie

ATTACHMENT(S): Ordinance Serial No. 24-053 (1 p.)
MSB Code 17.48 (6 pp)
Planning Commission Reso. 24-__ (pp)

SUMMARY STATEMENT: This ordinance is at the request of Assembly Member Yundt. The intent of this ordinance is to promote affordable housing options for low- and middle-income individuals and families. Repealing regulations could potentially increase the availability of this type of housing, making it more accessible to those in need of affordable housing. The burdensome nature of the existing regulations has hindered the expansion of affordable housing options and constrained the growth of mobile home park communities.

RECOMMENDATION OF ADMINISTRATION: Staff respectfully recommends approval of this ordinance.

CODE ORDINANCE

Sponsored by:
Introduced:
Public Hearing:
Action:

**MATANUSKA-SUSITNA BOROUGH
ORDINANCE SERIAL NO. 24-053**

AN ORDINANCE OF THE MATANUSKA-SUSITNA BOROUGH ASSEMBLY REPEALING
MSB 17.48 MOBILE HOME PARK ORDINANCE IN ITS ENTIRETY.

WHEREAS, the intent and rationale of this ordinance are found
in the accompanying Information Memorandum No. 24-097.

BE IT ENACTED:

Section 1. Classification. This ordinance is of a general and
permanent nature and shall become a part of the Borough Code.

Section 2. Repeal of chapter. MSB 17.48 is hereby repealed in
its entirety.

Section 3. Effective date. This ordinance shall take effect
upon adoption.

ADOPTED by the Matanuska-Susitna Borough Assembly this - day
of -, 2024.

EDNA DeVRIES, Borough Mayor

ATTEST:

LONNIE R. McKECHNIE, CMC, Borough Clerk

(SEAL)

CHAPTER 17.48: MOBILE HOME PARK ORDINANCE

Section

Article I. Eligibility

17.48.010 Applicability

17.48.020 Development prohibition

17.48.030 Proof of financial ability to complete the project

17.48.040 Standards

Article II. Procedures for Mobile Home Park Plan Approval

17.48.050 Application requirements

17.48.060 Planning commission review

17.48.080 Technical review agencies

17.48.090 Action of the planning commission

17.48.100 Appeal process

Article III. General Provisions

17.48.110 Definitions

17.48.130 Nonconforming mobile home parks

17.48.140 Violations and enforcement

17.48.150 Appeal procedure

ARTICLE I. ELIGIBILITY

17.48.010 APPLICABILITY.

A mobile home park may be established in any area of the MSB except where prohibited by zoning ordinances, provided that the mobile home park meets the requirements of this chapter and is approved at a public hearing by the planning commission, except that mobile home parks within the corporate limits of the cities of Houston, Palmer and Wasilla are subject only to regulations in existence for those cities.

(Ord. 83-63, § 2 (part), 1983)

17.48.020 DEVELOPMENT PROHIBITION.

No person shall proceed with any construction work on the proposed property, including clearing, grading or excavation relating to improvements, until planning commission approval of the mobile home park plan has been obtained.

(Ord. 83-63, § 2 (part), 1983)

17.48.030 PROOF OF FINANCIAL ABILITY TO COMPLETE THE PROJECT.

Arrangement of guaranteed financing and construction of public recreational facilities and other amenities proposed within the mobile home park shall be required for approval of the mobile home park by the planning commission and prior to beginning of construction.

(Ord. 83-63, § 2 (part), 1983)

17.48.040 STANDARDS.

(A) A mobile home park shall have an area of not less than two acres nor more than ten acres. No mobile home, parking, office or service building shall be closer than 30 feet to a public use area or other property line.

(B) Individual mobile home sites shall have an area of not less than 6,000 square feet per single-wide mobile home and 6,500 square feet per double-wide mobile home, and the total number of mobile homes per gross acre will not exceed five.

(C) A minimum of a ten-foot-wide buffer, to a maximum of a 25-foot-wide buffer shall be provided along the property boundaries. Mobile home placement shall be set back ten feet from the internal edge of the buffer. The intent of the buffer is to provide a vegetated visual transition area between the mobile home park and adjacent properties.

(D) A minimum separation of 30 feet between mobile homes, including any attached entrance, lean-to, or other extension from mobile homes shall be maintained between mobile homes.

(E) A minimum of two parking spaces per mobile home will be provided.

(F) A fenced area for the storage of boats and other recreational vehicles may be required by the planning commission in mobile home parks with three or more spaces per acre.

(G) Sufficient open space is required for a common area for residents, such as playground areas for resident children.

(H) The location of the mobile home park shall be compatible with the surrounding land uses and density of

existing development. Public facilities necessary to serve the mobile home park, including roads, utilities, water, waste disposal, recreation, schools and fire protection, shall be shown to be provided or available. No mobile home park shall be located where the combined acreage of all mobile home parks within a one-mile radius exceeds ten acres.

(Ord. 90-051, § 2 (part), 1990; Ord. 83-63, § 2 (part), 1983)

ARTICLE II. PROCEDURES FOR MOBILE HOME PARK PLAN APPROVAL

17.48.050 APPLICATION REQUIREMENTS.

(A) Prior to submitting a formal application to the planning commission, the applicant shall confer with the borough planning department on the review process for the application. An appropriate filing fee as established by the assembly shall accompany the formal application.

(B) An application for approval of a mobile home park shall be submitted to the planning department and shall include a site plan containing the following information:

- (1) location and size of all mobile home spaces;
- (2) landscaping and buffering areas;
- (3) utility layouts, including sewer and water;
- (4) parking for cars and recreational vehicles;
- (5) locations and development and open space;
- (6) vehicular circulation and traffic patterns;
- (7) name of the mobile home park and the name and address of the developer;
- (8) existing topography and soils information;
- (9) scale, north arrow, date and general location map.

(C) The application shall include a legal description of the property identifying property dimensions and total area, and an affidavit stating that the applicant holds controlling interest in the property and describing the ownership interest of the applicant and all other persons having an interest in the property.

(D) The review process will include a review of the site plan, other application material required in MSB 17.48.020 and the following information:

- (1) the character, design and attractiveness of the proposed mobile home park and its adequacy to encourage desirable living conditions, to provide separation and screening between uses where desirable, and to preserve the natural amenities of streams and wooded areas;
- (2) the adequacy of open space and recreational areas, existing and proposed, to meet the needs of the development;
- (3) traffic circulation into and through the mobile home park.

(E) The planning director shall review the application for completeness and accept or reject within ten days of receipt.

(Ord. 90-051, § 2 (part), 1990; Ord. 86-47, § 13, 1986; Ord. 83-79, § 2, 1983; Ord. 83-63, § 2 (part), 1983)

17.48.060 PLANNING COMMISSION REVIEW.

Within 30 days after the mobile home park application has been approved by the planning director, the director shall schedule a public hearing before the planning commission. Any conditions attached to the mobile home park plan, staff recommendations and technical agency review comments will be presented to the planning commission.

(Ord 83-63, § 2 (part), 1983)

17.48.080 TECHNICAL REVIEW AGENCIES.

After the mobile home park plan has received pre-application approval by the planning director, the applicant or the applicant's representative shall be informed which agencies shall receive copies of the plan. The planning department shall submit the plan to the agencies to which planned unit developments are referred under MSB 17.36.

(Ord. 83-63, § 2 (part), 1983)

17.48.090 ACTION OF THE PLANNING COMMISSION.

The planning commission shall review the mobile home park plan and approve the application, give conditional approval, or deny the application. The planning commission shall render its decision and findings in writing; and if its decision is to deny the application, it shall indicate what the applicant might do to make the application acceptable. If given conditional approval, the applicant shall submit final plans meeting the conditions of the planning commission to the planning department within 30 days of such approval.

(Ord. 83-63, § 2 (part), 1983)

17.48.100 APPEAL PROCESS.

A decision of the planning commission is final unless an appeal is filed within 15 borough business days after the commission's action. Appeals shall be conducted under the provisions of MSB 15.39 as a conditional use.

(Ord. 97-026, § 2, 1997; IM 96-013, page 1 (part), presented 3-19-96; Ord. 83-63, § 2 (part), 1983)

ARTICLE III. GENERAL PROVISIONS

17.48.110 DEFINITIONS.

(A) For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

(1) "Buffer" means a means of protection against negative impacts which provides a physical separation or barrier.

(2) "Mobile home" means a detached single-family dwelling designed for long-term human habitation and having complete living facilities; capable of being transported to a location of use on its own chassis and wheels; identified by a model number and serial number by its manufacturer, and designed primarily for placement on a nonpermanent foundation. Travel trailers are not considered as mobile homes.

(3) "Mobile home parks" means any parcel, tract or lot or portion thereof where space for two or more mobile homes or travel trailers is leased, rented or held for rent for occupancy, but not including automobile or trailer sales lots on which unoccupied mobile homes are parked for inspection and sale or camper parks in which travel trailers are permitted for temporary occupancy of less than 30 days.

(4) "Travel trailers" means a motor vehicle or portable vehicular structure capable of being towed on the highways by a motor vehicle designed or intended for casual or short-term human occupancy for travel, recreational or vacation uses, identified by a model number, serial number or vehicle registration number, equipped with limited water storage and other self-contained living facilities.

(Ord. 90-051, § 2 (part), 1990; Ord. 83-63, § 2 (part), 1983)

17.48.130 NONCONFORMING MOBILE HOME PARKS.

(A) Within the borough there may exist mobile home parks as of the date of adoption of the ordinance codified in this chapter, or amendments thereto which were lawful before the effective date of applicable regulations, but which would otherwise be prohibited, regulated or restricted under this chapter. Such existing nonconforming parks are permitted to continue subject to the provisions of this section, but shall not be expanded except in accordance with this chapter.

(B) Nothing in this chapter shall require the relocation or removal of mobile home parks existing or under construction at the time of adoption of the ordinance codified in this chapter if such use was lawful at the time of its construction. No mobile home park shall be constructed or operated except in accordance with these regulations, except to the extent it was in existence or under actual construction as of the effective date of the ordinance codified in this chapter or amendment thereto. "Actual construction" is defined as the substantial

placement of construction materials and performance of labor for construction of facilities which cannot reasonably be used except in a manner which does not conform with these regulations.

(C) Mobile home parks under construction or in existence as of the date of the ordinance codified in this chapter shall apply for, and may obtain approval of, the mobile home park within 120 days of the effective date of the ordinance codified in this chapter. The planning director shall grant approval of the mobile home park if it complies with the requirements of this chapter, excepting only those facilities and improvements which were under construction or in existence prior to the effective date of the respective regulation. The mobile home park shall meet all other requirements of this chapter which are not in conflict with the pre-existing use or construction.

(D) No existing mobile home park shall be expanded in area or in number of dwelling units permitted unless the area of expansion meets the requirements of this chapter. No area of a mobile home park which is abandoned shall be used as a mobile home park unless it meets the requirements of this chapter. "Abandonment" is defined as a discontinuation of use of a mobile home park or a discrete portion or parcel thereof, or the failure to complete construction and begin use, for a continuous period of more than one year. If abandoned, the land shall not thereafter be used except in conformity with the requirements of this chapter.

(Ord. 83-78, § 3, 1983)

17.48.140 VIOLATIONS AND ENFORCEMENT.

Violations and enforcement of this chapter shall be consistent with the terms and provisions of MSB 17.56.

(Ord. 90-051, § 2 (part), 1990; Ord. 83-78, § 4, 1983)

17.48.150 APPEAL PROCEDURE.

Appeals from a decision of the planning director of a zoning enforcement action shall be filed and conducted in accordance with MSB 15.39.

(IM 96-013, page 1 (part), presented 3-19-96; Ord. 84-78, § 5, 1983)

By: A. Strawn
Introduced: June 3, 2024
Public Hearing: June 17, 2024
Action:

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 24-13**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION RECOMMENDING APPROVAL OF AN ORDINANCE REPEALING MSB 17.48 MOBILE HOME PARK ORDINANCE IN ITS ENTIRETY.

WHEREAS, the Matanuska-Susitna Borough has a shortage of affordable housing options for low- and middle-income individuals and families; and

WHEREAS, repealing regulations on mobile home parks could potentially increase the availability of this type of housing, making it more accessible to those in need of affordable housing; and

WHEREAS, mobile home parks are subject to duplicative regulations as they are regulated by MSB 17.73 Multifamily Development Design Standards as well as 17.48 Mobile Home Park Ordinance.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby recommends approval of Assembly Ordinance 24-053.

BE IT FURTHER RESOLVED, that the commission finds that additional restrictions for mobile home parks are still necessary

in the core area of the borough and recommends the ordinance be modified to only apply outside of the core area as defined by MSB 17.61.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this -- day of --, 2024.

C J KOAN, CHAIR

ATTEST

CORINNE LINDFORS
Planning Clerk

(SEAL)

YES:

NO:



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

MEMORANDUM

DATE: May 31, 2024

TO: Planning Commissioners

FROM: Alex Strawn, Planning and Land Use Director

SUBJECT: Tentative Future PC Items

Upcoming PC Actions

Quasi-Judicial

- Houdini's Herbs – Marijuana Retail Facility; 6298B01L002 (Staff: Peggy Horton)
- The Aardvark – Alcoholic Beverage Dispensary; 1454000L001 (Staff: Peggy Horton)
- Craft Cannabis Cabin – Marijuana Retail Facility; 1842B01L007 (Staff: Rick Benedict)
- Ficklin Gravel Products LLC – Earth Materials Extraction; 16N04W03A009 (Staff: Rick Benedict)
- Mountain Gravel Investments – Earth Materials Extraction; 18N01E35C006 (Staff: Peggy Horton)
- Meadow Lakes Holiday – Alcohol Package Store; 17N02W09A014 & 17N02W09A022 (Staff: Rick Benedict)
- Butte Land Co. – Earth Materials Extraction; 17N02E35A024 (Staff: Peggy Horton)
- New Horizons Telecom – Tall Structure; 17N03E30A012 (Staff: Rick Benedict)
- Havemeister Pit – Earth Materials Extraction; 18N01E27A002 D001 & D002 (Staff: Peggy Horton)
- Big Dipper Pit – Earth Materials Extraction; 1341000T001 & 1341000T002 (Staff: Rick Benedict)

Legislative

- Historic Preservation Plan (HPP) (Staff: Unfilled)
- MSB Borough-Wide Comprehensive Plan (Staff: Alex Strawn)
- Glacier View Comprehensive Plan Update (Staff: Leda Borys)
- Corridor Studies (Staff: Alex Strawn)
- Public Transit Plan (Staff: Alex Strawn and Maija DiSalvo)
- Amending MSB 17.59 Standardize definitions for lake management regulations (Staff: Alex Strawn)