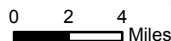
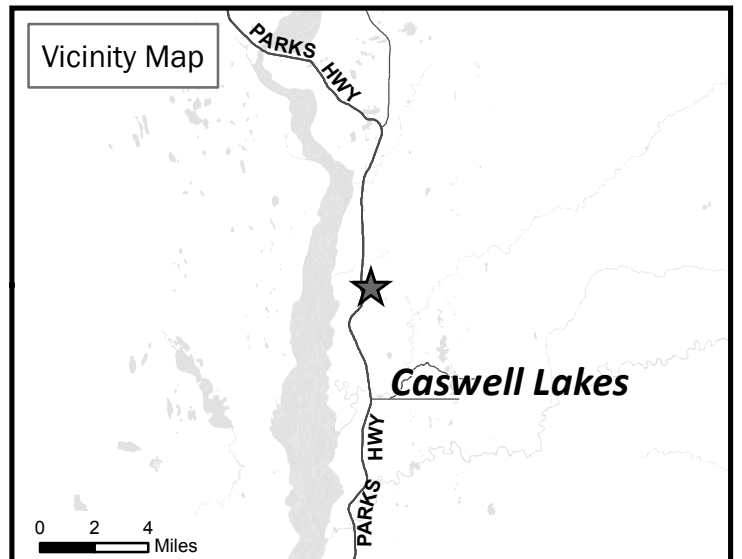


**23N04W29C006**



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# MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department  
Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645  
Phone (907) 861-7822 • Fax (907) 861-7876  
Email: [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us)

RECEIVED  
JUL 07 2016  
PERMIT CENTER

**KSH1**

## APPLICATION FOR A TALL STRUCTURE – MSB 17.67

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

- \$1,000** for **Conditional Use Permit** - > 125 feet in height
- \$ 500** for **Administrative Permit** – 85' to 125' in height
- \$ 100** for **Network Improvement Permit** – In accordance with MSB 17.67.110.

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation before the Borough Planning Commission or Planning Director decision.

**Subject Property** Township: 23N, Range: 4W, Section: 29, Meridian \_\_\_\_\_  
 MSB Tax Account # 23N04W29C006  
 SUBDIVISION: \_\_\_\_\_ BLOCK(S): \_\_\_\_\_, LOT(S): C6  
 STREET ADDRESS: 15960 E Kashwitna Road  
 (US Survey, Aliquot Part, Lat. /Long. etc) \_\_\_\_\_

**Ownership** A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached?  Yes  No  N/A

**Name of Property Owner**  
 Ramon & Ada Gutierrez  
 Address: HC 89 Box 492  
Willow, Alaska 99688-9705  
 Phne: Hm \_\_\_\_\_ Fax \_\_\_\_\_  
 Wk \_\_\_\_\_ Cell \_\_\_\_\_  
 E-mail \_\_\_\_\_

**Name of Agent/ Contact for application**  
 Sherrie Greenshields  
 Address: 901 Cope Industrial Way  
Palmer, Alaska 99645  
 Phne: Hm 907-761-6000 Fax 907-761-6001  
 Wk 907-761-6057 Cell 907-315-3201  
 E-mail Sgreenshields@nhtiusa.com

**Special Land Use District (if applicable):** \_\_\_\_\_

<b>Pre-Application Requirements for New Tall Structures that Require a Conditional Use Permit</b>	
<i>Prior to applying for a conditional use permit for a new tall structure, the applicant shall hold at least one community meeting.</i>	
1. The meeting shall be held at the nearest facility where community council meetings are regularly scheduled. If the facility is not available, the nearest available public facility that is capable of seating a minimum of 20 people shall be utilized.	
2. The meeting shall be held at least 15 calendar days after mailing of the notification.	
3. The meeting shall not start prior to 5:00 p.m. and no later than 7:00 p.m.	
4. Notification of the meeting shall, at a minimum, include the following: <ul style="list-style-type: none"> <li>• Legal description and map of the general parcel, or parcels, within the coverage area under consideration for the telecommunication facility.</li> <li>• Description of the proposed development including height, design, lighting, potential access to the site and proposed service.</li> <li>• Date, time, and location of the informational meeting.</li> <li>• Contact name, telephone number, and address of applicant.</li> <li>• Comment form created by the borough that has a comment submittal deadline and provides options for submitting comments.</li> </ul>	
5. At a minimum, the notification area for the meeting shall include the following: <ul style="list-style-type: none"> <li>• Property owners within one-half mile of the parcels under consideration for the proposed tall structure.</li> <li>• The nearest community council and any community council whose boundary is within 1200 feet of the parcels under consideration for the tall structure.</li> </ul>	
<i>A written report summarizing the results of the community meeting shall be prepared that includes the following information:</i>	<b>Attached</b>
1. Dates and locations of all meetings where citizens were invited to discuss the potential applicant's proposal.	X
2. Content, dates mailed, and numbers of mailings, including letters, meeting notices, newsletters and other publications.	X
3. Sign-in sheet(s) used at the meeting, that includes places for names, address, phone numbers and other contact information such as e-mail addresses.	X
4. A list of residents, property owners, and interested parties who have requested in writing that they keep informed of the proposed development through notices, newsletters, or other written materials.	X
5. The number of people who attended meetings.	X
6. Copies of written comments received at the meeting.	X
7. A certificate of mailing identifying all who were notified of the meeting.	X
8. A written summary that addresses the following: <ul style="list-style-type: none"> <li>• The substance of the public's written concerns, issues, and problems.</li> <li>• How the applicant has addressed, or intends to address, concerns, issues and problems expressed during the process.</li> <li>• Concerns issues, and problems the applicant has not addressed or does not intend to address and why.</li> </ul>	X

<b>General application requirements for <u>Administrative</u> and <u>Conditional Use Permits</u></b>	<b>Attached</b>
1. Design drawings for the proposed tall structure, drawn to scale, and certified by a registered engineer or architect.	X
2. Citizen participation report (if applying for a Conditional Use Permit)	x
3. Certified site plan (As defined in MSB 17.125.010)	x
4. Copy of a determination of no hazard to air navigation from the Federal Aviation Administration.	X
5. If breakpoint technology is intended to be utilized, a written statement specifying the height at which the engineered structural weakness will be located.	X

<b>In order to grant a <u>Conditional Use Permit</u> or <u>Administrative Permit</u> the Planning Commission or Planning Director must find that each of the following criteria has been met. Explain the following in detail:</b>	<b>Attached</b>
1. To the extent that is technically feasible and potentially available, the location of the tall structure is such that its negative effects on the visual and scenic resources of all surrounding properties have been minimized.	X
2. Visibility of the tall structure from public parks, trails recognized within adopted MSB plans, and waterbodies has been minimized to the extent that is technically feasible and potentially available.	X
3. The tall structure will not interfere with the approaches to any existing airport or airfield that are identified in the MSB Regional Aviation System Plan or by the Alaska State Aviation System Plan.	X
4. That granting the permit will not be harmful to the public health, safety, convenience, and welfare.	X

<b>Application requirements for a <u>Network Improvement Permit</u></b>	<b>Attached</b>
1. A description of the proposed modifications to the telecommunication tower, including a description of the height, type, and lighting of the new or modified structure and the existing structure.	
2. A certified site (as defined in MSB 17.125.010) for purposes of setback verification.	
3. Design drawings for the proposed modified or new structure, drawn to scale, and certified by a registered engineer or architect.	

<b>In order to grant a <u>Network Improvement Permit</u> the Planning Director must find that each of the following criteria has been met. Explain the following in detail.</b>	<b>Attached</b>
1. The proposed development conforms to setback requirements of MSB 17.55.	
2. The telecommunication tower being extended was lawfully constructed at the time of application for a Network Improvement Permit.	
3. The proposed modification does not violate permit conditions of any valid permits that have been issued to the existing facility, provided that the condition being violated does not limit height of the structure.	

<b>Operation Standards for New Tall Structures – Conditional Use Permit, Administrative Permit, and Network Improvement Permit</b>	<b>Attached</b>
1. The equipment compound shall meet minimum setback distances from all property lines in accordance with MSB 17.55	X
2. Setbacks shall be determined from the dimensions of the entire lot, even though the tower may be located on lease areas within the lot.	X
3. Adequate vehicle parking shall be provided on the subject property, outside of public use easements and rights-of-way to enable emergency vehicle access. No more than two spaces per provider shall be required.	X
4. Information signs for the purpose of identifying the tower such as the antenna structure registration number required by the Federal Communications Commission, as well as the party responsible for the operation and maintenance of the facility shall be visibly posted at the equipment compound.	X
5. If more than 220 volts are necessary for the operation of the facility, warning signs shall be located at the base of the facility and shall display in large, bold, high contrast letters the following: "HIGH VOLTAGE – DANGER".	X
6. A 24-hour emergency contact number shall be visibly posted at the equipment compound.	X
7. A fence or wall not less than six (6) feet in height with a secured gate shall be maintained around the base of the tower.	X

<b>Additional Standards for <u>Wind Energy Conversion Systems (WECS)</u> – In addition to the operations standards for new tall structures, the following standards shall apply to WECS</b>	<b>Attached</b>
1. WECS shall be equipped with an automatic overspeed control device designed to protect the system from sustaining structural failure such as splintered or thrown blades and the overturning or breaking of towers due to an uncontrolled condition brought on by high winds.	
2. WECS shall have a manually operable method that assures the WECS can be brought to a safe condition in high winds. Acceptable methods include mechanical or hydraulic brakes or tailvane deflection systems which turn the rotor out of the wind.	

**OWNER'S STATEMENT:** I am owner of the following property:

MSB Tax parcel ID #(s) 48461 and,  
I hereby apply for approval conditional use permit on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.67  
and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

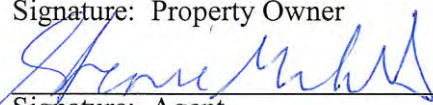
I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit and zoning status may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to the buyer when I sell the land.

I understand that changes from the approved conditional use permit may require further authorization by the Borough Planning Commission. I understand that failure to provide applicable documentation of compliance with approved requirements, or violation of such requirements will nullify legal status, and may result in penalties.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

Signature: Property Owner	Printed Name	Date
	Sherrie Greenfields	7/7/2016
Signature: Agent	Printed Name	Date

<b>MSB USE ONLY</b>
Date application submitted: _____
Date application determined complete: _____

## Susan Lee

---

**From:** Alex Strawn  
**Sent:** Monday, July 11, 2016 9:37 AM  
**To:** Susan Lee  
**Subject:** FW: KSH1 and NSL1 owner letters  
**Attachments:** KSH1 Owner authorization.pdf; NSL1 Owner Authorization.pdf

**From:** Sherrie Greenshields [<mailto:SGreenshields@nhtiusa.com>]  
**Sent:** Monday, July 11, 2016 9:00 AM  
**To:** Alex Strawn  
**Subject:** KSH1 and NSL1 owner letters

Alex,

Please see owner letters attached for KSH1 and NSL1 sites.

Sherrie

**From:** Rod Ewing [<mailto:rode@mtaonline.net>]  
**Sent:** Monday, July 11, 2016 7:03 AM  
**To:** Sherrie Greenshields <[SGreenshields@nhtiusa.com](mailto:SGreenshields@nhtiusa.com)>  
**Cc:** Julie Rowse <[jrowse@mta-telco.com](mailto:jrowse@mta-telco.com)>; [ANaylor@mta-telco.com](mailto:ANaylor@mta-telco.com)  
**Subject:** KSH1 and NSL1 owner letters

Sherrie,

Attached are copies of the signed owner authorization letters for NSL1 and KSH1 CUP applications. Alisha Naylor can assist you with the DLY1 authorization letter.

Rod

Rod Ewing  
Project Mgr  
MTA Communications, LLC  
907-354-7400  
[rode@mtaonline.net](mailto:rode@mtaonline.net)

July 8, 2016

Matanuska-Susitna Borough  
Planning and Land Use Department  
Development Services Division  
350 Ease Dahlia Avenue  
Palmer, Alaska 99645

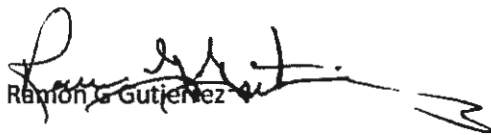
Re: Application for Tall Structure – MSB 17.67  
MTAC Site Name KSH1  
Legal – T23N R4W Section 29 Lot C6  
Address – 15960 E Kashwitna Road  
MSB Parcel ID - 48461

Dear Sir/Madam,

Please consider this letter authorization for MTA Communications and their agent New Horizons Telecom, Inc. to apply for application of a Tall Structure under MSB 17.67 for property defined above.

As the landowner, we acknowledge restrictions associated with the permit application as defined under MSB 17.67.

Respectfully,

  
Ramon J. Gutierrez

  
Ada K Gutierrez





July 14, 2016

Matanuska-Susitna Borough  
Planning and Land Use Department  
Development Services Division  
350 East Dahlia Avenue  
Palmer, AK 99645

Matanuska - Susitna Borough  
Development Services

JUL 14 2016

Received

RE: Response to MSB Review Comments - Site KSH1 Conditional Use Application  
Location 23N04W29C008

MTA Communications, LLC (MTAC) responses to Matanuska-Susitna Borough review comments received July 12, 2016 are detail below.

1. What color is the proposed tower?

**Response: The tower will be galvanized steel which is a silvery gray.**

2. Will adequate power supply be installed to accommodate the number of carriers the tower is designed for?

**Response: The site will have a 3 gang meter base installed. This will allow 3 carriers to each have a separate 200 amp electrical service for the tower.**

3. M5B Code section 17.67.090(A)(2) states "minimum setback for the tower base shall be a distance equal to the height of the tower". The setback from the tower back to the property lines must be a minimum of 185 feet. The setback distances to the north and west property lines is to the center of the tower, not the base of the tower. The site plan will need to be revised.

**Response; please see Drawing C2.0\_Rev\_2 Enlarged Site Plan and Drawing C1.0\_Rev\_2 Site Plan for the revision that reflect the 185 ft set back from property lines.**

4. Exhibit E- Propagation Maps. The propagation maps do not show a gap in coverage at 120 feet. Why does this proposed tower need to be 180 feet in height?

**Response: There are Parks Hwy coverage gaps with the 120 foot tower at KSH1. Going north 3.5 miles from the Caswell cell site there is a 1.5 mile long area of no coverage and**

MTA Communications, LLC  
1740 S. Chugach Street  
Palmer, Alaska 99645

907-745-3211  
www.mtasolutions.com

MTA Long Distance, MTA Wireless, MTA Solutions and MTA Vision are registered trade names of MTA Communications, LLC

Long Distance  
Wireless  
Business Solutions  
Internet  
Television

***fringed unreliable poor coverage. Caswell north sector is depicted in Red on the map. Going south 3 miles from the KSH1 site there is a ¼ mile stretch of no coverage fringed by poor unreliable signal. KSH1 south sector coverage is in Aqua color. The White areas depict areas without useable coverage. With the proposed KSH1 tower at 180 feet the coverage becomes acceptable.***

MTAC appreciates the timely review of the original application. Please let us know if you have any questions or comments regarding the responses provided to MSB application information request.

Respectfully,

Sherrie Greenshields  
New Horizons Telecom, Inc.  
sgreenshields@nhtiusa.com  
907-761-6057

Eric Anderson  
MTA Communications  
Director of Engineering/Construction/Operations  
eanderson@mta-telco.com  
907-761-2795

Attachments:

- Drawing C2.0 Rev\_2 Enlarged Site Plan
- C1.0 Rev\_2 Site Plan



**Matanuska-Susitna Borough**  
**Planning and Land Use Department**  
**Permitting Center**  
350 East Dahlia Ave, Palmer AK 99645

## **ACKNOWLEDGMENT OF APPLICATION**

**PERMIT # P016397**  
**TAX PARCEL ID # 223N04W29C006**

This is NOT a permit. This is an acknowledgment of your application and information on the normal sequence of events.

- 1) The proposed location of the driveway must be marked with flagging.
- 2) The Inspector will conduct a site visit (normally within 2 weeks)
- 3) The **AUTHORIZATION TO CONSTRUCT** letter will be sent, detailing what is needed to construct your driveway to Borough standards.
- 4) Upon completion of driveway, call 861-7822. Leave a message stating the P# at the top of this form and that the driveway is ready for final inspection.
- 5) The Inspector will conduct a site visit (normally within 2 weeks)
- 6) A **FINAL DRIVEWAY ACCEPTANCE LETTER** will be sent to notify you the process is complete and the driveway is acceptable to the Borough.
- 7) Please be aware that if this property is in a Special Flood Hazard Area a **Flood Plain Development Permit** is Required. Please contact the Permit Center to help determine if you are in a Designated Flood Plain Area.

Thank you for your submittal. If you have further questions please contact The Permit Center at 861-7822 or [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us).



June 30, 2016

Matanuska-Susitna Borough  
Planning and Land Use Department  
Development Services Division  
350 East Dahlia Avenue  
Palmer, AK 99645

RE: MSB 17.67 Tall Structures – Site KSH1 Conditional Use Application

MTA Communications, LLC (MTAC) is proposing construction of a 185-foot antenna structure (180 foot tower and 5 foot lightning rod) at 15960 E Kashwitna Road, Alaska on that property fully described as Township 23 N Range 4W Section 29 Lot C6.

Construction of this facility will fill a documented significant gap in cellular communications and wireless broadband to the surrounding area. The proposed facility is located on a parcel of land where towers over 125 feet in height are permitted under a conditional use permit. The proposed project is the least intrusive alternative to fill the existing gap in MTAC's coverage in the area.

The attached narrative describes the proposed tower project and responds to elements of MSB 17.67. Please accept this as a part of MTAC's permit application.

Should the Planning Commission have any questions regarding this project, please contact me at the information below.

Sincerely,

Sherrie Greenshields  
New Horizons Telecom, Inc.  
sgreenshields@nhtiusa.com  
907-761-6057

Eric Anderson  
MTA Communications  
Director of Engineering/Construction/Operations  
eanderson@mta-telco.com  
907-761-27

MTA Communications, LLC  
1740 S Chugach Street  
Palmer, Alaska 99645

907-745-3211  
www.mtasolutions.com

MTA Long Distance, MTA Wireless, MTA Solutions and MTA Vision are registered trade names of MTA Communications, LLC

Long Distance  
Wireless  
Business Solutions  
Internet  
Television

# **Conditional Use Permit Application**

Township 23N Range 4W Section 29 Lot C6

Sherrie Greenshields  
New Horizons Telecom, Inc.  
sgreenshields@nhtiusa.com  
907-761-6057

Eric Anderson  
MTA Communications  
Director of Engineering/Construction/Operations  
eanderson@mta-telco.com  
907-761-2795

## 1.0 Introduction

MTA Communications (MTAC) is an Alaskan owned and operated telecommunications company that provides telecommunication service to the citizens of Alaska.

More than two in five (45.4%) American homes no longer use traditional landline telephone service and instead choose to be wireless only.<sup>1</sup> More than 50% of all adults aged 18-44 and of children under the age of 18 are living in wireless-only households. In Alaska, 31.8% of homes choose to be wireless-only households and another 21.1% are “wireless-mostly.”<sup>2</sup> The demand for data on provider networks also continues to grow exponentially. In light of this growing reliance on wireless communications and increased data demand, additional infrastructure has become essential to providing reliable service. The demand for access to wireless communications continues to grow exponentially across both Alaska and the continental United States.

As part of MTAC’s efforts to fill network gaps, MTAC is proposing construction of 185-foot antenna structure (180 foot tower with 5 foot lighting rod) at 15960 E Kashwitna Road. The proposed construction will fill an existing significant gap in cellular and wireless broadband service coverage. The construction of communications towers is permitted pursuant to a Conditional Use Application. The proposed tower location is the least intrusive, reasonably available and technically feasible location for the proposed tower construction.

The below sections present a description of radio frequency science, applicable federal law governing telecommunications, and the decision logic used to meet Matanuska-Susitna Borough Planning Department requirements set forth in standards MSB 17.67.

## 1.1 Radio Frequency Description and Evolution

Wireless networks are a complex mesh of radio frequencies that have an exclusive license to operate by the Federal Communication Commission (FCC). This mesh of licensed frequencies allows cellular communications to be delivered at a wide variety of scales. The scale that can be covered by the frequencies is directly proportional to the type of spectrum being used and distance between each set of antennas delivering the signals.

Radio Frequency (RF) is a frequency or band of frequencies in the range  $10^4$  to  $10^{11}$  or  $10^{12}$  Hz at which radio waves are transmitted, and they’re suitable for use in telecommunications. Hertz (Hz) is the unit of RF and it refers to the number of cycles per second. Wavelength is the distance between successive crest of a wave, peaks of the electromagnetic waves. The relationship between RF and Wavelength is as follows:  $\text{Wavelength} = C/\text{Frequency}$  where C is the speed of light ( $3 \times 10^8$  m/s). Radio Frequencies are allocated and regulated by the FCC and are a part of the electromagnetic spectrum.

The FCC has established safety guidelines for Human Exposure to Radiofrequency Electromagnetic Fields that broadcaster/wireless carriers must adhere to.

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<sup>1</sup> “Wireless Substitution: Early Release of Estimates from the National Health Interview Survey, July-December 2014,” U.S. DHHS, CDC National Center for Health Statistics.

<sup>2</sup> CDC Wireless Substitution: State-level Estimates from the National Health Interview Survey (December 2014)

A cellular network is a radio network distributed over land through cells where each cell includes a fixed location transceiver known as base station. Multiple cells together provide radio coverage over larger geographical areas.

Mobile communication operators use radio spectrum to provide mobile calling and data services. In order to keep up with a demand that is exponentially growing, the technology continues to evolve. Some Factors that affect wireless network performance

- Physical Obstructions – Wireless signals have difficulty penetrating solid objects such as hills, buildings, foliage, etc. The more obstructions there are between the transmitter and receiver the higher the chances of a poor signal level.
- Network Range and Distance between Devices – The way wireless signal propagates and with obstructions on the way, the further apart the devices are, the weaker the signal becomes. The signal strength decreases, roughly in an inverse cubic relation with respect to the distance between two devices (4Gon Solutions). For example, if the distance between two devices doubles, the signal becomes at least eight times weaker.
- Network Usage and Load – If the number of active users in the network increases due to a special event or something of that nature, the resources required to support them may not be available. This results in reducing network performance by decreased data speeds or reduced accessibility.

## 1.2 Telecommunications Act of 1996

The Telecommunications Act of 1996 was enacted to encourage the rapid deployment of new telecommunications technologies, while also preserving state and local control over zoning matters. *T-Mobile Northeast LLC v. City of Lawrence*, 755 F.Supp.2d 286, 290 (D. Mass. 2010) (internal citations omitted). The Act generally preserves state and local authority over the placement and construction of telecommunication tower facilities. The Act places several limitations on local control. Specifically, the Act dictates that:

- (1) A local government cannot unreasonably discriminate among providers of functionally equivalent services; and
- (2) A local government cannot prohibit or effectively prohibit the provision of personal wireless services; and
- (3) A local government cannot deny or limit an application for the construction of a wireless tower on the basis of the health or environmental effects of radio frequency emissions, as long as the proposed tower complies with FCC requirements for emissions; and
- (4) Any local government decision to deny a request to construct personal wireless facilities must be in writing and supported by substantial evidence.

Since the Act's adoption, federal courts have assessed the application of these limitations and concluded that "a significant gap in service (and thus an effective prohibition of service) exists whenever a provider is prevented from filling a significant gap in *its own* service coverage." *MetroPCS, Inc. v. City & Cnty. of San Francisco*, 400 F.3d 715, 733 (9th Cir. 2005). Essentially, the Act precludes a municipality from restricting the construction of new infrastructure required by a provider to fill a gap in its network, even if coverage is available from other providers in the area. The fact that coverage is provided by another carrier in the area cannot be relied upon by a local land use commission to deny a permit application for a new tower.

Any decision by a local planning or zoning authority denying a land use permit required to construct a personal wireless services facility must be in writing and supported by substantial evidence. Where a provider has demonstrated a significant gap in its service coverage and proposed the least intrusive means to fill this gap, the burden of proof shifts to the zoning board to demonstrate that the record contains substantial evidence in support of its decision. When a provider has made a prima facie showing that a proposed tower is the least intrusive means of filling a significant gap in service, even if a zoning board's denial is supported by substantial evidence the Commission must also specifically show that there are some potentially available and technologically feasible alternatives for construction. *T-Mobile USA v. City of Anacortes*, 572 F.3d 987, 998 (9th Cir. 2009). The provider must then have an opportunity to dispute the availability and feasibility of the alternatives favored by the locality. *Id.*

## **2.0 Existing Significant Gap in MTAC Coverage**

The area of Mat-Su Borough in the vicinity of the proposed cell site is currently underserved by MTAC for both voice and data coverage, which results in a significant gap in coverage for the MTAC system.

Detailed Propagation maps are included under Exhibit E (Propagation Maps). Three heights for the tower were considered, 120 feet, 150 feet and 185 feet (180-foot tower with 5foot lightning rod. However, both the 120 and 150 foot elevations do not result in full coverage of the significant gaps.

### **2.1 Site Selection Process**

To fill the significant gaps in MTAC's service, MTAC's engineers used computer modeling to determine an idealized design point for tower construction and a surrounding search radius containing properties which, dependent upon topography and other surface interference, could serve as a build location. A potential tower location within the search ring would be ideal to fill the existing significant gap in MTAC's coverage.

MTAC's preference is to co-locate on existing towers wherever possible. There were no existing towers or buildings co-location sites in the general vicinity.

### **2.2 Tower and Site Design**

Through strategic choices in site design and tower height the proposed construction is designed to fill the significant gap in MTAC's coverage in the least intrusive manner possible. The proposed site is located on a parcel of land which is undeveloped. Surrounding area is comprised of undeveloped lots and homes.

A detailed site plan for the tower construction is included with this application as Exhibit A. The drawings are certified by a licensed professional engineer demonstrating soundness and conformity with all applicable codes, as well as State and federal law. The tower complex will be surrounded by a six-foot chain link fence. The tower site will be accessed using a new driveway.

The tower structure is a lattice tower. Site placement allows existing trees to screen the site from adjacent properties.



## **2.3 Tower Height**

The tower is designed to be the minimum height necessary to assure that the significant gap in MTAC's service coverage can be filled.

The propagation maps are included in Exhibit E (Propagation Maps) depict the proposed tower at heights of 120 feet, 150 feet and 185 feet (180-foot tower with 5-foot lighting rod).

It is MTAC's policy to construct all wireless infrastructures to an engineering standard that allows multiple carriers to locate equipment on the structure. The proposed tower is designed and engineered to accommodate two additional sets of antennas, of equal or lesser specification to MTAC's proposed equipment, yielding the ability to co-locate two additional carriers on the structure. With the inclusion of the MTAC's antennas, the structure allows for a total of three carriers on the tower.

## **2.4 Tower Illumination**

MTAC prefers not to illuminate towers. Illumination is typically only installed when instructed by the FAA for the health and safety of aviators or when otherwise required by federal and state agencies, though there are instances where MTAC has voluntarily lit a piece of infrastructure at the request of the local community. The tower is not required to be illuminated. The FAA has determined that no marking or lighting is required for this tower location (FAA Determination of No Hazard). Documentation is attached to this application as Exhibit B. The document can also be searched and downloaded from the FAA's website using Aeronautical Study Number 2016-AAL-433-OE. MTAC will not install aviator illumination, or any other type of illumination, on this tower.

The Susitna Community Council has requested the tower be lighted due to concerns with local aviation. Therefore, the tower be illuminated.

## **3.0 Application Criteria Matanuska-Susitna Borough 17.67**

As set forth above, MTAC's proposed tower requires a Conditional Use Permit Matanuska-Susitna Borough 17.67. The project will protect the public health, safety, and welfare, will not injure the lawful use with existing neighboring uses.

### **17.67.050 PRE-APPLICATION REQUIREMENTS FOR NEW TALL STRUCTURES THAT REQUIRE A CONDITIONAL USE PERMIT.**

- (A) Prior to applying for a conditional use permit for a new tall structure, the potential applicant shall hold at least one community meeting:
  - (1) The meeting shall be held at the nearest facility where community council meetings are regularly scheduled. If the facility is not available, the nearest

available public facility that is capable of seating a minimum of 20 people shall be utilized;

(2) The meeting shall be held at least 15 calendar days after mailing of the notification;

(3) The meeting shall not start prior to 5 p.m. and no later than 7 p.m.;

(4) Notification of the meeting shall, at a minimum, include the following:

(a) Legal description and map of the general parcel, or parcels, within the coverage area under consideration for the telecommunication facility;

(b) Description of the proposed development including height, design, lighting, potential access to the site, and proposed service;

(c) Date, time, and location of informational meeting;

(d) Contact name, telephone number, and address of applicant; and

(e) Comment form created by the borough that has a comment submittal deadline and provides options for submitting comments.

(5) At a minimum, the notification area for the meeting shall include the following:

(a) Property owners within one-half mile of the parcels under consideration for the proposed tall structure; and

(b) The nearest community council and any community council whose boundary is within 1,200 feet of the parcels under consideration for the tall structure.

(B) A written report summarizing the results of the community meeting shall be prepared that includes the following information:

(2) Dates and locations of all meetings where citizens were invited to discuss the potential applicant's proposal;

(3) Content, dates mailed, and numbers of mailings, including letters, meeting notices, newsletters, and other publications;

(4) Sign-in sheet(s) used at the meeting that includes places for names, addresses, phone numbers, and other contact information such as email addresses;

- (5) A list of residents, property owners, and interested parties who have requested in writing that they be kept informed of the proposed development through notices, newsletters, or other written materials;
- (6) The number of people who attended meetings;
- (7) Copies of written comments received at the meeting;
- (8) A certificate of mailing identifying all who were notified of the meeting; and
- (9) a written summary that addresses the following:
  - (a) The substance of the public's written concerns, issues, and problems;
  - (b) How the applicant has addressed, or intends to address, concerns, issues, and problems expressed during the process; and
  - (c) Concerns, issues, and problems the applicant has not addressed or does not intend to address and why.

***MTAC Response – Please refer to attached Exhibit F (Notification Letter, Mailing List, Meeting Sign-In, and Meeting Summary) and Exhibit G (Summary Page & Written Comments).***

#### **17.67.070 GENERAL APPLICATION REQUIREMENTS FOR ADMINISTRATIVE AND CONDITIONAL USE PERMITS.**

(A) An application for a conditional use or administrative permit to construct a new tall structure may be initiated by a property owner or the owner's authorized agent and shall include:

- (1) Completed application form provided by the department and signed by the property owner or authorized agent;

***MTAC Response – Please find application form attached to this narrative.***

- (2) Design drawings for the proposed tall structure, drawn to scale, and certified by a registered engineer or architect;

***MTAC Response – Please refer to Exhibit A (Site Document and Design Documents).***

- (3) Fee in the amount designated in MSB 17.99;

***MTAC Response – Fee amount will be paid***

- (4) Citizen participation report in accordance with MSB 17.67.050(B);

***MTAC Response – Please refer to attached Exhibit F (Notification Letter, Mailing List, Meeting Sign-In, and Meeting Summary) and Exhibit G (Summary Page & Written Comments).***

- (5) a certified site plan,

***MTAC Response – Please refer to Exhibit A (Site Document and Design Documents)***

- (6) Copy of a determination of no hazard to air navigation from the Federal Aviation Administration; and

***MTAC Response – Please refer to Exhibit B (FAA Determination).***

- (7) If breakpoint technology is intended to be utilized, a written statement specifying the height at which the engineered structural weakness will be located.

***MTAC Response – breakpoint technology not applicable to this tower application.***

#### **17.67.080 STANDARDS FOR APPROVAL OF NEW TALL STRUCTURES.**

(A) A permit for a new tall structure may only be approved if it meets the requirements of this section in addition to any other applicable standards required by this chapter.

(B) In granting or denying a permit, the commission or director shall make findings on whether the applicant has demonstrated that:

- (1) To the extent that is technically feasible and potentially available, the location of the tall structure is such that its negative effects on the visual and scenic resources of all surrounding properties have been minimized;

***MTAC Response – the site is situated within a lot surrounded by existing trees. The access road is “dog-legged” in so the site is not visible from direct line of view from access road. The residences surrounding the lot have trees that will help screen the tower from view.***

- (2) Visibility of the tall structure from public parks, trails recognized within adopted

borough plans, and water bodies has been minimized to the extent that is technically feasible and potentially available;

***MTAC Response – the site is situated within a lot surrounded by existing trees. The access road is “dog-legged” in so the site is not visible from direct line of view from access road. The residences surrounding the lot have trees that will help screen the tower from view.***

(3) The tall structure will not interfere with the approaches to any existing airport or airfield that are identified in the borough’s regional aviation system plan or by the Alaska State Aviation System Plan; and

***MTAC Response – Please refer to Appendix B (FAA Determination). The site does not interfere with existing airports or airfields.***

(4) Granting the permit will not be harmful to the public health, safety, convenience, and welfare.

***MTAC Response – the proposed site will not be harmful to the public health, safety, convenience and welfare.***

#### **17.67.090 OPERATION STANDARDS FOR NEW TALL STRUCTURES.**

(A) The following setback requirements shall apply to all new telecommunications towers regulated under this chapter:

(1) The equipment compound shall meet minimum setback distances from all property lines in accordance with MSB 17.55.

***MTAC Response – The proposed site conforms to MSB 17.55.***

(2) Minimum setback for the tower base shall be a distance equal to the height of the tower.

***MTAC Response – The proposed tower setback is a distance equal to the height of the tower.***

(a) The commission, or director if it is an administrative permit, may reduce the setback to a distance less than the height of the tower, if the applicant demonstrates there is no risk to public health, safety, or welfare of adjacent property owners.

- (3) Setbacks shall be determined from the dimensions of the entire lot, even though the tower may be located on lease areas within the lot.

***MTAC Response – The proposed tower setback is a distance equal to the height of the tower.***

- (B) For all tall structures regulated under this chapter, adequate vehicle parking shall be provided on the subject property, outside of public use easements and rights-of-way, to enable emergency vehicle access.

***MTAC Response – Refer to Exhibit A (Site Document and Design Documents). The site has adequate vehicle parking on subject property to enable emergency vehicle access.***

- (1) No more than two spaces per provider shall be required.

- (C) The following requirements apply to all new and existing telecommunication towers and wind energy conversion systems regulated under this chapter:

- (1) The following signage shall be visibly posted at the equipment compound:

- (a) Informational signs for the purpose of identifying the tower such as the antenna structure registration number required by the Federal Communications Commission, as well as the party responsible for the operation and maintenance of the facility;

***MTAC Response – MTAC will comply with signage requirements.***

- (b) If more than 220 volts are necessary for the operation of the facility, warning signs shall be located at the base of the facility and shall display in large, bold, high contrast letters the following: "HIGH VOLTAGE – DANGER"; and

***MTAC Response – MTAC proposed service will be 240 volts. MTAW will comply with signage requirements.***

- (c) A 24-hour emergency contact number.

***MTAC Response – a 24 hour contact number will be referenced on signage.***

- (2) A fence or wall not less than six feet in height with a secured gate shall be maintained around the base of the tower.

***MTAC Response – Please refer to Appendix A (Site Document and Design Documents)***

## 4.0 Conclusion

MTAC's Matanuska-Borough network includes a significant gap in coverage in the proposed site vicinity as depicted in attached propagation studies in Exhibit E. After a search of available sites which could meet the technical requirements necessary to fill this coverage gaps, MTAC has identified 15960 E Kashwitna Road, Alaska on that property fully described as Township 23 N Range 4W Section 29 Lot C6. as the location which will allow for construction meeting network requirements. As described in detail in this application, this tower location is the least intrusive and most appropriate option to meet the significant gap in MTAC's coverage, which can only be met through placement of a new tower. Finally, MTAC's proposed tower will affirmatively protect the public health, safety, and welfare by providing cellular and wireless broadband services to a currently underserved area, impacting both area households and residents and transient customers seeking to access this technology from roadways and public spaces in the area. We believe we have exceeded the burden of proof outlined in MSB 17.67. for the requested Conditional Use Permit. Therefore, MTAC respectfully requests that the Matanuska-Susitna Planning Commission grant the Conditional Use Permit.

## **5.0 Exhibits**

Exhibit A: Site Document and Design Documents

Exhibit B: FAA Determination

Exhibit C: Balloon Flight

Exhibit D: Redacted Lease

Exhibit E: Propagation Maps

Exhibit F: Notification Letter, Mailing List, Meeting Sign In, and Meeting Summary

Exhibit G: Summary Page and Written Public Comments



# Exhibit A

Site Document & Design  
Documents



LOT 15

SPORTSMEN ACRES  
LOT 14, BLK 3  
RECORDED PLAT No.79-433, PALMER

S. SUSITNA ST

LOT 7, BLK 4

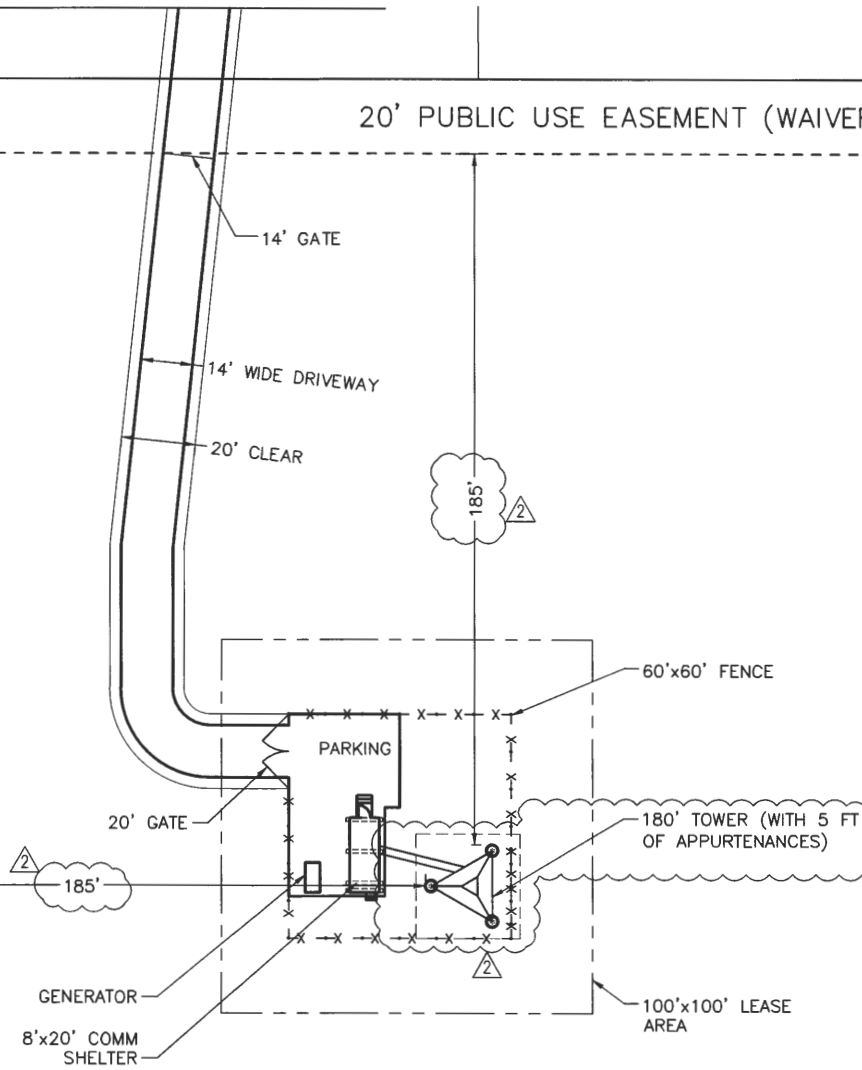
40' E. KASHWITNA RD. EDGE GRAVEL RD.

20' PUBLIC USE EASEMENT (WAIVER 2006-201-PWm)

PROPERTY LINE

LOT 2

OVERGROWN  
CLEARING



LOT 3

NOTES:

1. THIS SITE PLAN DEVELOPED FROM MTA DESIGN SURVEY "PROPOSED WIRELESS TOWER KSH1" DATED 4-7-2016.

Matanuska - Susitna Borough  
Development Services

JUL 14 2016

Received

2	MOVED TOWER	160714
1	MOVED SHELTER & GRADE BEAM LAYOUT	160622
0	ISSUED FOR CONSTRUCTION	160616
REV.	DESCRIPTION	DATE

NEW HORIZONS TELECOM, INC.

MTA  
KSH1 LTE SITE  
SITE  
PLAN

DWN: JAA CKD. DRB APP. DRB

JOB #: 16-0067-20 DATE: 160616

C1.0

REV 2

1 SITE PLAN  
C1.0 SCALE: 1" = 50'

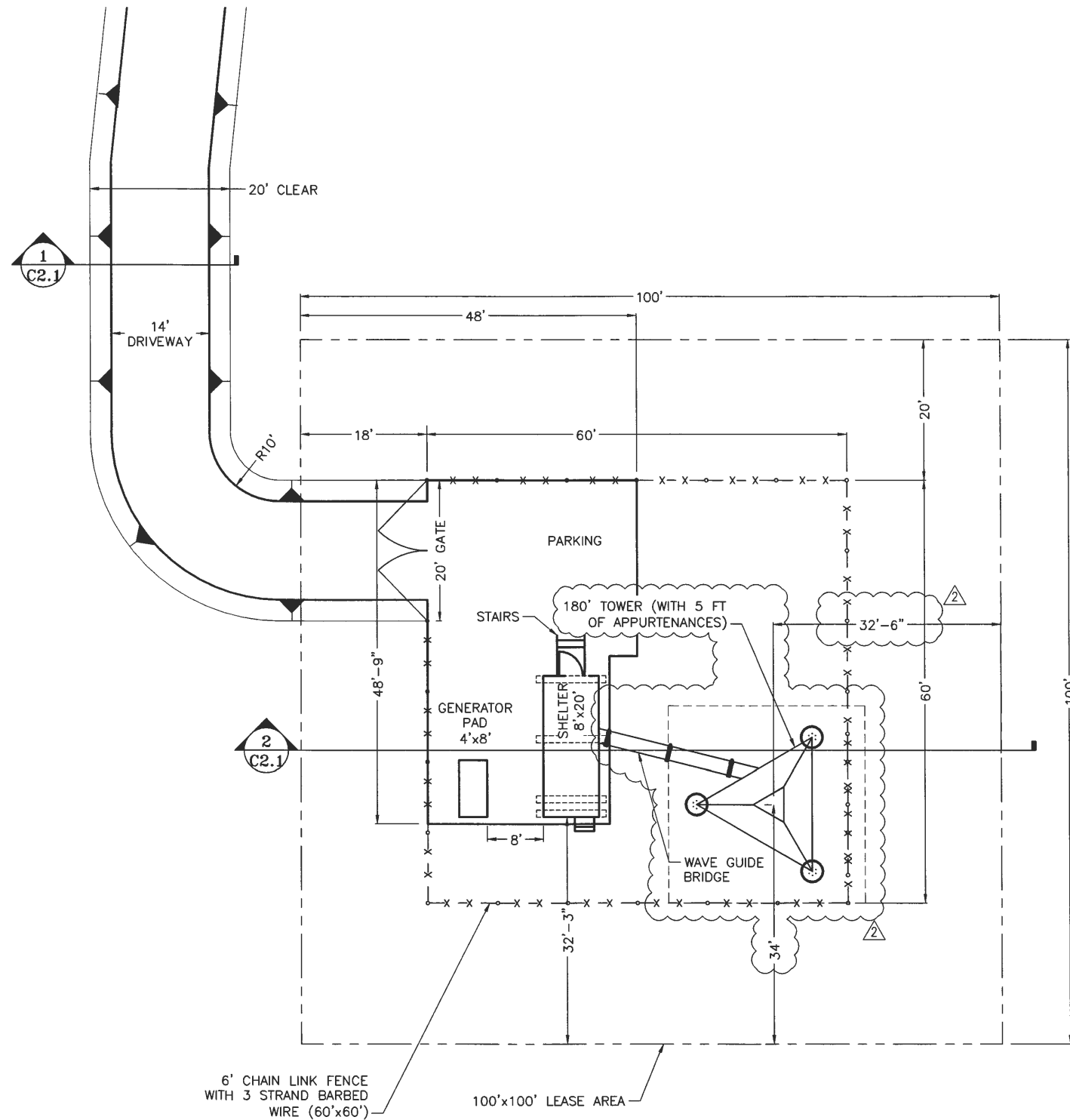


FILE: X:\16 JOBS\16-0067-20 MTA\AC KSH1 LTE SITE DSGN\05-CADD\DRAWINGS\C1.0 SITE PLAN.DWG | PLOT DATE: 160714 | PLOT SCALE: 1:1

Matanuska - Susitna Borough  
Development Services

JUL 14 2016

Received



6' CHAIN LINK FENCE  
WITH 3 STRAND BARBED  
WIRE (60'x60')

100'x100' LEASE AREA

**1**  
C2.0 ENLARGED SITE PLAN  
SCALE: 1" = 20'



2	MOVED TOWER	160714
1	MOVED SHELTER & GRADE BEAM LAYOUT	160622
0	ISSUED FOR CONSTRUCTION	160616
REV.	DESCRIPTION	DATE

**NEW HORIZONS TELECOM, INC.**

MTA  
KSH1 LTE SITE  
ENLARGED  
SITE PLAN

DWN: JAA CKD. DRB APP. DRB

JOB #: 16-0067-20 DATE: 160616

C2.0

REV  
2

FILE: X:\16 JOBS\16-0067-20 MTA\KSH1 LTE SITE DSGN\05-CADD\DRAWINGS\C2.0 ENLARGED SITE PLAN.DWG | PLOT DATE: 160714 | PLOT SCALE: 1:1



# KSH1 LTE SITE

## PROJECT INFORMATION

PROJECT LOCATION: 15960 E KASHWTNA RD  
NHTI PROJECT NUMBER: 16-0067-20

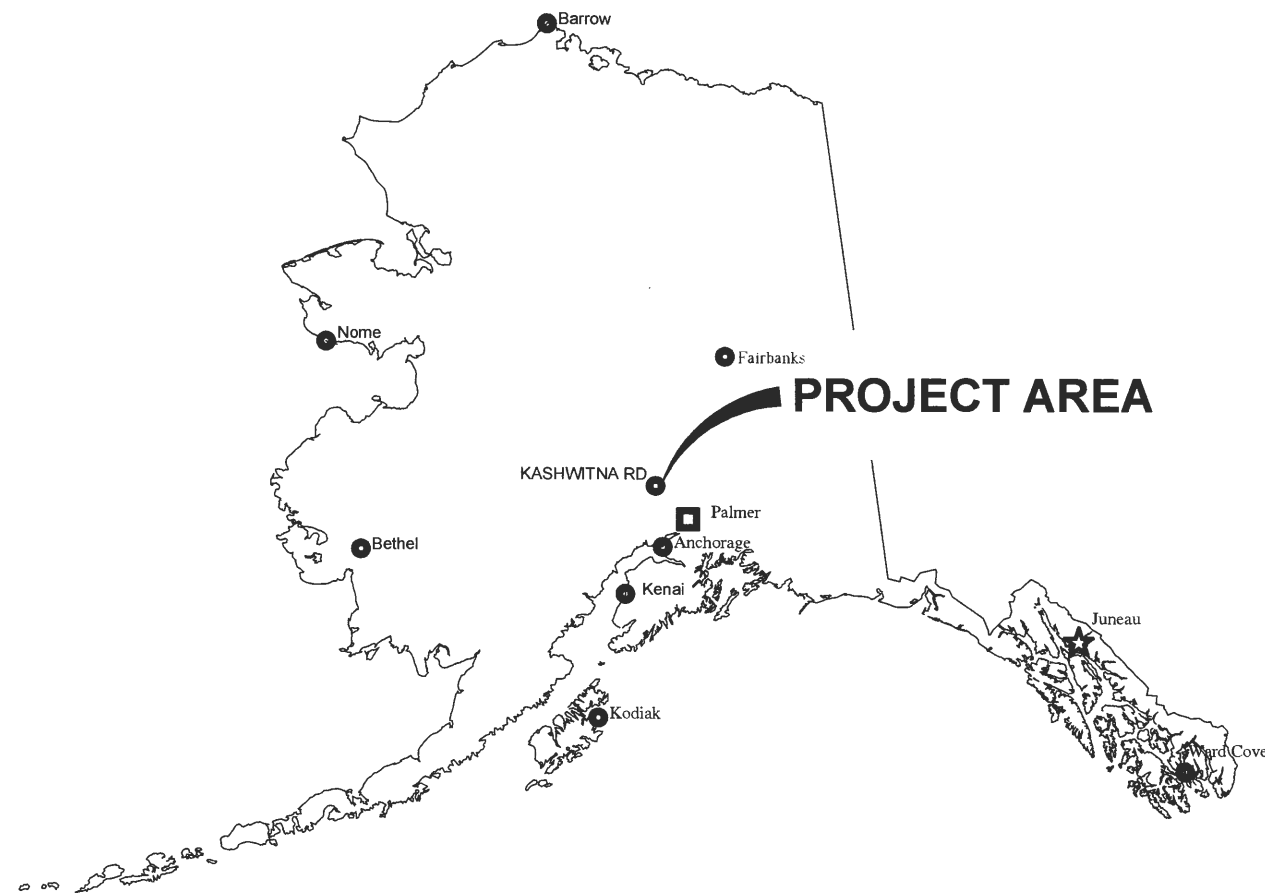
## CONTACT INFORMATION

CIVIL ENGINEER  
DALE R. BROWNING, PE, SE  
NHTI - (907) 761-6069  
901 COPE INDUSTRIAL WAY  
PALMER, ALASKA 99645

## Sheet List Table

SHEET #	TITLE
T1.0	COVER SHEET
C1.0	SITE PLAN
C1.1	SITE ELEVATION
C2.0	ENLARGED SITE PLAN
C2.1	ROAD AND PAD SECTIONS
S1.0	TOWER FOUNDATION PLAN
S1.1	TOWER FOUNDATION SECTION
S1.2	GRADE BEAM LAYOUT AND DETAILS

REV #
1
1
1
1
1
0
0
0
1

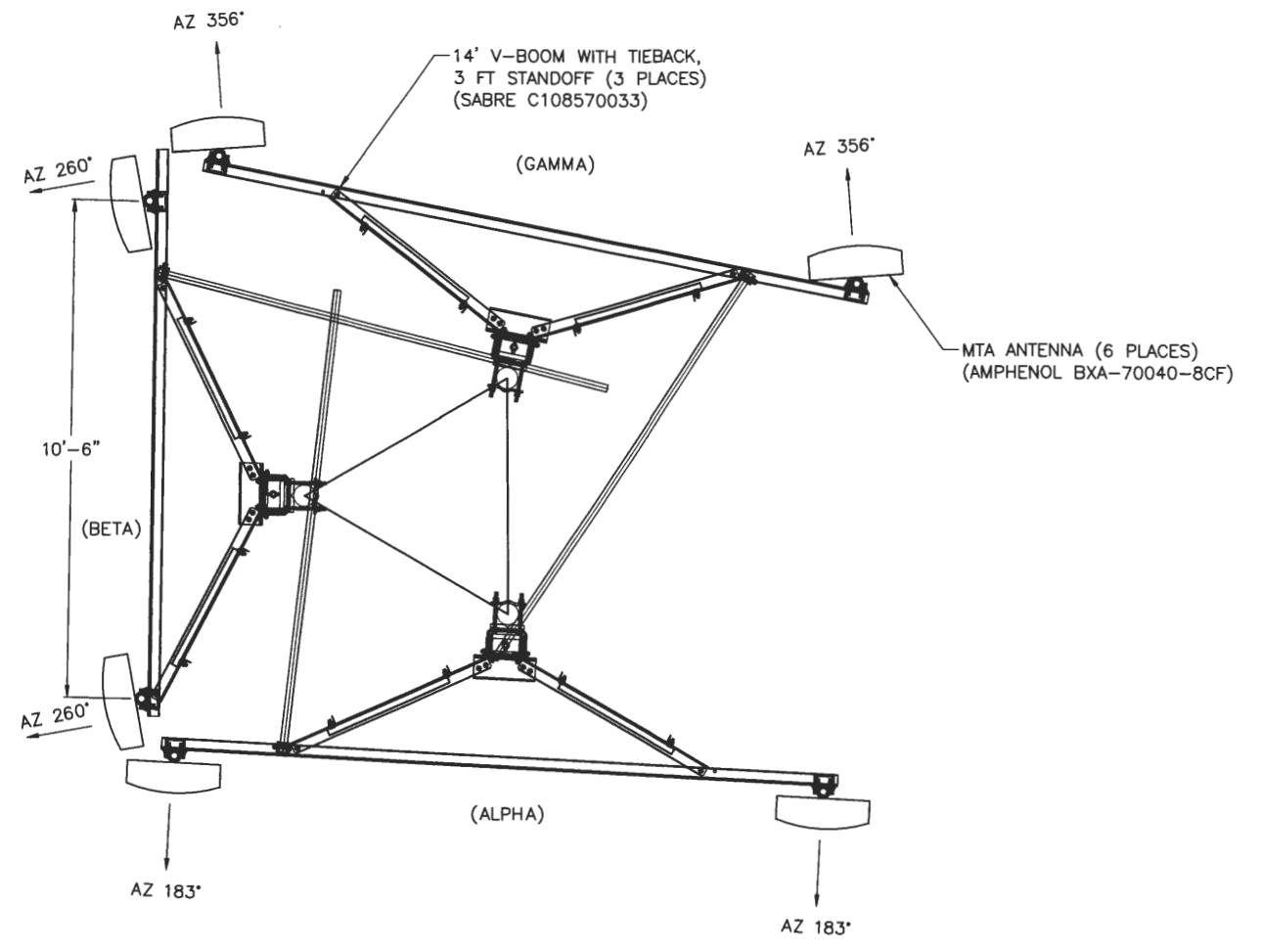
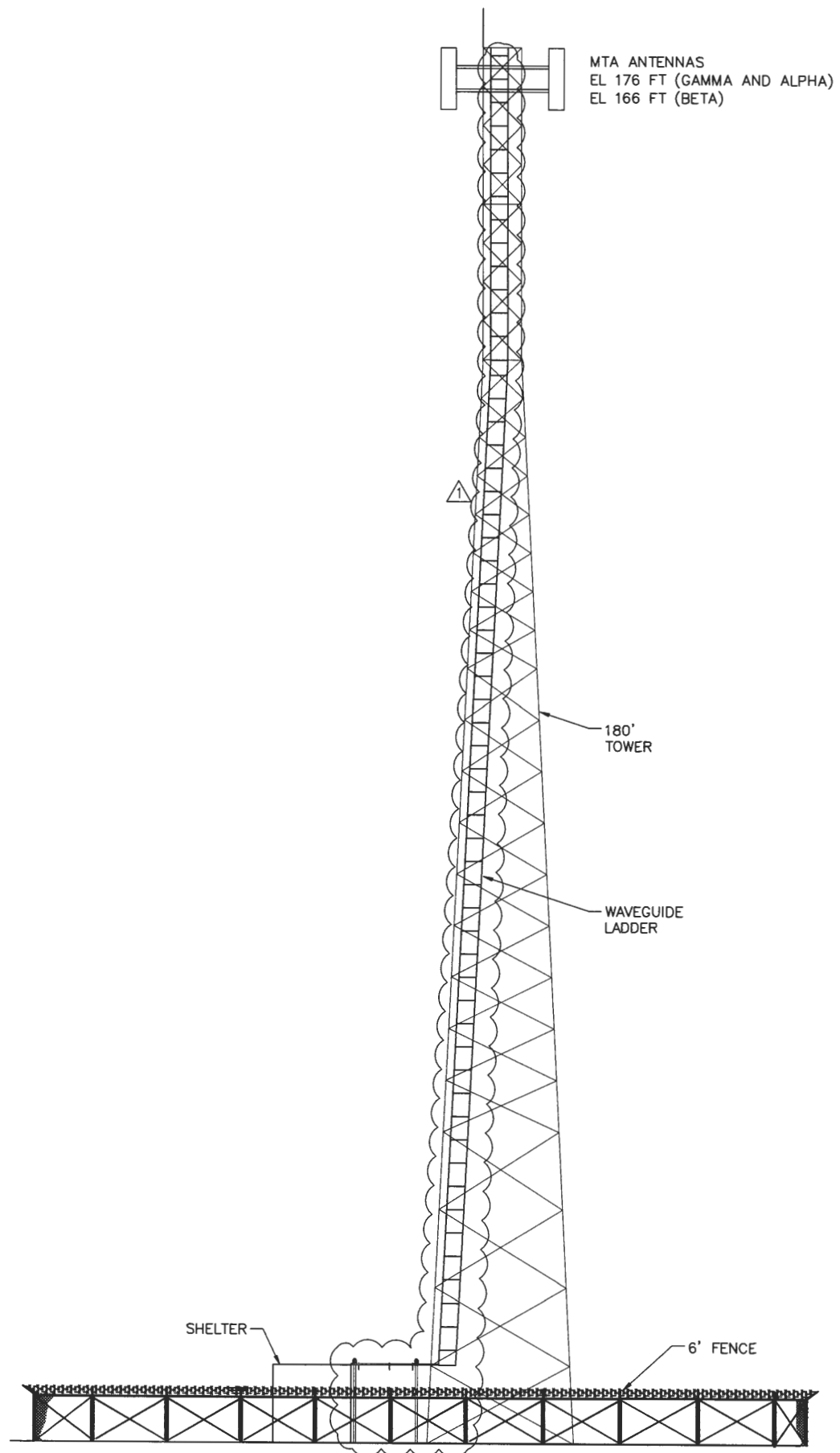


1	CHANGED GRADE BEAM LAYOUT	160622
0	ISSUED FOR CONSTRUCTION	160616
REV.	DESCRIPTION	DATE



MTA  
KSH1 LTE SITE  
COVER SHEET  
T1.0

FILE: X:\16 JOBS\16-0067-20 MTAC KSH1 LTE SITE DSGN05-CADD\DRAWINGS\T1.0 COVER SHEET.DWG | PLOT DATE: 160623 | PLOT SCALE: 1:1



**2** MTA ANTENNA LAYOUT  
 C1.1 SCALE: 1/4" = 1'-0"

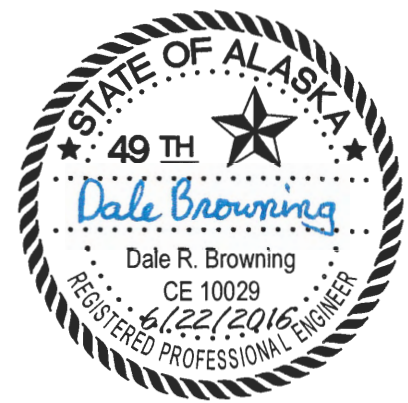
**1** SITE ELEVATION  
 C1.1 SCALE: 1"=20'

1	MOVED WAVEGUIDE LADDER	160622
0	ISSUED FOR CONSTRUCTION	160616
REV.	DESCRIPTION	DATE



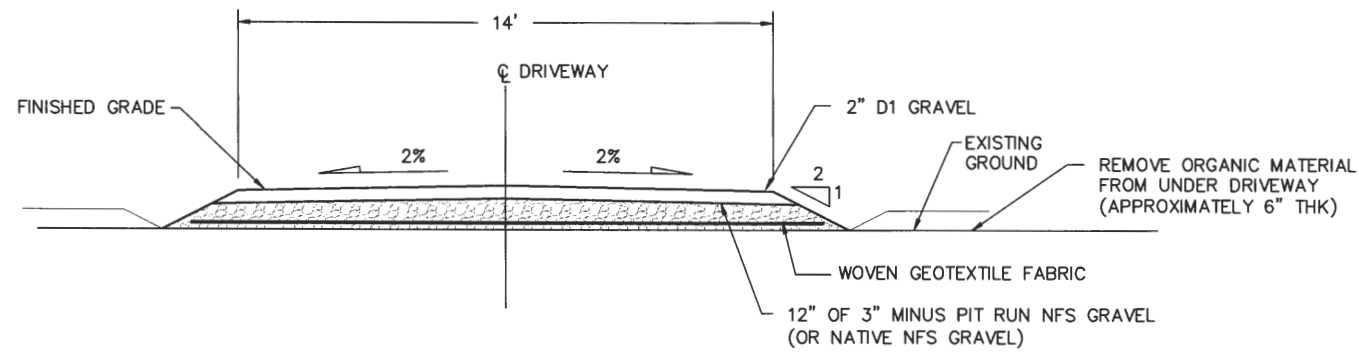
MTA  
 KSH1 LTE SITE  
 SITE  
 ELEVATION

DWN: JAA	CKD. DRB	APP. DRB
JOB #: 16-0067-20	DATE: 160616	

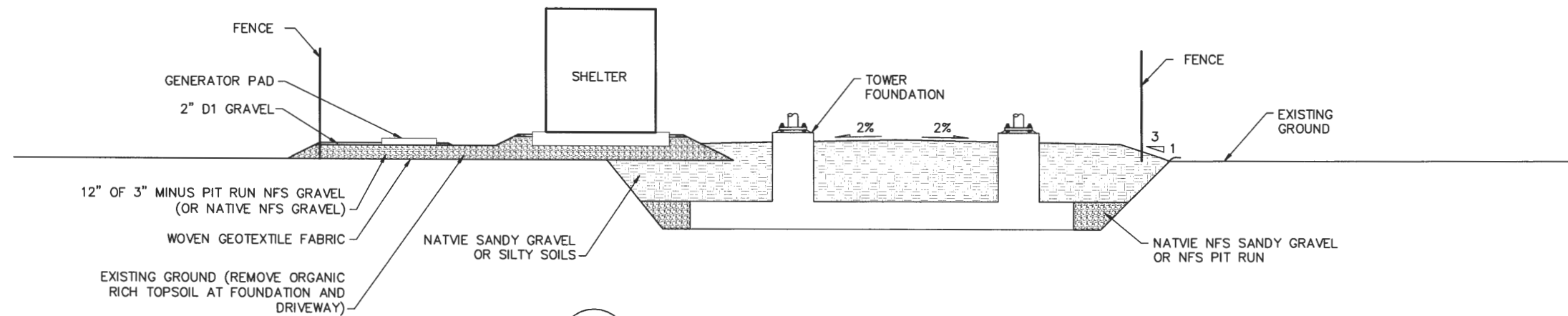


C1.1	REV 1
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FILE: X:\16 JOBS\16-0067-20 MTAC KSH1 LTE SITE DSGN\05-CADD\DRAWINGS\C1.1 SITE ELEVATION.DWG | PLOT DATE: 160623 | PLOT SCALE: 1:1



**1** DRIVEWAY SECTION (TYP) (PARKING SIMILAR)  
**C2.1** SCALE: 1"=20'



**2** PAD SECTION  
**C2.1** SCALE: 1"=10'



REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	160616

**NEW HORIZONS TELECOM, INC.**

MTA  
 KSH1 LTE SITE  
 ROAD AND PAD  
 SECTIONS

DWN: JAA    CKD: DRB    APP: DRB

JOB #: 16-0067-20    DATE: 160616

C2.1	REV 0
------	-------

FILE: X:\16 JOBS\16-0067-20 MTA\KSH1 LTE SITE DSGN\05-CADD\DRAWINGS\C2.1 ROAD AND PAD SECTIONS.DWG | PLOT DATE: 160616 | PLOT SCALE: 1:1



**DESIGN CRITERIA:**

**TOWER BASE REACTIONS (SABRE #141609)**

AXIAL LOAD: 78.52 KIPS  
 TOTAL SHEAR: 55.46 KIPS  
 O.T. MOMENT: 5,567.04 FT-KIPS  
 UPLIFT PER LEG: 309.0 KIPS  
 COMP PER LEG: 342.0 KIPS  
 SHEAR PER LEG: 32.49 KIPS

ALLOWABLE SOIL BEARING: 4000 psf (SANDY GRAVEL)  
 DESIGN WIND SPEED: 100 MPH (3 SEC. GUST) PER TIA-222-G

EXPOSURE: C,  
 TOPO CATEGORY: 1  
 STRUCTURE CLASS: II  
 IMPORTANCE FACTOR: 1.0  
 RADIAL ICE: 1/2 IN

**NOTES:**

**EARTHWORK:**

1. REMOVE ALL ORGANIC MATTER AND DELETERIOUS MATERIALS FROM UNDER FOOTINGS AND DRIVEWAY. EXCAVATE 5FT BELOW EXISTING GRADE FOR TOWER FOUNDATION.
2. ALL COMPACTED FILL TO BE COMPACTED TO 90% TO 95% MAXIMUM LABORATORY DENSITY IN 12 INCH LIFTS.
3. COMPACTED FILL AND OR EXCAVATION IS REQUIRED TO ALLOW DRAINAGE SO THAT NO STANDING WATER WILL ACCUMULATE ON THE SITE AS A RESULT OF THIS WORK.
4. ALL EXCAVATIONS SHALL BE SHORED OR SLOPED OR OTHERWISE SUPPORTED TO PROTECT PERSONNEL IN ACCORDANCE WITH OSHA, 29 CFR 1926, SUBPART P.

**CONCRETE:**

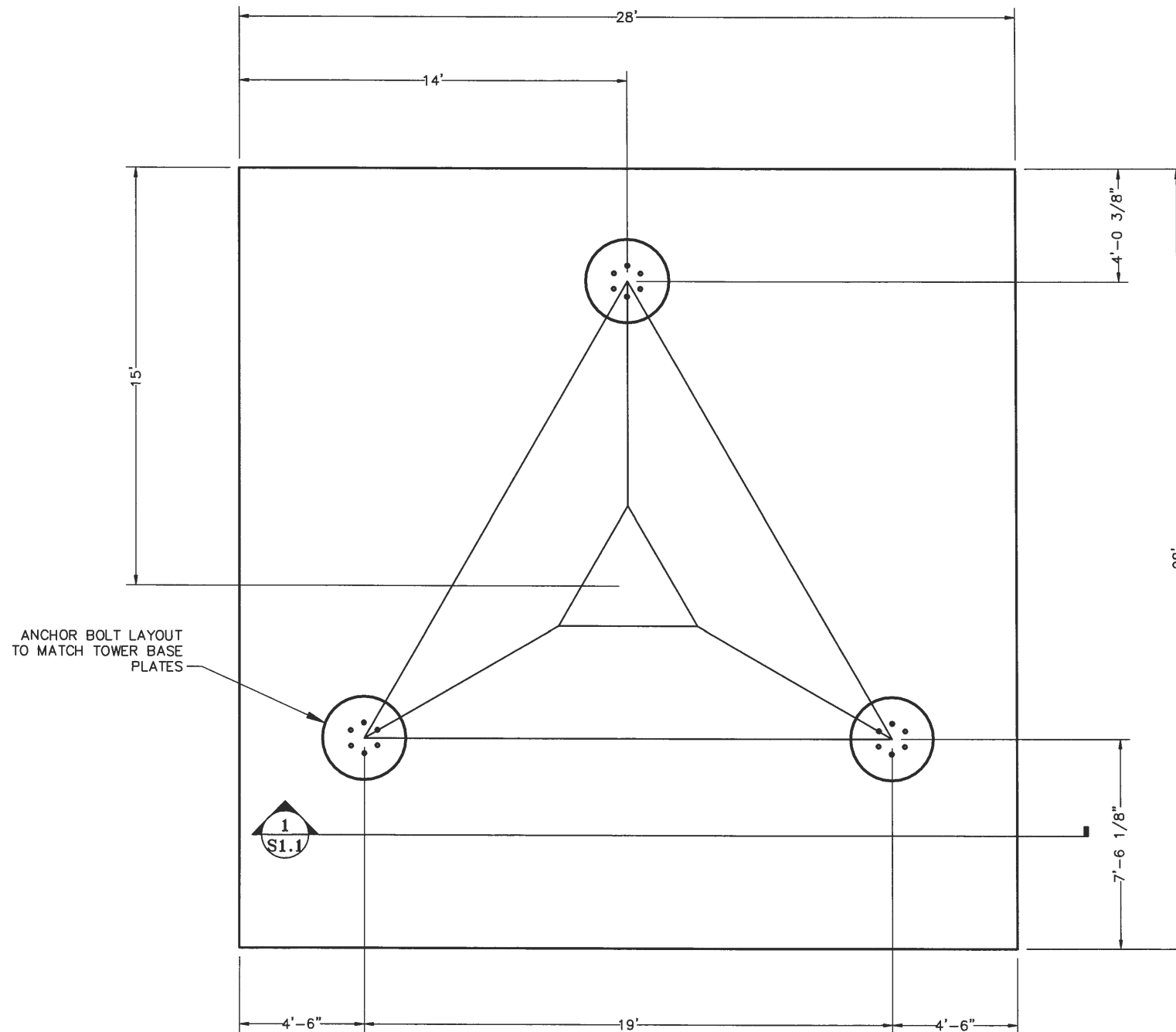
1. CONCRETE SHALL OBTAIN A 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI (F'c = 4,500 PSI). THE MIX SHALL CONTAIN A MINIMUM OF 6 SACKS CEMENT PER CUBIC YARD OF CONCRETE.
2. CEMENT SHALL CONFORM TO ASTM C150 TYPE I OR II.
3. AGGREGATE SHALL CONFORM TO ASTM C33. MAXIMUM AGGREGATE SIZE SHALL BE 3/4 INCH.
4. SLUMP SHALL BE BETWEEN 3 - 5 INCHES.
5. ADMIXTURE SHALL BE PROVIDED AS REQUIRED TO PROVIDE 5% - 8% AIR ENTRAINMENT WITH A MAXIMUM WATER/CEMENT RATIO OF 0.45.
6. CONCRETE SHALL BE KEPT FROM FREEZING FOR THE FIRST SEVEN DAYS AFTER PLACING. SURFACES TO RECEIVE CONCRETE SHALL BE NOT LESS THAN 40° F. THE TEMPERATURE OF THE CONCRETE WHEN PLACED SHALL NOT BE LESS THAN 50° F OR GREATER THAN 80° F.

**REINFORCING STEEL:**

1. ALL REINFORCING BARS SHALL BE DEFORMED AND CONFORM TO ASTM A615, GRADE 60.
2. ALL BOTTOM MAT REINFORCING BARS SHALL BE ACCURATELY PLACED AND SUPPORTED BY GALVANIZED METAL CHAIRS OR CONCRETE BLOCKS (WOODEN STAKES SHALL NOT BE USED).
3. SUPPORT TOP MAT OF REBAR WITH #4 BENT REBAR SPACERS (STANDIES) AT 4' O.C.
4. MINIMUM CONCRETE COVER FOR REBAR WHERE CONCRETE IS PLACED IN DIRECT CONTACT WITH SOIL IS 3 INCHES CLEAR, FOR ALL OTHER FORMED SURFACES IS 2 INCHES.
5. ALL REBAR SPLICES SHALL BE LAPPED 40 BAR DIAMETERS MIN.

**STRUCTURAL STEEL:**

1. STRUCTURAL STEEL INCLUDING PLATES, ANGLES AND MISCELLANEOUS SHAPES SHALL BE ASTM A36.



ANCHOR BOLT LAYOUT TO MATCH TOWER BASE PLATES

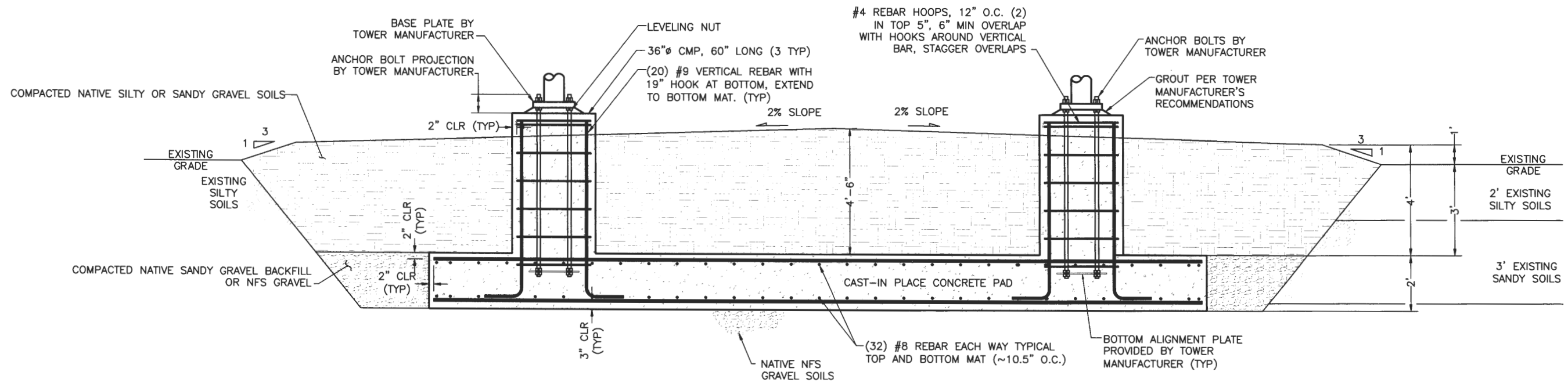
1  
S1.1

1 TOWER FOUNDATION PLAN VIEW  
 S1.0 SCALE: 3/16" = 1'-0"



0	ISSUED FOR CONSTRUCTION	160616
REV.	DESCRIPTION	DATE
MTA KSH1 LTE SITE <b>TOWER FOUNDATION PLAN</b>		
DWN: JAA	CKD. DRB	APP. DRB
JOB #: 16-0067-20	DATE: 160616	
S1.0		REV 0

FILE: X:\16 JOBS\16-0067-20 MTA\KSH1 LTE SITE DSGN\5-CADD\DRAWINGS\1.0 TOWER FOUNDATION.DWG | PLOT DATE: 160616 | PLOT SCALE: 1:1



**1**  
**S1.1** TOWER FOUNDATION SECTION  
 SCALE: NTS

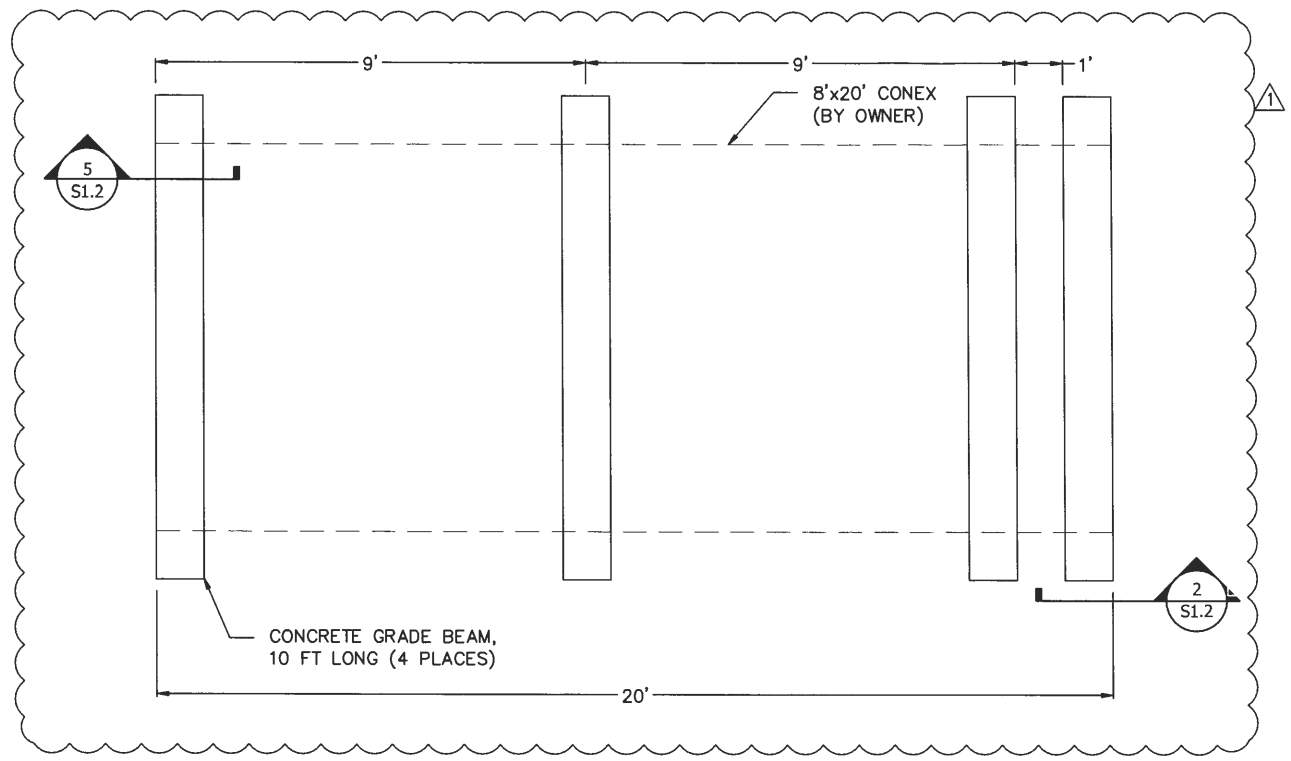
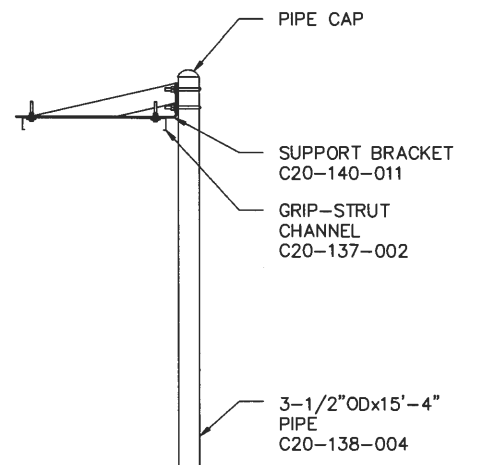
**NOTES:**

1. ON SITE TEST HOLE FOUND APPROXIMATELY 6" OF ORGANIC RICH TOPSOIL. THEN 1.5-2 FT OF SILTY SOILS. THEN 3 FT OF SANDY SOILS. THEN A LAYER OF NFS GRAVEL APPROXIMATELY 1-2 FT THICK. THEN SANDY GRAVEL.
2. BOTTOM OF TOWER FOUNDATION TO BE PLACED ON TOP OF OR APPROXIMATELY 6" INTO GRAVEL LAYER.
3. IF EXCAVATION FOR TOWER FOUNDATION REVEALS DIFFERENT SOIL CONDITIONS. CONTACT ENGINEER OF RECORD FOR DIRECTION. DO NOT PLACE TOWER FOUNDATION ON MATERIAL OTHER THAN NATIVE NFS GRAVEL.
4. PROOF ROLL BOTTOM OF EXCAVATION TO ENSURE THERE ARE NO SOFT SPOTS. CONTACT ENGINEER OF RECORD FOR DIFFERING CONDITIONS.

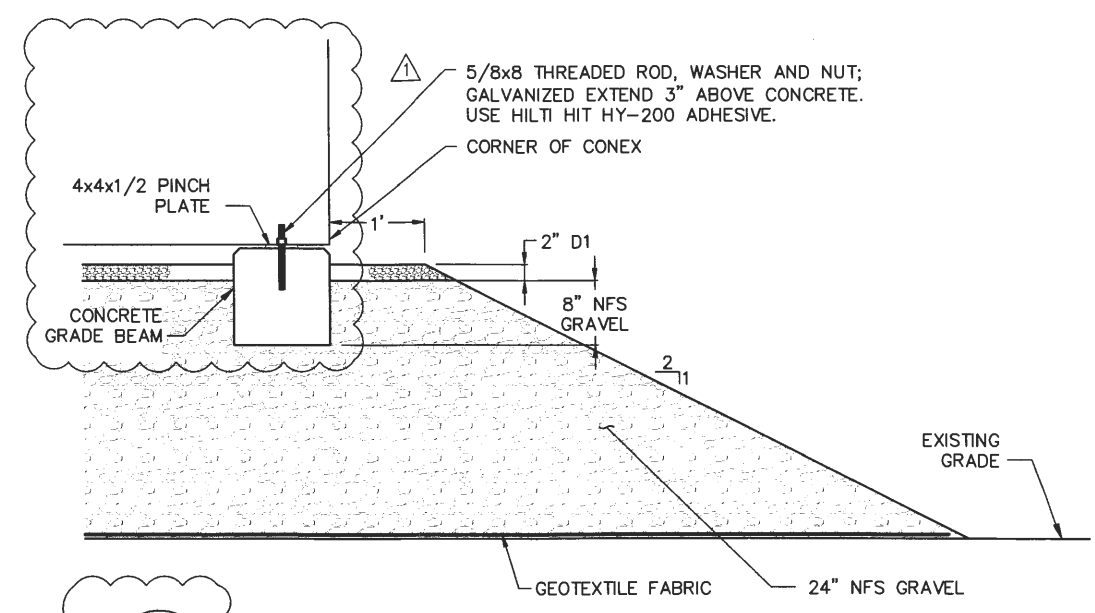


0	ISSUED FOR CONSTRUCTION	160616
REV.	DESCRIPTION	DATE
MTA KSH1 LTE SITE <b>TOWER          FOUNDATION SECTION</b>		
DWN: JAA	CKD. DRB	APP. DRB
JOB #: 16-0067-20		DATE: 160616
S1.1		REV 0

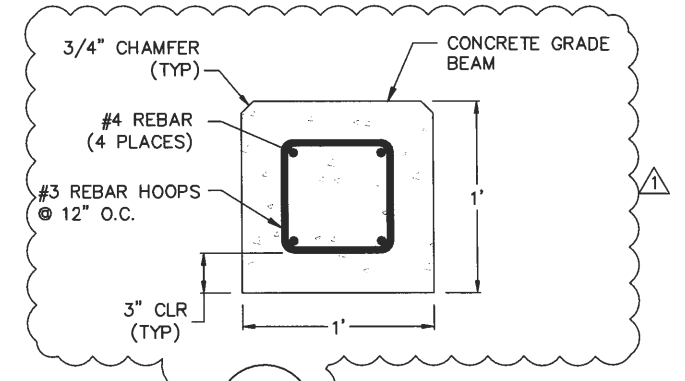




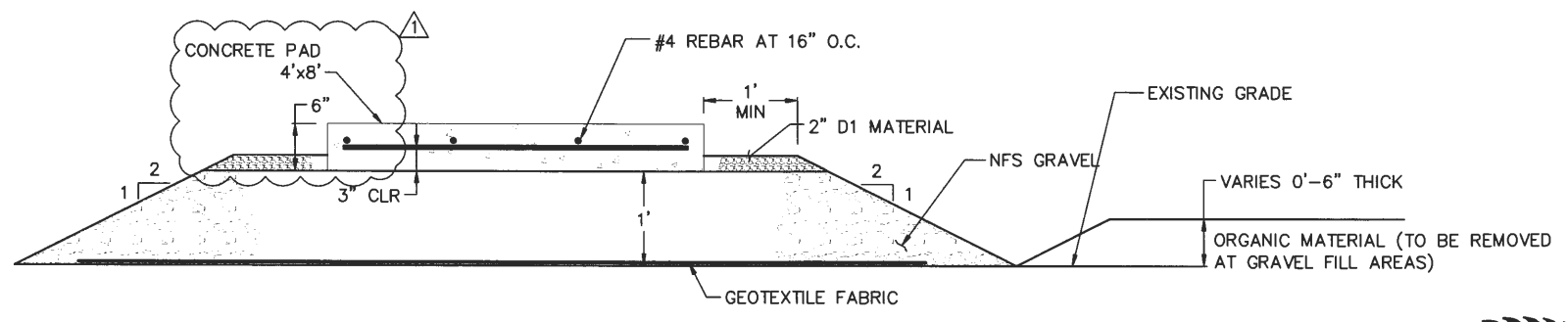
**1**  
S1.2 **GRADE BEAM LAYOUT**  
SCALE: 1/4" = 1'-0"



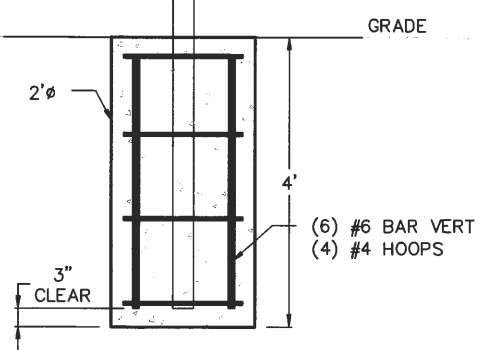
**2**  
S1.2 **GRADE BEAM CONNECTION DETAIL**  
SCALE: 1/2" = 1'-0"



**5**  
S1.2 **CROSS SECTION**  
SCALE: 1" = 1'-0"



**4**  
S1.2 **GENERATOR PAD SECTION**  
SCALE: 1/2" = 1'-0"



**3**  
S1.2 **POST AND FOOTING DETAIL**  
SCALE: 3/8" = 1'-0"



1	GRADE BEAM LAYOUT AND DETAILS	160622
0	ISSUED FOR CONSTRUCTION	160616
REV.	DESCRIPTION	DATE



MTA  
KSH1 LTE SITE  
**GRADE BEAM  
LAYOUT AND DETAILS**

DWN: JAA	CKD: DRB	APP: DRB
JOB #: 16-0067-20	DATE: 160616	

<b>S1.2</b>	REV <b>1</b>
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FILE: X:\16 JOBS\16-0067-20 MTA\KSH1 LTE SITE DSGN\05-CADD\DRAWINGS\S1.2 GRADE BEAM LAYOUT AND DETAILS.DWG | PLOT DATE: 160623 | PLOT SCALE: 1:1

# Exhibit B

FAA Determination



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2016-AAL-433-OE

Issued Date: 05/31/2016

Rod Ewing  
 MTA Communications, Inc.  
 1740 S Chugach St  
 Palmer, AK 99645

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower KSH1  
 Location: Talkeetna, AK  
 Latitude: 62-03-00.71N NAD 83  
 Longitude: 150-03-05.00W  
 Heights: 289 feet site elevation (SE)  
 185 feet above ground level (AGL)  
 474 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

This determination expires on 12/01/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination does not constitute authority to transmit on the frequency(ies) identified in this study. The proponent is required to obtain a formal frequency transmit license from the Federal Communications Commission (FCC) or National Telecommunications and Information Administration (NTIA), prior to on-air operations of these frequency(ies).

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (800) 478-3576 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (907) 271-5863. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2016-AAL-433-OE.

**Signature Control No: 292692329-293954974**

( DNE )

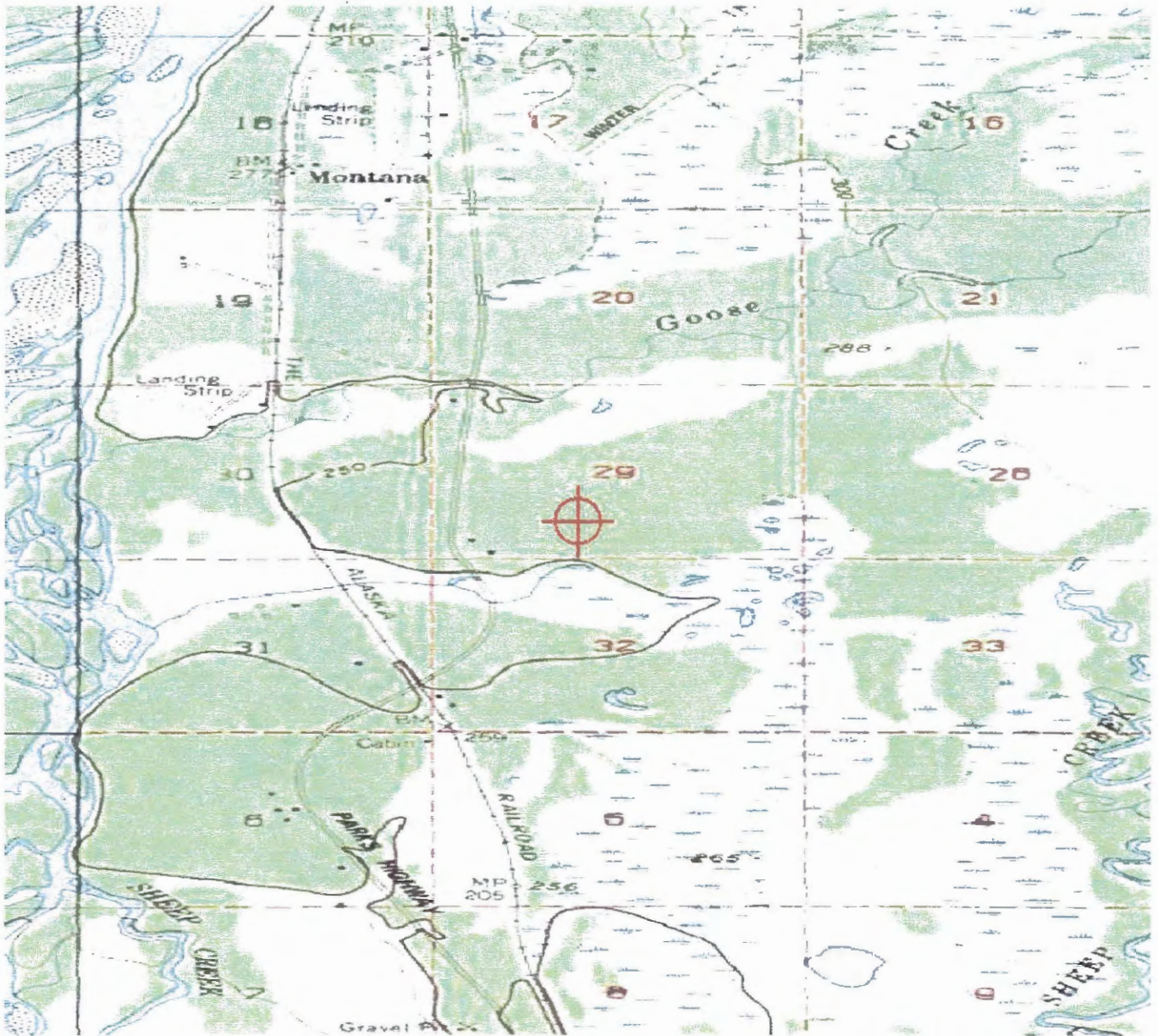
Robert van Haastert  
Specialist

Attachment(s)  
Frequency Data  
Map(s)

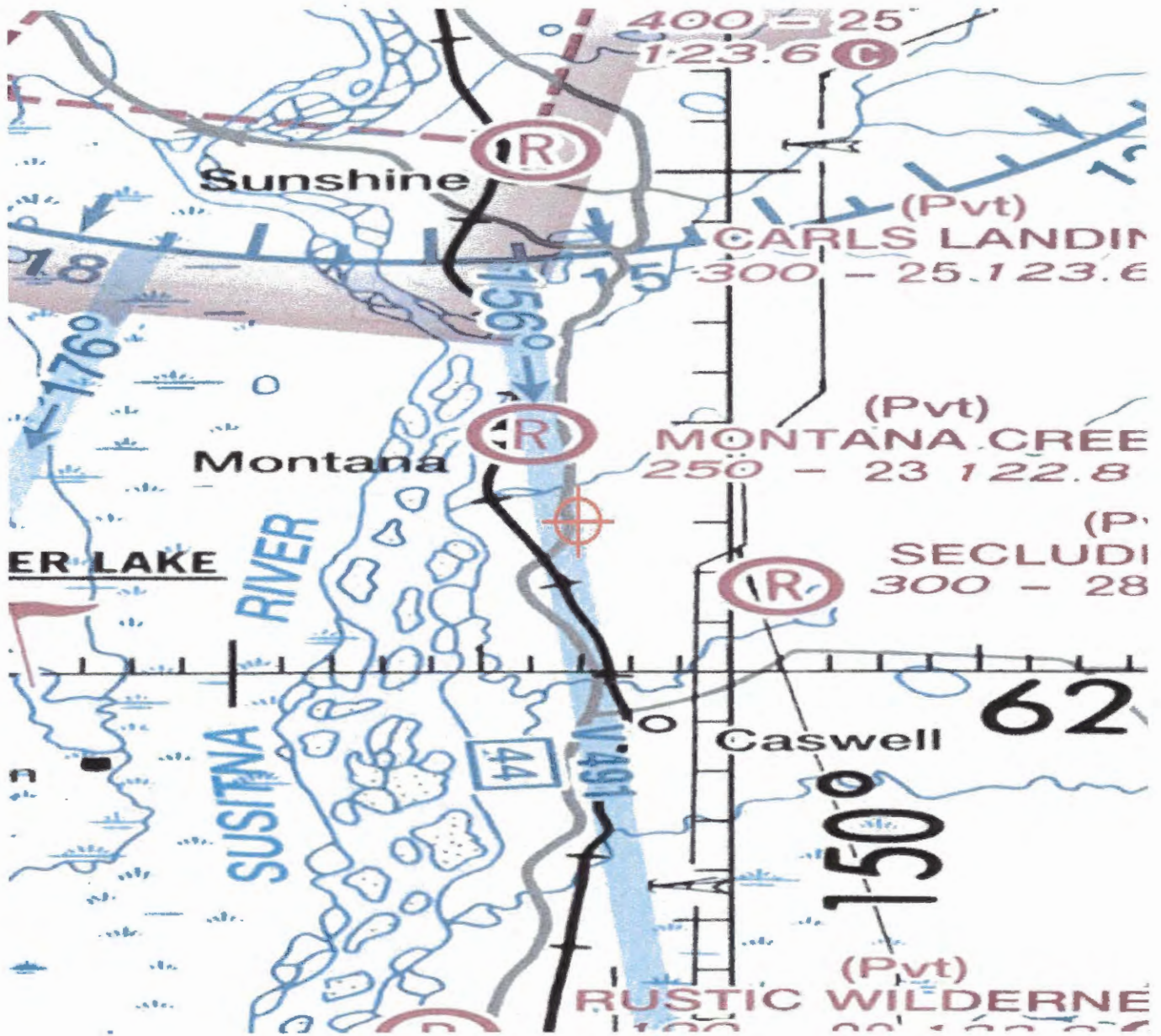
cc: FCC

Frequency Data for ASN 2016-AAL-433-0E

<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
698	806	MHz	1000	W







# Exhibit C

Balloon Flight



# **KSH1**

Talkeetna, AK

Ballon Test

May 13, 2016



Area overview with 500 ft, 1000 ft, 1500 ft and 2000 ft radius circles depicted.

Photograph numbers are referenced in relation to the plan view.



1



2





3



4































# Exhibit D

Redacted Lease

## LAND USE AGREEMENT

**THIS LAND USE AGREEMENT** (the "**Agreement**") is made and entered into as of the 6<sup>th</sup> day of April, 2016 ("**Effective Date**"), between **Ramon and Ada Gutierrez ("Grantor")**, whose address is HC 89 Box 492, Willow, Alaska 99688-9705, and **MTA Communications, LLC ("MTA")**, with an office at 1740 South Chugach Street, Palmer, Alaska 99645. Hereinafter, Grantor and MTA may be individually referred to as "**Party**", or collectively referred to as "**Parties**".

**WHEREAS**, Grantor owns or controls a certain plot, parcel or tract of land, a portion of which MTA desires to lease subject to terms of this Agreement; and

**WHEREAS**, Grantor wishes to lease such property to MTA for the uses herein permitted for reasonable compensation.

**NOW, THEREFORE**, in consideration of the mutual covenants and conditions contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

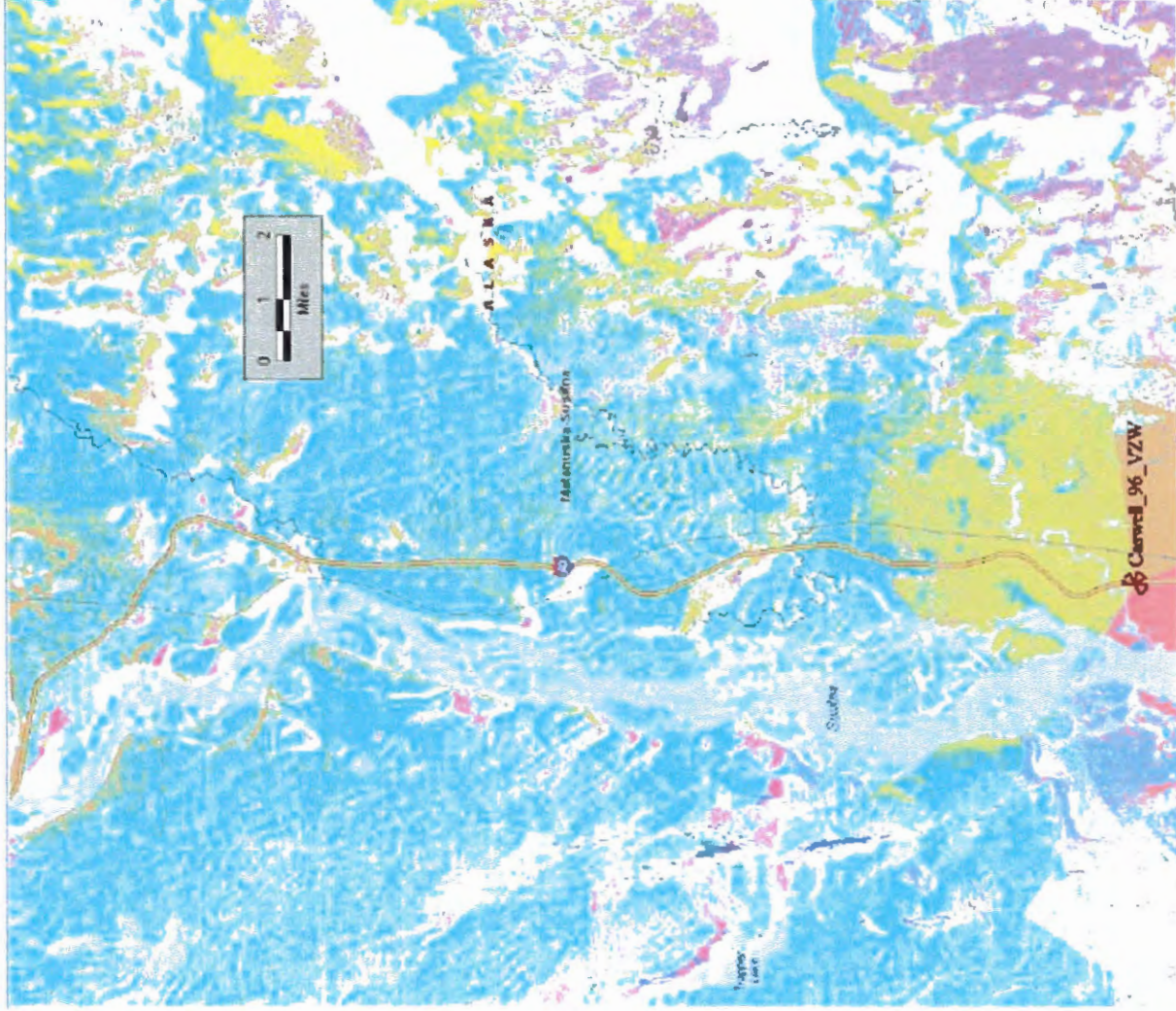
**1. GRANT OF EASEMENTS.** Grantor hereby conveys to MTA an easement to the following parcel of real property owned or controlled by Grantor: An approximate one hundred foot (100') by one hundred foot (100') area for the site along with a twenty foot (20') by one hundred ninety foot (190') access drive (entering from Kashwitna Road) (the "**Leased Property**") situated within Section 29, Township 23N, Range 4W, Lot C006, Seward Meridian, Palmer Recording District, State of Alaska (the "**Parent Parcel**"). The Leased Property is more particularly described in the attached Site Plan attached hereto as Exhibit A and made a part of this Agreement. Upon installation of MTA's facilities, systems, equipment and improvements to the Leased Property, MTA will, at its expense, complete an as-built survey of the Leased Property. Such survey, once completed, shall replace and supersede the Site Plan in Exhibit A. MTA shall further be granted rights of ingress and egress to the Leased Property, an easement to enter upon the lands of Grantor and to construct, reconstruct, lay, maintain, operate, alter, repair, remove, and replace aerial or buried telecommunications and/or electrification cables, lines, poles, or systems and appurtenances thereto, and make changes and additions thereto, to cut and trim trees and shrubbery that may interfere with or threaten or endanger the operation and maintenance of said cables, lines, poles, tower, property leased around tower, access drive or systems, under, upon, over, and through lands which Grantor owns or in which Grantor has an interest and/or in, upon, or under all private or underlying interest streets, roads or highways abutting said lands. Except for the Leased Property to which MTA shall be permitted exclusive use thereof, Grantor may fully use and enjoy said lands provided that Grantor shall not construct or permit to be constructed any structures or obstructions on, under, or over that will interfere with the construction, maintenance or operation of any telecommunications and/or electrification cables/lines or systems, or appurtenances constructed hereunder. MTA,



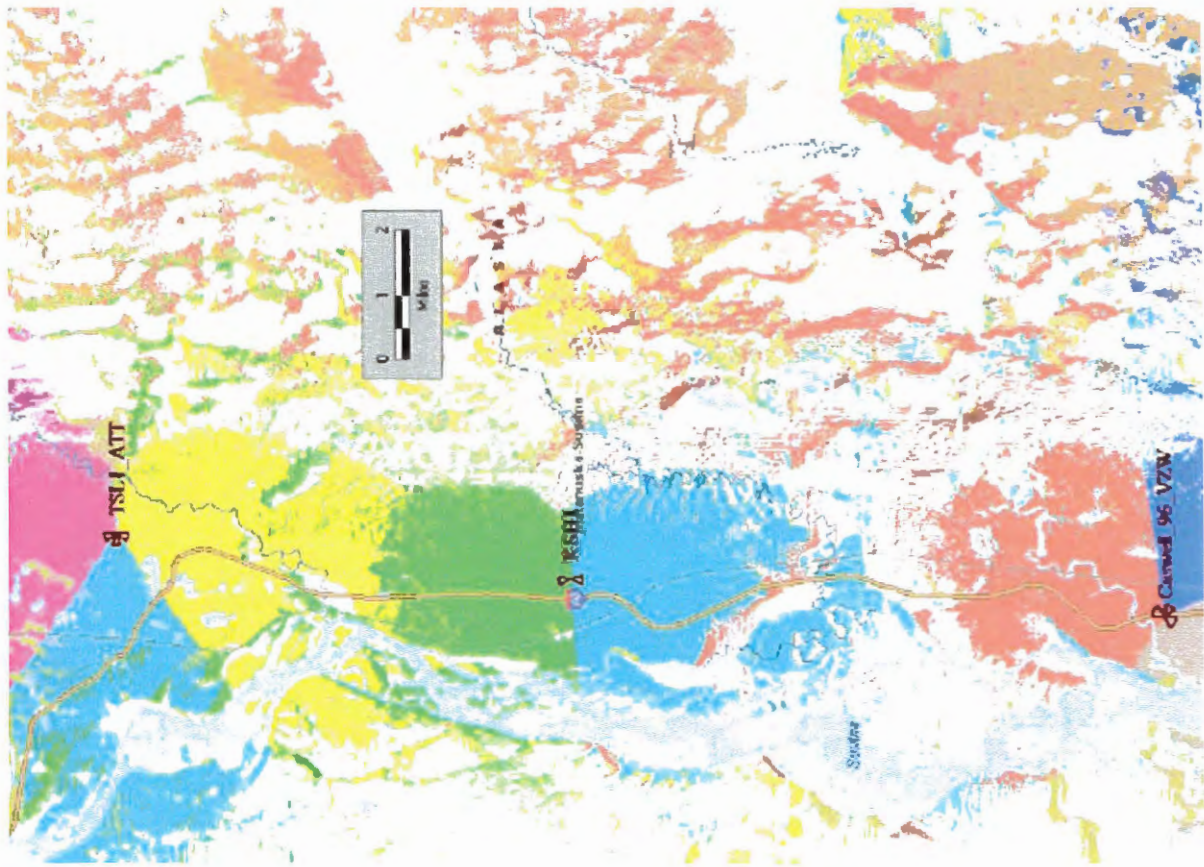


# Exhibit E

Propagation Maps

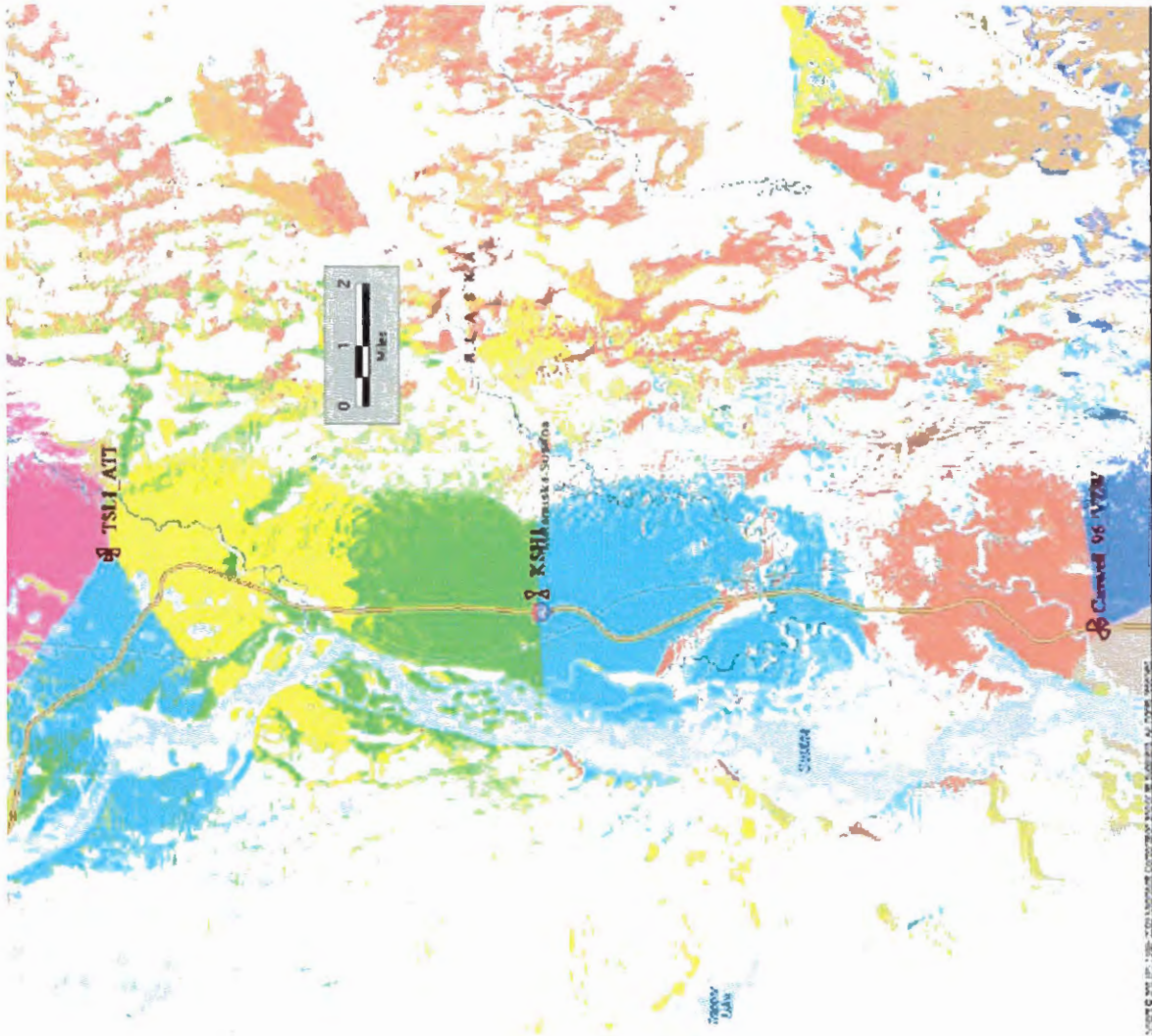


KSH1 with site inactive (current coverage)

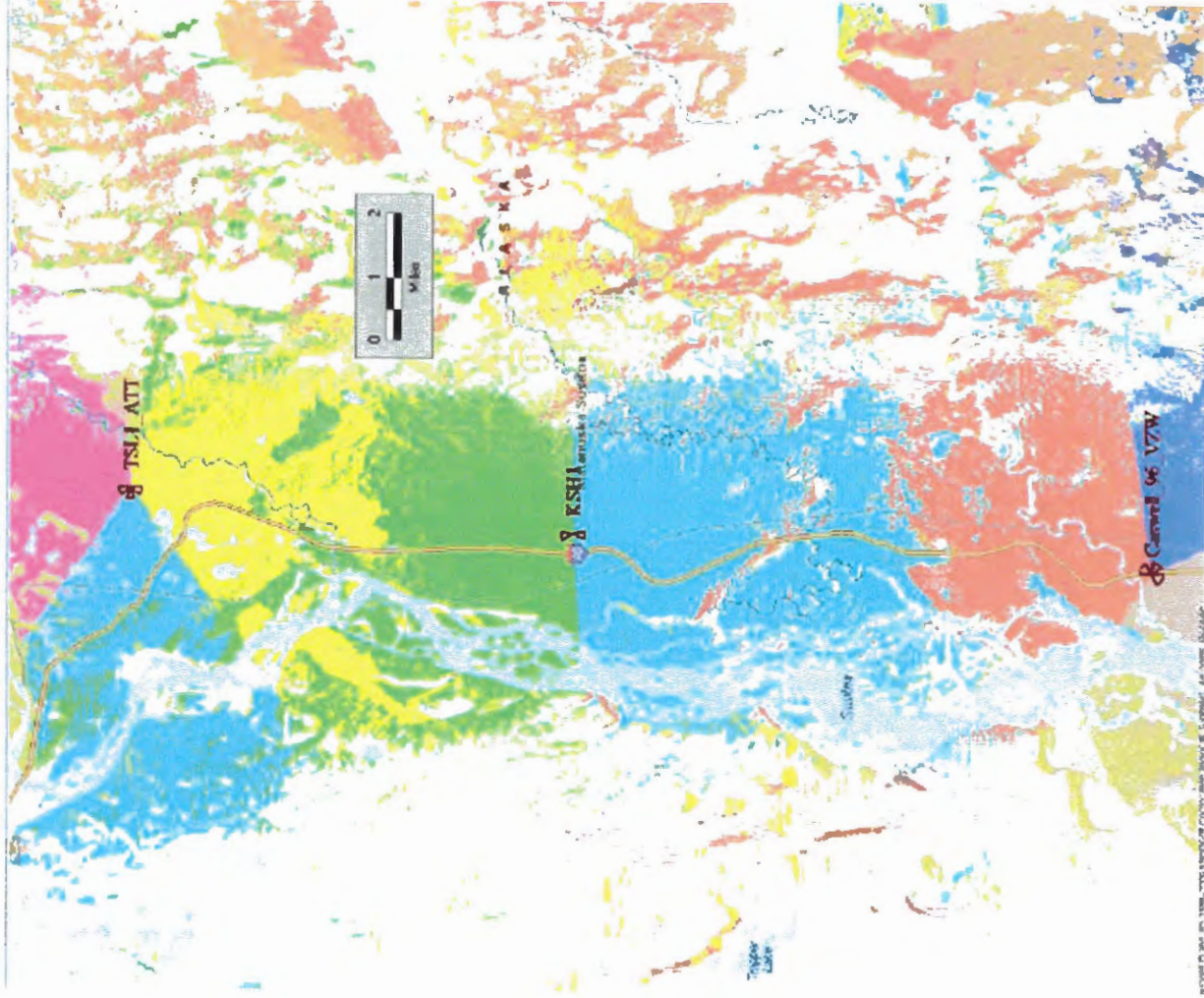


KSH1 Site – 120 feet





# KSH1 Site – 150 feet



KSH1 Site tower at 180 feet

# Exhibit F

Notification Letter, Mailing List,  
Meeting Sign in, and Meeting Summary

# NEW HORIZONS TELECOM, INC.

*Program & Project Management, Engineering Design, Permitting, Construction, Installation, Integration  
- Your Turnkey Providers -*

May 6, 2016

TO: Neighbors of 15960 E Kashwitna Road  
Legal Description - Township 23N Range 4W Section 29 Lot C6

This letter is to notify area Neighbors that MTA Communications (MTAC) will be making an application for a Conditional Use Permit for the placement of a 180 foot tall lattice type self-supporting antenna structure on the parcel referenced above. The attached Matanuska-Susitna Borough Land Information Parcel Report and google earth image, show both the parcel location and the proposed tower placement. Site access will be from a proposed driveway off Kashwitna road. Potential tower lighting will be part of the discussion at the meeting.

MTAC will present the proposed placement on Monday, May 23, 2016, at the Upper Susitna Senior/Community Center. The meeting begins at 6PM and is located at 16463 Helena Ave., Talkeetna, AK, 99676.

The construction of this antenna structure will provide enhanced and improved wireless communications for personal, business and emergency service in the area. Representatives from MTAC will be present to answer questions or concerns from the community.

As a nearby property owner to the proposed facility you are entitled to this information pursuant to Matanuska Susitna Borough, Chapter 17.67.050 Borough Municipal Code. For your convenience, the language provided for this notification is as follows:

*Prior to applying for a conditional use permit for a new tall structure, the potential applicant shall hold at least one community meeting.*

New Horizons Telecom, Inc. is the agent for MTAC for this conditional use application. If you have any questions pertaining to the proposed notification, please contact Sherrie Greenshields; Site Acquisition Consultant, with New Horizons Telecom Inc., 901 Cope Industrial Way, Palmer, AK 99645, at the information below.

Respectfully,

Sherrie Greenshields, Site Acquisition Consultant  
sgreenshields@nhtiusa.com  
907-761-6057 office; 907-315-3201 cell

Attachments: Mat-Su Borough Comment Form; Permit Center ½ mile offset from Parcel; Antenna Structure Proposed Site Location





Matanuska-Susitna Borough  
 Planning & Land Use Department  
 Development Services Division  
 350 East Dahlia Avenue  
 Palmer, Alaska 99645

FIRST CLASS MAIL

Comment form for Citizen Participation Process

**Matanuska-Susitna Borough Code Section: MSB 17.67 – TALL STRUCTURES**

**Application or Item:** Conditional Use Permit - 180 ft lattice self supporting antenna structure

**Applicant:** MTA Communications (Agent - New Horizons Telecom, Inc. - Sherrie Greenshields)

**Applicant Phone#:** 907-760-6057 office; 907-315-3201 cell

**Applicant Address:** New Horizons Telecom, Inc. - 901 Cope Industrial Way, Palmer, AK 99645

**Meeting Date & Time:** Monday, May 23, 2016, 6 PM

**Meeting Location:** 16463 Helena Avenue, Talkeetna, Alaska

**Legal Description of Project:** Township 23N Range 4W Section 29 Lot C6

*Description of the proposed development including height, design, lighting, potential access to the site and proposed service:*

***MTA Communications (MTAC) will be making an application for a Conditional Use Permit for the placement of a 180 foot tall lattice type self-supporting antenna structure on the parcel referenced above. The attached Matanuska-Susitna Borough Land Information Parcel Report and google earth image, show both the parcel location and the proposed tower placement. Site access will be from a proposed driveway from Kashwitna Road. Potential tower lighting will be part of the discussion at the meeting.***

If you have any questions or, would like to send us comments, concerning the proposed action, this form may be used for your convenience by filling in the information below and mailing it to the Matanuska-Susitna Borough, Development Services Division, 350 East Dahlia, Palmer, Alaska 99645. You may fax comments to 861-7876 or e-mail to [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us). Comments received prior to the meeting date will be included in the citizen participation report. Please be advised that comments received from the public after that date will not be included in the citizen participation report but will be included in the staff report to the Planning Commission. If there is not enough room below, please attach this sheet to another piece of paper.

**Name:** \_\_\_\_\_ **Address:** \_\_\_\_\_

**Location/Legal Description of your property:** \_\_\_\_\_

**Comments:** \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_





**Matanuska Susitna Borough  
Permit Center**

Date: 4/29/2016

0 500 1,000 Feet



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-745-4801.





NHTS - Certified Return Stamp 160507

Re

53082B03L003 ✓  
ADKINS SARAH ELLEN  
PO BOX 14122  
TRAPPER CREEK AK 99683-4122

223N04W29D001 ✓  
ARCTIC EXTREME ENV PRODUCTS LLC  
PO BOX 13069  
TRAPPER CREEK AK 99683-3069

56287B03L027 ✓  
ARMSTRONG JEFF  
102 W JONES ST  
YACOLT, WA 98675

56287B03L026 ✓  
ARMSTRONG JEFF  
102 W JONES ST  
YACOLT, WA 98675

56287B03L028 ✓  
BAIR DEBORAH  
2570 COTTINGTON CIR NW  
NORTH CANTON OH 44720-5702

56287B01L007 ✓  
BAIR MICHAEL D  
3381 ORION ST NW  
NORTH CANTON OH 44720-5633

53082B04L003 ✓  
BAJEMA DANIEL  
13371 PINWOOD ST  
GOWEN MI 49326-9415

53082B03L005 ✓  
BAJEMA DANIEL R  
BRADLEY DANIELLE  
L HC 89 BOX 585  
WILLOW AK 99688-9707

56287B02L008 ✓  
BARNES RICHARD  
316 E BROWN AVE  
FRESNO, CA 93704-5401

56287B02L007 ✓  
BARNES RICHARD  
316 E BROWN AVE  
FRESNO, CA 93704-5401

56287B01L016 ✓  
BEETER JOHN H & ROSIE  
111 AGATE CIR  
ANCHORAGE, AK 99504

56287B04L004 ✓  
BEETER JOHN H & ROSIE  
111 AGATE CIR  
ANCHORAGE, AK 99504

56287B04L006 ✓  
BEETER JOHN H & ROSIE  
111 AGATE CIR  
ANCHORAGE, AK 99504

52872B01L002 ✓  
BENNETT BARRY G  
HC 89 BOX 479  
WILLOW AK 99688

53082B03L002 ✓  
BONERTZ DAVID R  
PO BOX 209  
WILLOW AK 99688-0209

56287B03L029 BOWMAN ✓  
FLORENCE H  
% MAX T BABB  
956 MCKINLEY RD E  
TACOMA WA 98404-3234

56287B03L030 BOWMAN ✓  
FLORENCE H  
% MAX T BABB  
956 MCKINLEY RD E  
TACOMA WA 98404-3234

53082B01L003 ✓  
BREEDEN JOHN K  
9076 N 175TH E AVE  
OWASSO OK 74055-5615

56287B01L012 ✓  
BUDD DAVID  
W67 N 388 GRANT AVE  
CEDARBURG WI 53012

56287B01L011 ✓  
BUDD DAVID  
W67 N 388 GRANT AVE  
CEDARBURG WI 53012

56287B03L024 ✓  
BURNS BERNICE D  
8430 REBEL RIDGE  
ANCHORAGE AK 99504

56287B03L025 ✓  
BURNS BERNICE D  
8430 REBEL RIDGE  
ANCHORAGE AK 99504

56287B01L018 ✓  
BUSH LESLIE D  
HC 89 BOX 496  
WILLOW AK 99688-9705

223N04W32B005 ✓  
BUTCHER ARLA CHARLENE  
940 W 11TH AVE ANCHORAGE,  
AK 99501-4307

56287B02L009 ✓  
CARPENTER DANIEL E  
CARPENTER ROBERT W  
4577 CAMPBELL PARK LOOP  
ANCHORAGE AK 99507-1165

53082B02L001 ✓  
CASAGRANDA TANYA  
LENI FOSS # E101  
1877 E TUDOR RD  
ANCHORAGE AK 99507-1055

56287B04L007 ✓  
CASSADAS GILBERT  
PO BOX 298302  
WASILLA, AK 99629-8302



56287B04L008 ✓  
CASSADAS GILBERT  
PO BOX 298302  
WASILLA, AK 99629-8302

52914000L001 ✓  
CLARK RAYMOND E&CYNTHIA A  
HC 89 BOX 481  
WILLOW, AK 99688

223N04W29B002 ✓  
CONNEMARA ENTERPRISES LLC  
TRAHOS HERTA3326  
WESLEYAN DR  
ANCHORAGE AK 99508-4864

223N04W30A001 ✓  
CONNEMARA ENTERPRISES LLC  
TRAHOS HERTA3326  
WESLEYAN DR  
ANCHORAGE AK 99508-4864

223N04W32B006 ✓  
COOK INLET REGION INC  
PO BOX 93330  
ANCHORAGE, AK 99509-3330

223N04W32B008 ✓  
COOK INLET REGION INC  
PO BOX 93330  
ANCHORAGE, AK 99509-3330

223N04W31A003 ✓  
DAVENPORT DAVID B  
DAVIS GEORGIANNE  
HC 89 BOX 494  
WILLOW AK 99688

223N04W32A001 ✓  
DAVIDSON'S INV  
% CLIFFORD L DAVIDSON  
3311 WILEY POST LOOP  
ANCHORAGE, AK 99517

56287B01L008 ✓  
DAVIS STEVEN S  
# 1029  
1200 W DIMOND BLVD  
ANCHORAGE, AK 99502

56287B01L017 ✓  
DUCHANIN JAMES N  
3800 DOROSHIN AVE  
ANCHORAGE AK 99516-2836

223N04W30D013 ✓  
EDWARDS JAMES P  
2616 W 66TH AVE  
ANCHORAGE AK 99502-2207

56287B03L006 ✓  
FROELICH MURRAY & GRETA  
PO BOX 49  
TALKEETNA AK 99676-0049

56287B03L018 ✓  
FRY ALLEN  
LANFELL RONALD  
82510 N PACIFIC HWY  
CRESWELL OR 97426

56287B03L017 ✓  
FRY ALLEN  
LANFELL RONALD  
82510 N PACIFIC HWY  
CRESWELL OR 97426

56287B03L031 ✓  
GANGWER STEWART M & JANICE T  
PO BOX 204  
GLENALLEN AK 99588-0204

56562B01L001 ✓  
GODWIN SCOTT & KELLY  
15700 E CLARK RD  
PALMER, AK 99645

56287B03L012 ✓  
GOUBEUX SCOTTE  
6 SEMINOLE AVE  
ARCANUM OH 45304

56287B03L014 ✓  
GRENIER BRIAN J  
PO BOX 561  
WILLOW, AK 99688-0561

56287B01L010 ✓  
GUMAER GLENN F  
STE 101  
3190 STATE ST  
MEDFORD OR 97504

223N04W29C004 ✓  
GUTIERREZ RAMON G & ADA K  
HC 89 BOX 492  
WILLOW AK 99688-9705

223N04W29C006 ✓  
GUTIERREZ RAMON G & ADA K  
HC 89 BOX 492  
WILLOW AK 99688-9705

223N04W29C007 ✓  
GUTIERREZ RAMON G & ADA K  
HC 89 BOX 492  
WILLOW AK 99688-9705

53082B02L002 ✓  
HABLA MICHAEL J& JUDITH A  
PO BOX 324  
WILLOW, AK 99688-0324

56287B03L023 ✓  
HAGGARD VERLYN  
913 HEATHERWOOD LN  
OSSIAN IN 46777-9291

56287B03L022 ✓  
HALL WILLIAM  
HALL ELIZABETH  
F HC 89 BOX 497  
WILLOW AK 99688-9705

223N04W30D009 ✓  
HANSEN GARY D & NANCY J  
W1336 US HWY 10  
GRANTON WI 54436-8566

56287B01L009 ✓  
HEAL LAWRENCE EUGENE  
HEDLUND-SMITH TRACEY R  
1321 S WILLIWAU DR  
PALMER AK 99645-7020





56287B03L007 ✓  
HILL DAVID R  
2551 PALMER WASILLA HWY  
WASILLA, AK 99654

53082B01L002 ✓  
IRWIN CHAS E  
HC 89 BOX 406B  
WILLOW, AK 99688

56287B02L005 ✓  
JACQUES LESTER E  
PO BOX 1000  
STERLING, AK 99672-1000

56287B02L004 ✓  
JACQUES LESTER E  
PO BOX 1000  
STERLING, AK 99672-1000

53082B04L002 ✓  
JONES MICHAEL CARTER  
PO BOX 13242  
TRAPPER CREEK, AK 99683-3242

56287B03L032 ✓  
KELLY ANNA  
L PO BOX 108  
CASHMERE WA 98815-0108

56287B03L005 ✓  
KILGO MICHAEL JAMES  
KILGO HATTIE TY LABUFF  
HC 89 BOX 482  
WILLOW AK 99688

56287B03L010 ✓  
KILGO MICHAEL JAMES  
KILGO HATTIE TY LABUFF  
HC 89 BOX 482  
WILLOW AK 99688

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KILGO MICHAEL JAMES  
KILGO HATTIE TY LABUFF  
HC 89 BOX 482  
WILLOW AK 99688

56287B03L004 ✓  
KILGO MICHAEL JAMES  
KILGO HATTIE TY LABUFF  
HC 89 BOX 482  
WILLOW AK 99688

56287B03L002 ✓  
KORDUS CRISTI SIMMONS  
14436 BRANDY CT  
YELM, WA 98597-9115

56287B03L001 ✓  
KORDUS CRISTI SIMMONS  
14436 BRANDY CT  
YELM, WA 98597-9115

56287B03L009 ✓  
LABUFF HATTIE TY  
HC 89 BOX 482  
WILLOW AK 99688

56287B03L008 ✓  
LABUFF HATTIE TY  
HC 89 BOX 482  
WILLOW AK 99688

223N04W32B001 ✓  
LISTON-CUNNINGHAM VANESSA  
PMB 655  
7362 W PARKS HWY  
WASILLA AK 99654-9132

223N04W30D006 ✓  
LOPEZ JULIANA  
705 W 47TH AVE  
ANCHORAGE AK 99503

53082B04L005 ✓  
MANFUL RICK  
PO BOX 8  
WILLOW, AK 99688-0008

53082B04L004 ✓  
MANFUL RICK  
PO BOX 8  
WILLOW, AK 99688-0008

223N04W32A002 ✓  
MATANUSKA-SUSITNA BOROUGH  
350 E DAHLIA AVE  
PALMER AK 99645-6488

56287B03L029 ✓  
MATANUSKA-SUSITNA BOROUGH  
LAND MANAGEMENT DIVISION  
350 E DAHLIA AVE  
PALMER, AK 99645-6488

56287B03L030 ✓  
MATANUSKA-SUSITNA BOROUGH  
LAND MANAGEMENT DIVISION  
350 E DAHLIA AVE  
PALMER, AK 99645-6488

56287B02L001 ✓  
MCCABE MICHAEL W  
HC 89 BOX 473  
WILLOW, AK 99688

0

56

56287B02L002 ✓  
MCCABE MICHAEL W  
HC 89 BOX 473  
WILLOW, AK 99688

0

56

56562B01L016 ✓  
MCDANIEL JAMES G  
PO BOX 1002  
CORDOVA AK 99574-1002

0

57

56287B03L024 ✓  
METRO MTG & SEC CO INC  
% BERNICE BURNS PO  
BOX 311945  
ANCHORAGE AK 99521

56287B03L025 ✓  
METRO MTG & SEC CO INC  
% BERNICE BURNS PO  
BOX 311945  
ANCHORAGE AK 99521

56287B03L019 ✓  
MILLER BERNARD & MCDONNELL LOREN  
YOUNG ISABELLA  
13025 BATES CIR  
ANCHORAGE AK 99515-3860



223N04W30D011 ✓  
MILLER HANS J & KELLI M  
HC 89 BOX 489  
WILLOW AK 99688-9705

56287B04L003 ✓  
NORTHCUTT ROBERT & NANCY  
# 1  
1641 ELCADORE DR  
ANCHORAGE AK 99507-4520

56287B04L005 ✓  
OLSON DOUGLAS LOWELL  
1150 GOLDEN HILLS DR  
PALMER, AK 99645

56287000T00B ✓  
OWNERS OF SPORTSMEN ACRES  
GENERAL DELIVERY  
WILLOW, AK 99688-9999

56562B01L002 ✓  
PEARSON JAMES G & LISA  
9807 E NORTHSTAR CIR  
PALMER AK 99645-8810

56287B02L006 ✓  
PFEFFER ANDREA S  
2787 LAND PARK DR  
SACRAMENTO, CA 95818

56287B03L020 ✓  
RADKE R A III & MARILYN  
129 CARNEGIE WAY  
FAIRBANKS, AK 99709

56287B03L021 ✓  
RADKE R A III & MARILYN  
129 CARNEGIE WAY  
FAIRBANKS, AK 99709

56287B01L001 ✓  
RATHBURN JEFF WILLIAM  
PO BOX 401  
FRIDAY HARBOR WA 98250-0401

56287B01L002 ✓  
RATHBURN JEFF WILLIAM  
PO BOX 401  
FRIDAY HARBOR WA 98250-0401

56287B01L003 ✓  
RATHBURN JEFF WILLIAM  
PO BOX 401  
FRIDAY HARBOR WA 98250-0401

52872B01L001 ✓  
REICHERT LAWRENCE III  
HC 89 BOX 488  
WILLOW AK 99688-9705

53082B03L001 ✓  
SHOOK TYLAN & JODY  
PO BOX 151  
TALKEETNA AK 99676-0151

56287B03L018 ✓  
SMITH DONALD F  
PO BOX 101357  
ANCHORAGE, AK 99510-1357

56287B03L017 ✓  
SMITH DONALD F  
PO BOX 101357  
ANCHORAGE, AK 99510-1357

56287B01L004 ✓  
SPAULDING LOREN  
HC 89 BOX 465  
WILLOW, AK 99688

51856000T00A ✓  
SPAULDING LOREN A  
HC 89 BOX 465  
WILLOW AK 99688

223N04W29C005 ✓  
SPURLIN ADA K  
GUTIERREZ RAMON  
HC 89 BOX 492  
WILLOW AK 99688-9705

223N04W29C009 ✓  
SPURLIN WALTER & OLIVE  
% NANCY STAUBER  
3601 LAKESHORE DR  
ANCHORAGE AK 99517

223N04W30D007 ✓  
SPURLIN WALTER & OLIVE  
% NANCY STAUBER  
3601 LAKESHORE DR  
ANCHORAGE AK 99517

223N04W29C008 ✓  
SPURLIN WALTER & OLIVE  
% NANCY STAUBER  
3601 LAKESHORE DR  
ANCHORAGE AK 99517

223N04W30D008 ✓  
SPURLIN WALTER & OLIVE  
% NANCY STAUBER  
3601 LAKESHORE DR  
ANCHORAGE AK 99517

223N04W30D012 ✓  
SPURLIN WALTER K & OLIVE  
% NANCY STAUBER  
3601 LAKESHORE DR  
ANCHORAGE AK 99517-2756

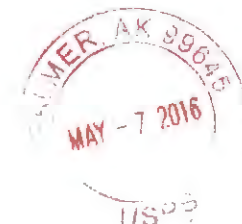
52872B01L003 ✓  
STEENBLIK BRIAN W  
ANDERSON JULIA A  
554 W 2400 S  
SYRACUSE UT 84075-9390

56287B01L005 ✓  
STOWERS DOUGLAS T  
1051 E 26TH AVE ANCHORAGE,  
AK 99508-3901

223N04W31A004 ✓  
TAYLOR RONALD W & L M  
HC 89 BOX 485  
WILLOW, AK 99688-9705

56287B02L003 ✓  
THOM RICHARD J  
4401 E MARIAH DR  
WASILLA, AK 99654

160506  
Susitna Community Council  
HC 89 Box 8575  
Talkeetna, AK 99676



223N04W29B004  
TISCHER MAE&TISCHER B L/E  
TISCHER M R&D F& J A ETAL TISCHER KAT  
HC 89 BOX 500  
WILLOW, AK 99688

53082B01L001  
VARNEY PATRICK D  
PO BOX 187  
WILLOW, AK 99688-0187

56287B01L015  
WALLACE CARL V & KATHRYN  
5221 S GENOA WAY  
CENTENNIAL CO 80015-3758

56287B04L001  
WALLACE CARL V& KATHRYN V  
% JOANN ADKINS  
5221 S GENOA WAY  
CENTENNIAL CO 80015-3758

56287B03L003  
WALLACE CARL V& KATHRYN V  
% JOANN ADKINS  
5221 S GENOA WAY  
CENTENNIAL CO 80015-3758

56287B03L013  
WALLACE CARL V& KATHRYN V  
% JOANN ADKINS  
5221 S GENOA WAY  
CENTENNIAL CO 80015-3758

56287B04L002  
WALLACE CARL V& KATHRYN V  
% JOANN ADKINS  
5221 S GENOA WAY  
CENTENNIAL CO 80015-3758

53082B04L001  
WATERS JOSEPH A  
5532 ALORA LOOP  
ANCHORAGE AK 99504-1047

56287B01L014  
WEATHERUP MARTIN G  
HUNTER REX  
601 E CHICKALOON WAY  
WASILLA, AK 99654

56287B03L016  
ZARR ROBERT W  
2425 MERRILL FIELD DR  
ANCHORAGE, AK 99501

56287B01L006  
ZEDLITZ JAY W & BETTY L  
PO BOX 401  
WILLOW, AK 99688

56287B01L013  
WEATHERUP MARTIN G  
HUNTER REX  
601 E CHICKALOON WAY  
WASILLA, AK 99654

53082B03L004  
WINSLOW JEFFERY A & P L  
PO BOX 521564  
BIG LAKE, AK 99652-1564

56287B03L015  
ZARR HAROLD L JR  
703 79TH DR NE  
LAKE STEVENS WA 98258-3368

86



Joan



MTA Communications – KSH1  
 Community Meeting – May 23, 2016

Name	Address	Phone number	Email
Ramon Gutierrez	HCSA Box 492 Willow AK 99688	(907) 244-2095	ramon.g.gutierrez@hotmail.com
Brian Greiner	POB 561 W. New 99688	495 8331	brigreeneas@gmail.com

**Monday 5/23/16**

**MTA Communications Site KSH1  
Township 23N Range 4W Section 29 Lot C6  
15960 E Kashwitna Road**

**Pre-Application Meeting at Upper Susitna Senior/Community Center**

**Attendees**

Rod Ewing (MTAC), Julie Rowse (MTA), Sherrie Greenshields (NHTI)

Brian Grenier (Local Landowner), Ramon Gutierrez and Ada Gutierrez (Local Landowners), Randall Kowalke (Assembly Member)

**Purpose of meeting**

The MTA Communications team sent notification letters as required under Matanuska Susitna Borough, Chapter 17.67.050 Borough Municipal Code for a proposed tall tower, site name of KSH1.

MTAC was present to hear concerns about the proposed tower structure.

**Comments received**

Discussion items included the following items.

Question regarding co-location on the proposed tower. Will this be allowed?

*Response – the tower is rated for a total of 4 carriers. MTAC will be the carrier at the top of the tower. Others can locate below the MTAC installation.*

Discussion about proximity lights vs standard tower lighting fixtures. *Response - Rod Ewing to investigate proximity lights (these are controlled by radar and activated when an aircraft enters a perimeter in the vicinity of the tower).*

Question about electrical service termination point. If the site is approved and electrical service is routed to the facility will the powerline continue to the far lot line beyond the tower site? *Response - Only if it is a MEA requirement.*

Brian Grenier expressed his objections to the proposed location of the tower. Refer to his written comments. *Response – MTA will consider this question.*

Question asked about mailings. Who received and reasons why the Talkeetna Community Council was not included. *Response – mailing conformed to Borough Municipal Code 17.67.050. Susitna Community Council included in the mailing.*

After discussions, copies of three tower notification letters with attachments given to Randall Kowalke (Assembly Member). These include notification letters for KSH1, DLY1, and NSL1.

# Exhibit G

Summary Page & Written Public Comments

Date	Comment Received	Commenter	Land Parcel	Concerns	Comments	Response
5/10/2016	E-mail	John Breeden	Goose Creek Estates Block 1 Lot 3	The view and environments being impacted, the land value due to RF Radiation.		Federal permits are part of the application process for the proposed tower. An Environmental Impact Statement is not required for this project. All transmitting antennas shall be installed as set forth by the manufacturer and by the Federal Communications Commission (FCC) as meeting the current American National Standards Institute (ANSI) standard for nonionizing electromagnetic radiation.
5/13/2016	E-mail	John Breeden	Goose Creek Estates Block 1 Lot 3	Environmental impacts and mention of concerns about RF Radiation.		No environmental assessment required for site. No additional studies for RF Radiation. All transmitting antennas shall be installed as set forth by the manufacturer and by the Federal Communications Commission (FCC) as meeting the current American National Standards Institute (ANSI) standard for nonionizing electromagnetic radiation.
5/13/2016	E-mail	John Breeden	Goose Creek Estates Block 1 Lot 3	Asking if a impact study (environmental and health risk) was completed and requesting a copy		No environmental assessment required for site.
5/16/2016	E-mail	Brian Grenier	No Site Specified	Concerned that the shadow from the tower will impact future installation of solar panels. Also that it will impact the value of his land due to EMF's and RF.		The proposed tower will have no significant impact to future solar panels. All transmitting antennas shall be installed as set forth by the manufacturer and by the Federal Communications Commission (FCC) as meeting the current American National Standards Institute (ANSI) standard for nonionizing electromagnetic radiation.
5/31/2016	Comment Form	Daniel Bajema	16283 E. Kashwima	Plans to build future landing strip in conflict with proposed tower placement		FAA determination processed. No conflict noted with airfields.
5/31/2016	Comment form from letter	Danielle Bradley	Goose Creek Estates Block 3 Lot	Cultivating land for agricultural purposes and says the tower will be in the landing pattern of future landing strip.		FAA determination processed. No conflicts noted with airfields.
6/10/2016	E-mail	Melita White	No Site Specified	Does not want more towers up in the Willow area.	No tower identified, concerns applying to all proposed sites.	Tower is required to fill significant gap in service.
6/15/2016	E-mail	Bonnie Church	No Site Specified	Does not want more towers up in the Willow area.	No tower identified, concerns applying to all proposed sites.	Tower is required to fill significant gap in service.

From: John Breeden [mailto:jkbreeden@cox.net]  
Sent: Tuesday, May 10, 2016 2:03 PM  
To: Permit Center <PermitCenter@matsugov.us>  
Subject: New Horizons Lattice antenna on Kashwitna Road

I don't like the idea of a tower at this location, there are far less populated areas to place this tower. It adversely affects the scenery and environment. In my option it will lower the property value because of the fear of communication towers and cancer risk. There has been studies that link different forms of cancer to RF/ radiation . Even the low doses that are approved by the FCC. I'm sure you can show me studies that say it's safe but I'm not happy about it. I realize the importance of better communication for safety and convenience but I don't want it in my neighborhood and a permit shouldn't be granted.

John Breeden  
16285 E Nosey Ave  
Goose Creek Estates Block 1 Lot 3



**From:** John Breeden [mailto:jkbreeden@cox.net]  
**Sent:** Friday, May 13, 2016 8:08 AM  
**To:** Permit Center <PermitCenter@matsugov.us>  
**Subject:** New Horizons Lattice antenna on Kashwitna Road

I would like to know if New Horizons Telecom, Inc did a impact study on placing a tower in this location. There are many family's in this area with small children and it would be inappropriate for Mat-Su Borough to approve a permit in this location. If they did do a impact study I would like to see a copy of it.

Thank You

John Breeden

## Why are cell phone towers particularly dangerous?

The threat comes from the constant nature of the activity of the towers; they emit pulsed radio frequency radiation. This radiation has been shown in thousands of studies to cause biological damage to the body and to be a precursor to disease.

What are some of the dangers (besides cancer), which result from this damage and are associated with EMFs and cell phone antennae?

- Genetic mutations
- Memory disruptions
- Hindered learning
- ADD
- Insomnia
- Brain disorders
- Hormonal imbalances
- Infertility
- Dementia
- Heart complications

These dangers clearly make it imperative to take action.

Learn more:

[http://www.naturalnews.com/040905\\_cell\\_phone\\_towers\\_radiation\\_cancer.html#ixzz48YGvF66y](http://www.naturalnews.com/040905_cell_phone_towers_radiation_cancer.html#ixzz48YGvF66y)

John Breeden  
16285 E Nosey Ave  
Goose Creek Estates Block 1 Lot 3

From: John Breeden [mailto:[jkbreeden@cox.net](mailto:jkbreeden@cox.net)]

Sent: Friday, May 13, 2016 8:21 AM

To: Sherrie Greenshields <[SGreenshields@nhtiusa.com](mailto:SGreenshields@nhtiusa.com)>; [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us)

Subject: New Horizons Lattice antenna on Kashwitna Road

This is regarding the cell tower permit you applied for on Kashwitna Road. I would like to know if you did a impact study (environmental and personal health risk) on the tower at this location. If so can you please send me a copy.

Thank You

John Breeden

[jkbreeden@cox.net](mailto:jkbreeden@cox.net)

16285 E Nosey Ave

Goose Creek Estates Block 1 Lot 3

**From:** Brian Grenier [mailto:brigreenears@gmail.com]  
**Sent:** Monday, May 16, 2016 8:46 AM  
**To:** Permit Center <PermitCenter@matsugov.us>  
**Subject:** Comment on 180' tall structure 23N4WS29LotC6

Comment on 180' tall structure 23N4WS29LotC6 for MTA Communications

This tower casts a literal and figurative shadow across my families' land.

As the next door neighbor across Kashwitna Street, my land value and salability will be severely impacted without payment. This point is true due not to possible carcinogenic results of the Electro Magnetic Frequency (EMFs), radio frequency (RF) and microwave emission waves emanating from this radio tower at such close proximity, but my personal experience is that land and home buyers perception of a problem with EMFs with such a structure nearby creates a loss of property value

The tower, as it is due south of me and close enough, will actually shade my property diminishing my plans for solar electric energy and solar thermal energy at this location as well as my view to the much needed southern exposure here in the Matsu borough

The tower, being so close, may impact my amateur radios including personal radio controlled toys CB's, TV and radio reception and cell phone reception

The distance from the road of this proposed 180' tall tower was not specified on the public notice

Please hold this application until the applicants can negotiate with me for proper compensation

Brian Grenier  
PO Box 561  
Willow, AK 99688

408 418 8862



Matanuska-Susitna Boro  
 Planning & Land Use Department  
 Development Services Division  
 350 East Dahlia Avenue  
 Palmer, Alaska 99645

Matanuska - Susitna Borough  
 Development Services

MAY 31 2016

Received

FIRST CLASS MAIL

Comment form for Citizen Participation Process

**Matanuska-Susitna Borough Code Section:** MSB 17.67 – TALL STRUCTURES

**Application or Item:** Conditional Use Permit - 180 ft lattice self supporting antenna structure  
**Applicant:** MTA Communications (Agent - New Horizons Telecom, Inc. - Sherrie Greenshields)  
**Applicant Phone#:** 907-760-6057 office; 907-315-3201 cell  
**Applicant Address:** New Horizons Telecom, Inc. - 901 Cope Industrial Way, Palmer, AK 99645  
**Meeting Date & Time:** Monday, May 23, 2016, 6 PM  
**Meeting Location:** 16463 Helena Avenue, Talkeetna, Alaska  
**Legal Description of Project:** Township 23N Range 4W Section 29 Lot C6

*Description of the proposed development including height, design, lighting, potential access to the site and proposed service:*

**MTA Communications (MTAC) will be making an application for a Conditional Use Permit for the placement of a 180 foot tall lattice type self-supporting antenna structure on the parcel referenced above. The attached Matanuska-Susitna Borough Land Information Parcel Report and google earth image, show both the parcel location and the proposed tower placement. Site access will be from a proposed driveway from Kashwitna Road. Potential tower lighting will be part of the discussion at the meeting.**

If you have any questions or, would like to send us comments, concerning the proposed action, this form may be used for your convenience by filling in the information below and mailing it to the Matanuska-Susitna Borough, Development Services Division, 350 East Dahlia, Palmer, Alaska 99645. You may fax comments to 861-7876 or e-mail to [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us). Comments received prior to the meeting date will be included in the citizen participation report. Please be advised that comments received from the public after that date will not be included in the citizen participation report but will be included in the staff report to the Planning Commission. If there is not enough room below, please attach this sheet to another piece of paper.

Name: Daniel Bayema Address: 16283 E. Kashwitna  
 Location/Legal Description of your property: Goose Creek Est Block 3 lot 5+  
 Comments: As a property owner within the 1/2 mile range radius I am highly apposed to this tower being erected at this site. I (as well as my neighbors) have intentions of putting in a landing strip in which this tower would be directly in the landing pattern. - Due to my presence at work I am not able to make the meeting.





Matanuska-Susitna Borough  
 Planning & Land Use Department  
 Development Services Division  
 350 East Dahlia Avenue  
 Palmer, Alaska 99645

Matanuska - Susitna Borough  
 Development Services

MAY 31 2016

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Name: Danielle Bradley Address: 16283 E. Kashwitna

Location/Legal Description of your property: Goose Creek est Block 3 lot 5

Comments: I am very dissatisfied w/this proposal. We are cultivating our land for agriculture and will have an airstrip as a crucial part to our way of life. This tower would directly defeat our ability to move forward with our homesteading progress.



## Leann Krey

---

**From:** Alex Strawn <Alex.Strawn@matsugov.us>  
**Sent:** Friday, June 10, 2016 9:22 AM  
**To:** Sherrie Greenshields  
**Cc:** Mark Whisenhunt  
**Subject:** FW: Cell towers along the Parks Highway

**From:** Michelle Olsen **On Behalf Of** Permit Center  
**Sent:** Friday, June 10, 2016 9:17 AM  
**To:** Theresa Taranto  
**Cc:** Alex Strawn  
**Subject:** FW: Cell towers along the Parks Highway

More comments for the file

Michelle Olsen, CFM  
Permit Technician  
Matanuska-Susitna Borough  
350 E Dahlia Ave  
Palmer, AK 99645  
(907) 861-7871

**From:** Melitta [<mailto:ted.melitta@yahoo.com>]  
**Sent:** Friday, June 10, 2016 8:57 AM  
**To:** Permit Center; Susan Morgan; Bonnie Imlach Shurtleff  
**Subject:** Cell towers along the Parks Highway

Enough already! I practically live under a recently constructed tower and my cell phone reception is worse than ever and it was not very good to start with.

In addition you are ruining our views. We live here to get away from living in a commercial zone and now you are bringing it to us.

We say NO! more cell tower construction on the Parks Highway. They spoil the view and the rural character of our neighborhood. We don't need or want them.

Sincerely,  
Ted and Melitta White  
Willow Residents

## Leann Krey

---

**From:** Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>  
**Sent:** Wednesday, June 15, 2016 10:50 AM  
**To:** Sherrie Greenshields  
**Subject:** FW: 3 cell towers in Willow

Respectfully,

Mark Whisenhunt  
Planner II  
Matanuska-Susitna Borough  
Office: (907) 861-8527  
Fax: (907) 861-7876  
mark.whisenhunt@matsugov.us

-----Original Message-----

From: Alex Strawn  
Sent: Wednesday, June 15, 2016 10:39 AM  
To: Mark Whisenhunt  
Subject: FW: 3 cell towers in Willow

-----Original Message-----

From: Michelle Olsen On Behalf Of Permit Center  
Sent: Wednesday, June 15, 2016 10:35 AM  
To: Alex Strawn; Theresa Taranto  
Subject: FW: 3 cell towers in Willow

For the files

Michelle Olsen, CFM  
Permit Technician  
Matanuska-Susitna Borough  
350 E Dahlia Ave  
Palmer, AK 99645  
(907) 861-7871

-----Original Message-----

From: Bonnie Church [mailto:getalong@mtaonline.net]  
Sent: Wednesday, June 15, 2016 10:31 AM  
To: Permit Center  
Subject: 3 cell towers in Willow

I am NOT in favor of 3 MORE cell towers going up in Willow. I don't understand why there have to be so many and I am totally against more being here in our community!!!  
Bonnie Church

## Theresa Taranto

---

**From:** Michelle Olsen on behalf of Permit Center  
**Sent:** Monday, May 23, 2016 7:26 AM  
**To:** Theresa Taranto  
**Cc:** Alex Strawn  
**Subject:** FW: DLY1 - Conditional Use Permit for MTA Communications

Michelle Olsen, CFM  
Permit Technician  
Matanuska-Susitna Borough  
350 E Dahlia Ave  
Palmer, AK 99645  
(907) 861-7871

---

**From:** Moore, Eric A (DNR) [<mailto:eric.moore@alaska.gov>]  
**Sent:** Friday, May 20, 2016 12:44 PM  
**To:** Permit Center  
**Cc:** Cox, Clark A (DNR)  
**Subject:** DLY1 - Conditional Use Permit for MTA Communications

The Department of Natural Resources, Division of Mining, Land and Water, Southcentral Regional Office has no objection to the requested permit under the following condition(s):

1) The proposed tower and related infrastructure may not block or interfere with travel on Section Line Easements or any other State-managed easements or rights-of-way.

Sincerely,

**Eric Moore**  
Natural Resource Manager II  
Department of Natural Resources  
Division of Mining, Land & Water  
550 W 7th Ave, Suite 900C  
Anchorage, AK 99501  
(907)269-8548  
[eric.moore@alaska.gov](mailto:eric.moore@alaska.gov)

## Theresa Taranto

---

**From:** Michelle Olsen on behalf of Permit Center  
**Sent:** Wednesday, May 18, 2016 10:12 AM  
**To:** Theresa Taranto  
**Cc:** Alex Strawn  
**Subject:** FW: New Horizons Lattice antenna on Kashwitna Road

Michelle Olsen, CFM  
Permit Technician  
Matanuska-Susitna Borough  
350 E Dahlia Ave  
Palmer, AK 99645  
(907) 861-7871

-----Original Message-----

From: Sherrie Greenshields [<mailto:SGreenshields@nhtiusa.com>]  
Sent: Wednesday, May 18, 2016 9:33 AM  
To: John Breeden; Permit Center  
Subject: RE: New Horizons Lattice antenna on Kashwitna Road

Mr. Breeden,

I apologize for the delay in replying.

MTA will be at the Susitna Community Council meeting this Thursday 5/19/16.

There is also a meeting scheduled Monday, May 23, 2016, at the Upper Susitna Senior/Community Center to discuss the proposed tower. The meeting begins at 6PM and is located at 16463 Helena Ave., Talkeetna, AK.

MTA will be compiling a response to questions received during the permitting process. This response will be included in the final permit application.

Thank you for your questions.

Sherrie

Sherrie Greenshields  
New Horizons Telecom, Inc.  
907-761-6057 office  
907-315-3201 cell

-----Original Message-----

From: John Breeden [<mailto:jkbreeden@cox.net>]  
Sent: Friday, May 13, 2016 8:21 AM  
To: Sherrie Greenshields <[SGreenshields@nhtiusa.com](mailto:SGreenshields@nhtiusa.com)>; [permitcenter@matsugov.us](mailto:permitcenter@matsugov.us)  
Subject: New Horizons Lattice antenna on Kashwitna Road

This is regarding the cell tower permit you applied for on Kashwitna Road. I would like to know if you did a impact study (environmental and personal health risk) on the tower at this location. If so can you please send me a copy.

## Theresa Taranto

---

**From:** Michelle Olsen  
**Sent:** Tuesday, May 17, 2016 11:02 AM  
**To:** Theresa Taranto  
**Cc:** Alex Strawn  
**Subject:** Tower Comments  
**Attachments:** New Horizons Lattice antenna on Kashwitna Road; New Horizons Lattice antenna on Kashwitna Road; Comment on 180' tall structure 23N4WS29LotC6; New Horizons Lattice antenna on Kashwitna Road

Here are the emails we received while I was out of the office.

Michelle Olsen, CFM  
Permit Technician  
Matanuska-Susitna Borough  
350 E Dahlia Ave  
Palmer, AK 99645  
(907) 861-7871



## Theresa Taranto

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**From:** John Breeden <jkbreeden@cox.net>  
**Sent:** Friday, May 13, 2016 8:08 AM  
**To:** Permit Center  
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I would like to know if New Horizons Telecom, Inc did a impact study on placing a tower in this location. There are many family's in this area with small children and it would be inappropriate for Mat-Su Borough to approve a permit in this location. If they did do a impact study I would like to see a copy of it.

Thank You

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## Why are cell phone towers particularly dangerous?

The threat comes from the constant nature of the activity of the towers; they emit pulsed radio frequency radiation. This radiation has been shown in thousands of studies to cause biological damage to the body and to be a precursor to disease.

What are some of the dangers (besides [cancer](#)), which result from this damage and are associated with EMFs and cell phone antennae?

- Genetic mutations
- Memory disruptions
- Hindered learning
- ADD
- Insomnia
- Brain disorders
- Hormonal imbalances
- Infertility
- Dementia
- Heart complications

These dangers clearly make it imperative to take action.

Learn more: [http://www.naturalnews.com/040905\\_cell\\_phone\\_towers\\_radiation\\_cancer.html#ixzz48YGvF66y](http://www.naturalnews.com/040905_cell_phone_towers_radiation_cancer.html#ixzz48YGvF66y)

John Breeden

16285 E Nosey Ave

Goose Creek Estates Block 1 Lot 3

## Theresa Taranto

---

**From:** Brian Grenier <brigreenears@gmail.com>  
**Sent:** Monday, May 16, 2016 8:46 AM  
**To:** Permit Center  
**Subject:** Comment on 180' tall structure 23N4WS29LotC6

23n04w29c006

Comment on 180' tall structure 23N4WS29LotC6 for MTA Communications

This tower casts a literal and figurative shadow across my families' land.

As the next door neighbor across Kashwitna Street, my land value and salability will be severely impacted without payment. This point is true due not to possible carcinogenic results of the Electro Magnetic Frequency (EMFs), radio frequency (RF) and microwave emission waves emanating from this radio tower at such close proximity, but my personal experience is that land and home buyers perception of a problem with EMFs with such a structure nearby creates a loss of property value

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Brian Grenier  
PO Box 561  
Willow, AK 99688

--  
408 418 8862

## Theresa Taranto

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**From:** John Breeden <jkbreeden@cox.net>  
**Sent:** Friday, May 13, 2016 8:21 AM  
**To:** sgreenshields@nhtiusa.com; Permit Center  
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Thank You

John Breeden

[jkbreeden@cox.net](mailto:jkbreeden@cox.net)

16285 E Nosey Ave  
Goose Creek Estates Block 1 Lot 3

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This email has been checked for viruses by Avast antivirus software.  
<https://www.avast.com/antivirus>

## Theresa Taranto

---

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**Sent:** Tuesday, May 10, 2016 2:03 PM  
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John Breeden

16285 E Nosey Ave

Goose Creek Estates Block 1 Lot 3

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<https://www.avast.com/antivirus>